

# PROPOSED 2 STORY RESIDENCE FOR: JOHN MARRICCO 125 MORNINGSIDE DRIVE OSSINING, NEW YORK 10591



Rui F. Arraiano & Associates, LLC

140 VALLEY STREET, SLEEPY HOLLOW, NY 10591  
PHONE: 914.332.9008

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REV.	DATE	COMMENT
1	11-11-19	AS PER BLDG. DEP
2	04-24-20	ZONING CHART

VICINITY MAP - SITE PLAN AND NEIGHBORHOOD PHOTO STUDY

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JOHN MARRICCO  
125 MORNINGSIDE DRIVE  
OSSINING, NEW YORK 10591

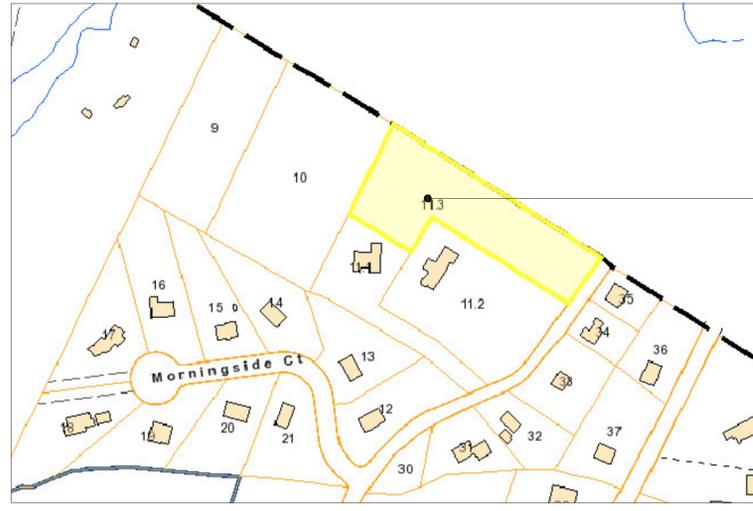
SHEET INFO:  
PROJECT #:  
DATE:  
SCALE:  
DRAWN BY:  
SEAL:

PROJECT #: 20001  
DATE: February 20, 2020  
SCALE: AS NOTED  
DRAWN BY: RFA, DFA

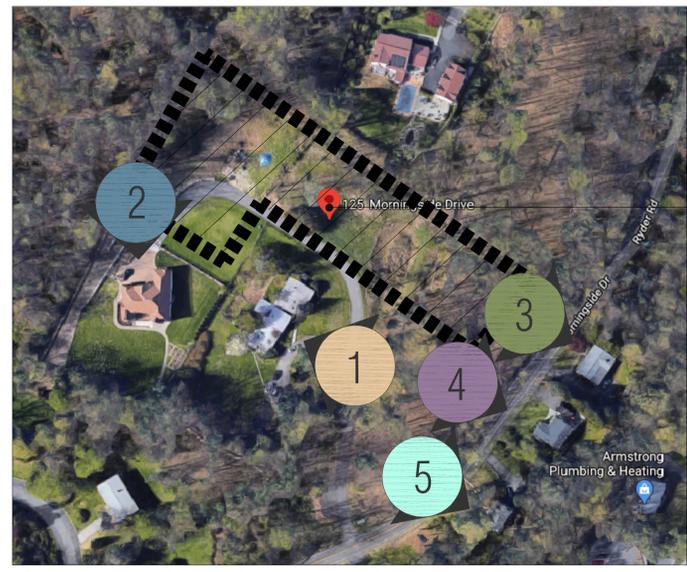


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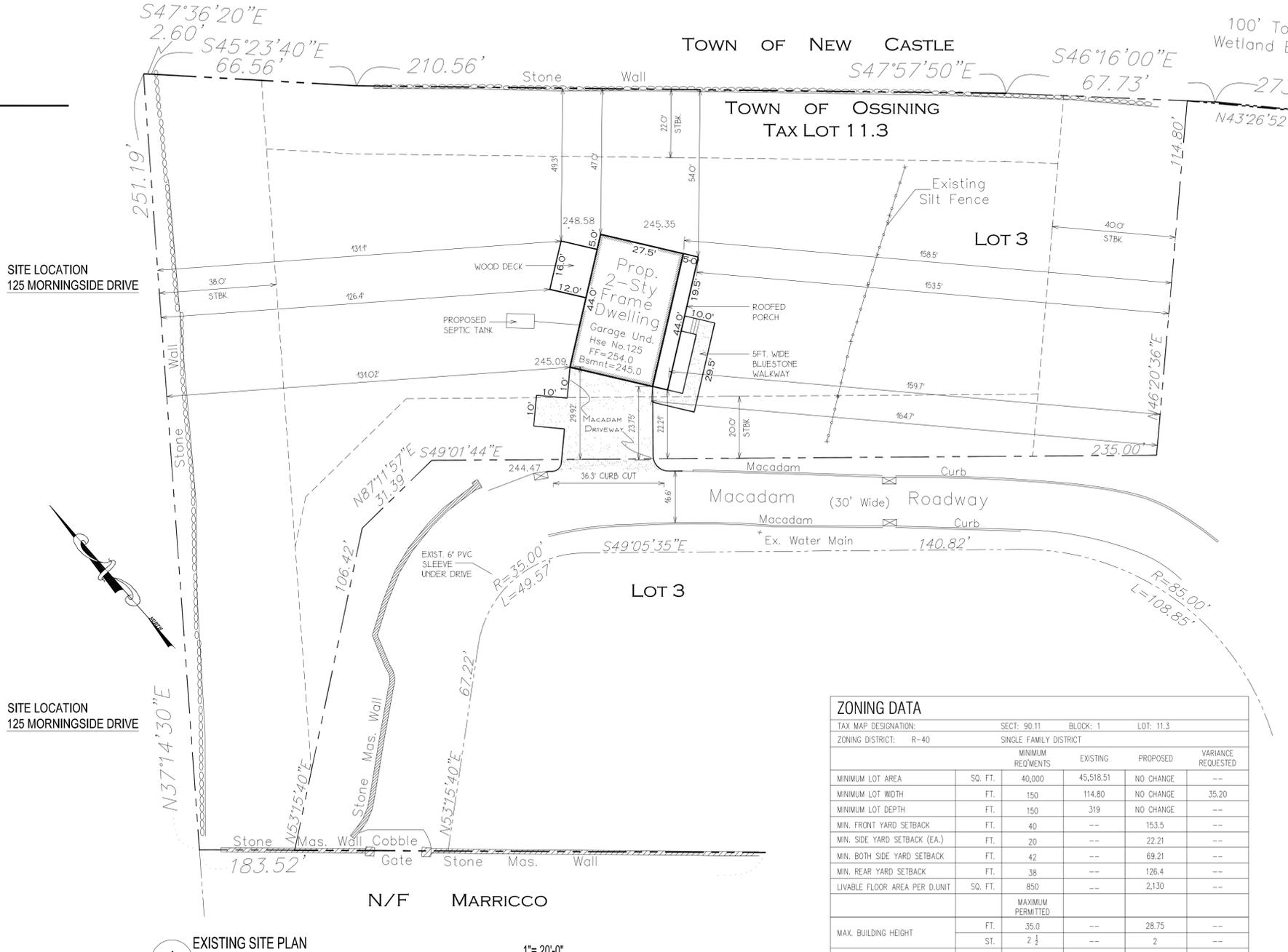
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VICINITY MAP N.T.S.  
THE INFORMATION ABOVE WAS TAKEN FROM WESTCHESTER COUNTY GIS MAPS 2017

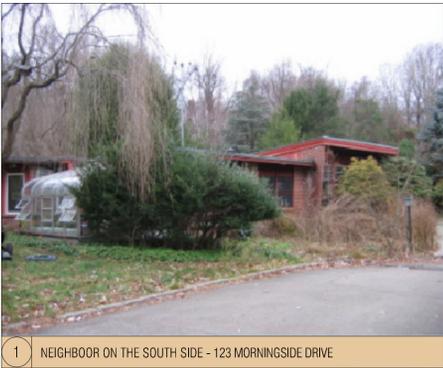


LOCATION MAP N.T.S.  
THE INFORMATION ABOVE WAS TAKEN FROM WESTCHESTER COUNTY GIS MAPS 2018



1 EXISTING SITE PLAN 1" = 20'-0"  
THE INFORMATION ABOVE WAS TAKEN FROM AN OWNER PROVIDED SURVEY. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN. ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION PROVIDED BY OTHERS.

ZONING DATA					
TAX MAP DESIGNATION:		SECT: 90.11	BLOCK: 1	LOT: 11.3	
ZONING DISTRICT:		R-40 SINGLE FAMILY DISTRICT			
		MINIMUM REQUIREMENTS	EXISTING	PROPOSED	VARIANCE REQUESTED
MINIMUM LOT AREA	SQ. FT.	40,000	45,518.51	NO CHANGE	--
MINIMUM LOT WIDTH	FT.	150	114.80	NO CHANGE	35.20
MINIMUM LOT DEPTH	FT.	150	319	NO CHANGE	--
MIN. FRONT YARD SETBACK	FT.	40	--	153.5	--
MIN. SIDE YARD SETBACK (EA.)	FT.	20	--	22.21	--
MIN. BOTH SIDE YARD SETBACK	FT.	42	--	69.21	--
MIN. REAR YARD SETBACK	FT.	38	--	126.4	--
LIVABLE FLOOR AREA PER DUNIT	SQ. FT.	850	--	2,130	--
		MAXIMUM PERMITTED			
MAX. BUILDING HEIGHT	FT.	35.0	--	28.75	--
	ST.	2 1/2	--	2	--
MAX. BUILDING COVERAGE	%	18	--	3	--
MAX. FLOOR AREA	SQ. FT.	5,102.86	--	2,275	--
MAX. IMPERVIOUS COVERAGE	SQ. FT.	11,260	--	2,697	--



1 NEIGHBOR ON THE SOUTH SIDE - 123 MORNINGSIDE DRIVE



2 NEIGHBOR ON THE WEST SIDE - 127 MORNINGSIDE DRIVE



3 NEIGHBOR ON THE EAST SIDE - 130 MORNINGSIDE DRIVE



4 NEIGHBOR ON THE EAST SIDE - 128 MORNINGSIDE DRIVE



5 NEIGHBOR ON THE EAST SIDE - 124 MORNINGSIDE DRIVE

MAXIMUM FLOOR AREA CALCULATION:  
200-21 (C)  
5,000 S.F. + [(LOT AREA - 43,560 S.F.) X .052521]  
5,000 S.F. + [(45,518.51 S.F. - 43,560 S.F.) X .052521]  
5,000 S.F. + [(1,958.51 S.F.) X .052521]  
5,000 S.F. + [102.86 S.F.]  
5,102.86 S.F.

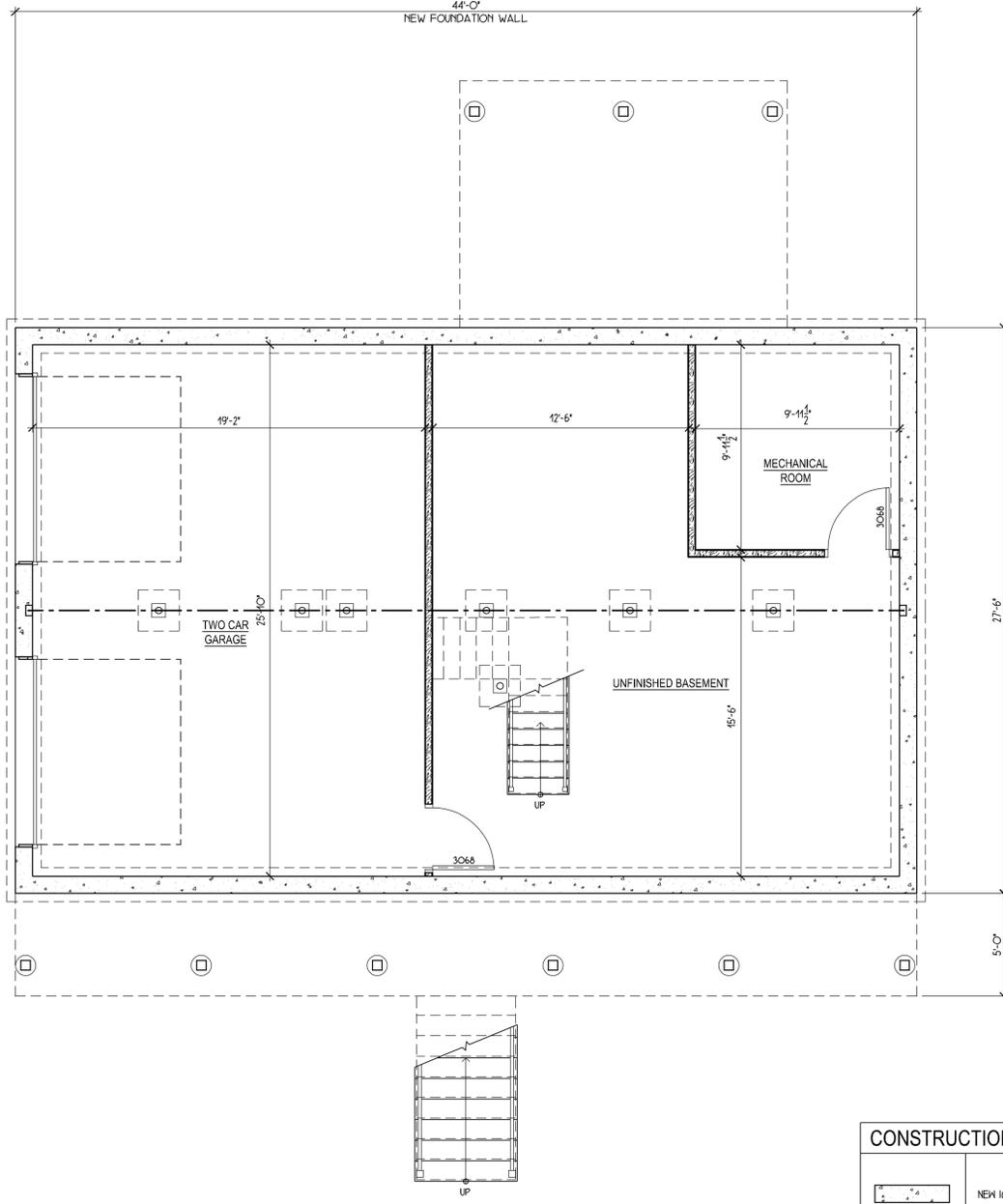
MAXIMUM FLOOR AREA CALCULATION (PROPOSED):  
FIRST FLOOR GROSS AREA = 1,210 S.F.  
SECOND FLOOR GROSS AREA = 1,065 S.F. (EXCLUDES DOUBLE HEIGHT SPACE)  
TOTAL = 2,275 S.F.

BUILDING COVERAGE CALCULATION:  
LOT AREA = 45,518.51  
PRINCIPAL BUILDING = 1,210 S.F.  
FRONT PORCH = 220 S.F.  
TOTAL = 1,430 S.F.  
1,430 S.F. / 45,518.51 S.F. = 0.03 = 3%

MAXIMUM IMPERVIOUS CALCULATION:  
PRINCIPAL BUILDING = 1,210 S.F.  
FRONT PORCH = 220 S.F.  
FRONT WALK = 220 S.F.  
DRIVEWAY = 850 S.F.  
DECK = 192 S.F.  
TOTAL = 2,697 S.F.

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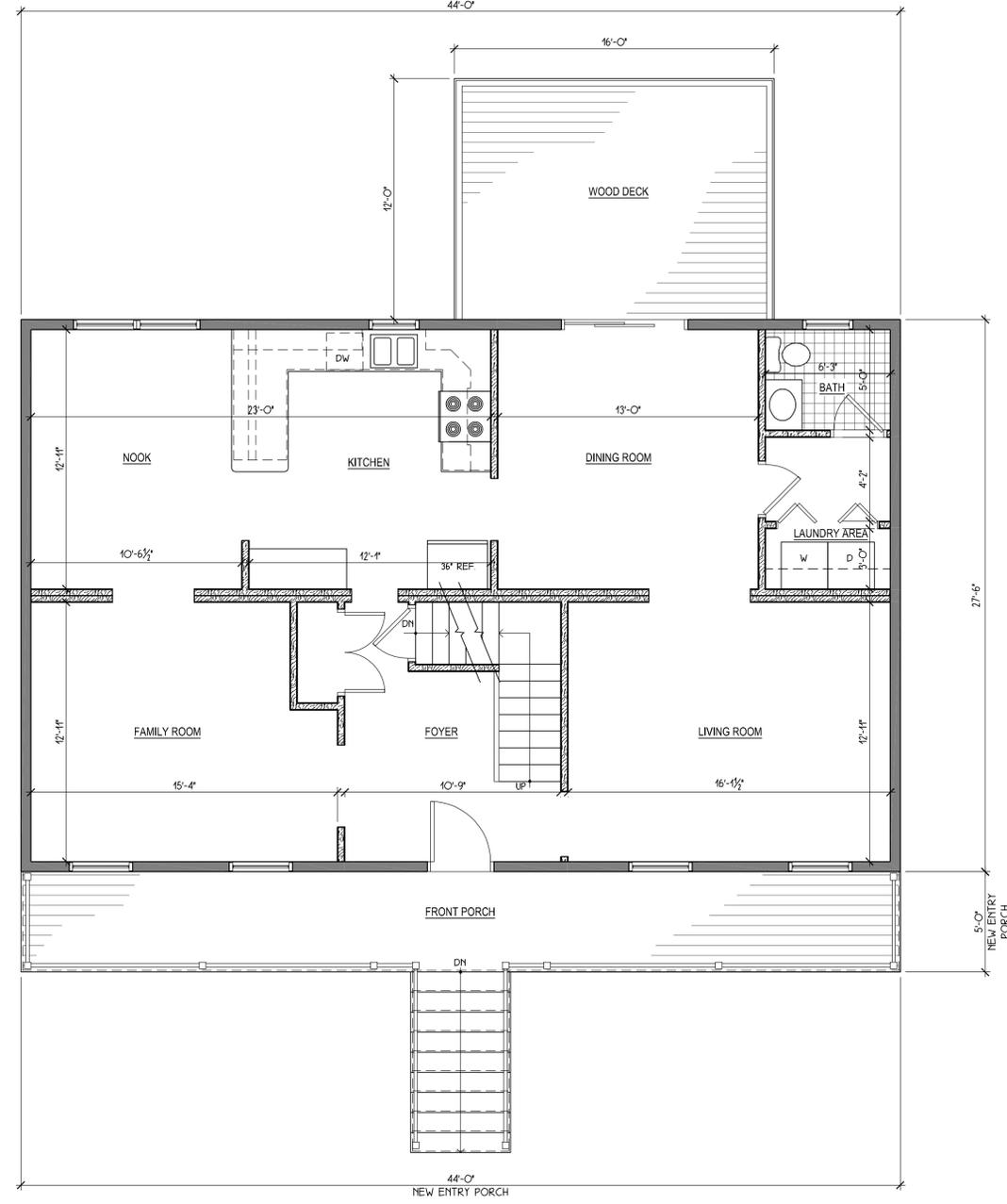
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**1** PROPOSED FOUNDATION/ BASEMENT PLAN  
1/4" = 1'-0"

**CONSTRUCTION LEGEND:**

	NEW 10" POURED CONCRETE FOUNDATION WALL
	NEW 2x6 WOOD STUDS @ 16" O.C. W/ R-20 BATT INSULATION
	NEW 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GYPSUM BOARD EACH SIDE
	DOOR
	INDICATES DOOR
	WINDOW



**2** PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"

SHEET TITLE: PROPOSED FOUNDATION/ BASEMENT PLAN AND PROPOSED FIRST FLOOR PLAN

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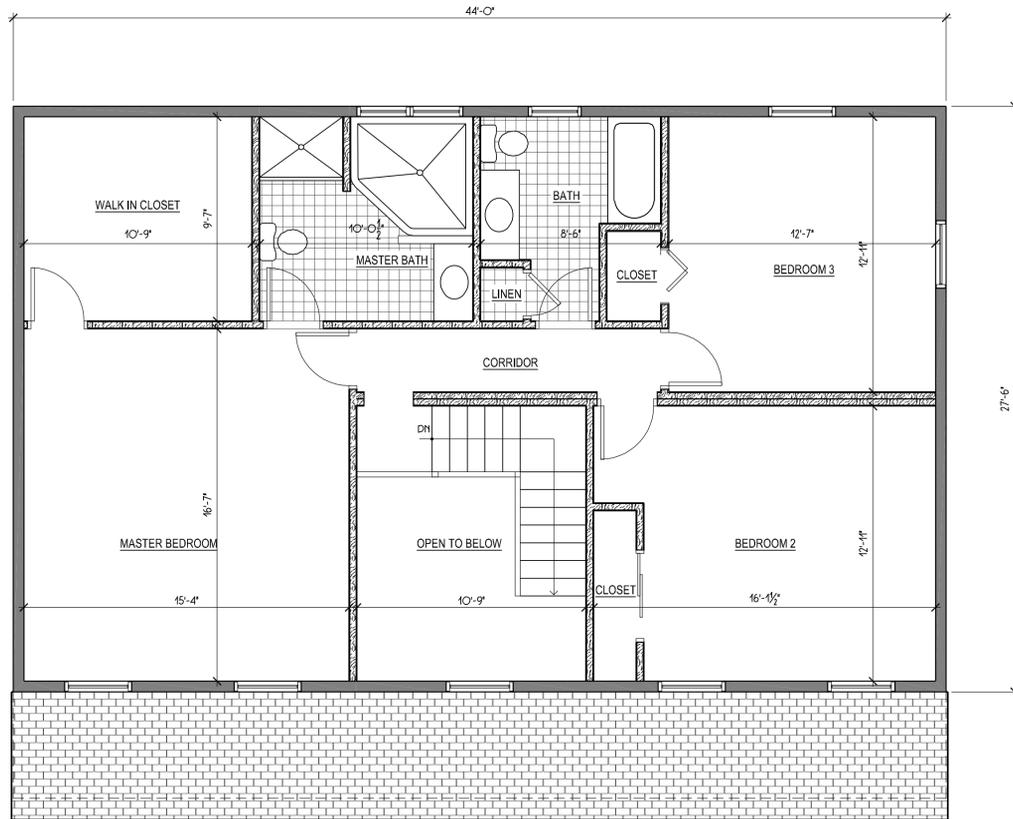
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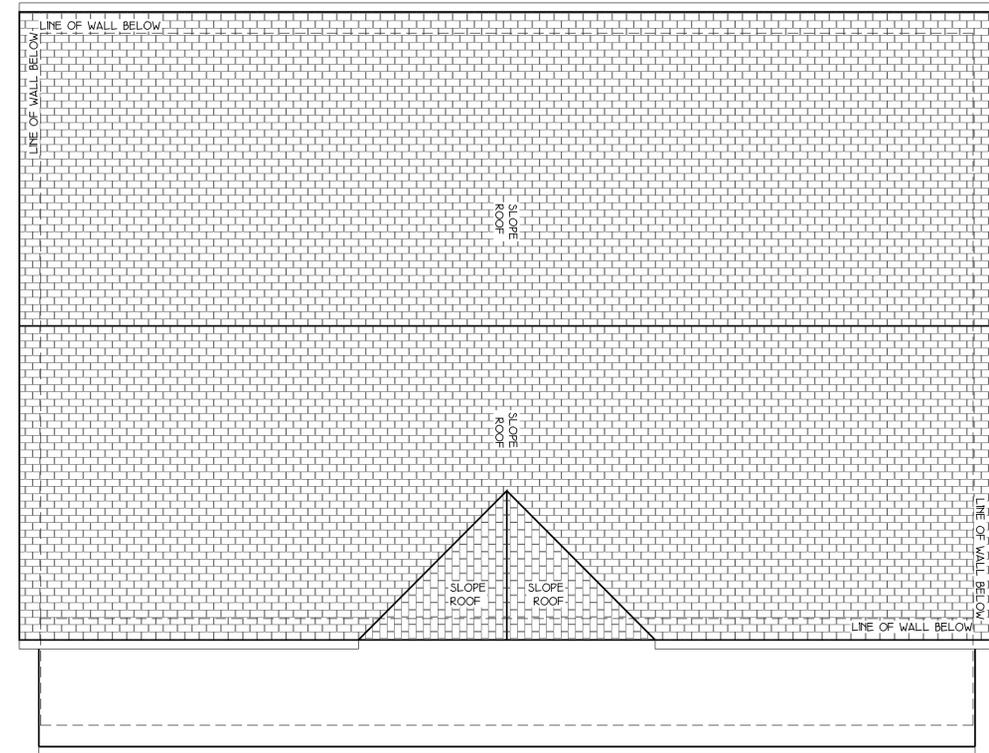
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**1** PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



**2** PROPOSED ROOF PLAN  
1/4" = 1'-0"

**CONSTRUCTION LEGEND:**

	NEW 10" POURED CONCRETE FOUNDATION WALL
	NEW 2x6 WOOD STUDS @ 16" O.C. W/ R-20 BATT INSULATION
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PROPOSED SECOND FLOOR PLAN AND  
PROPOSED ROOF PLAN

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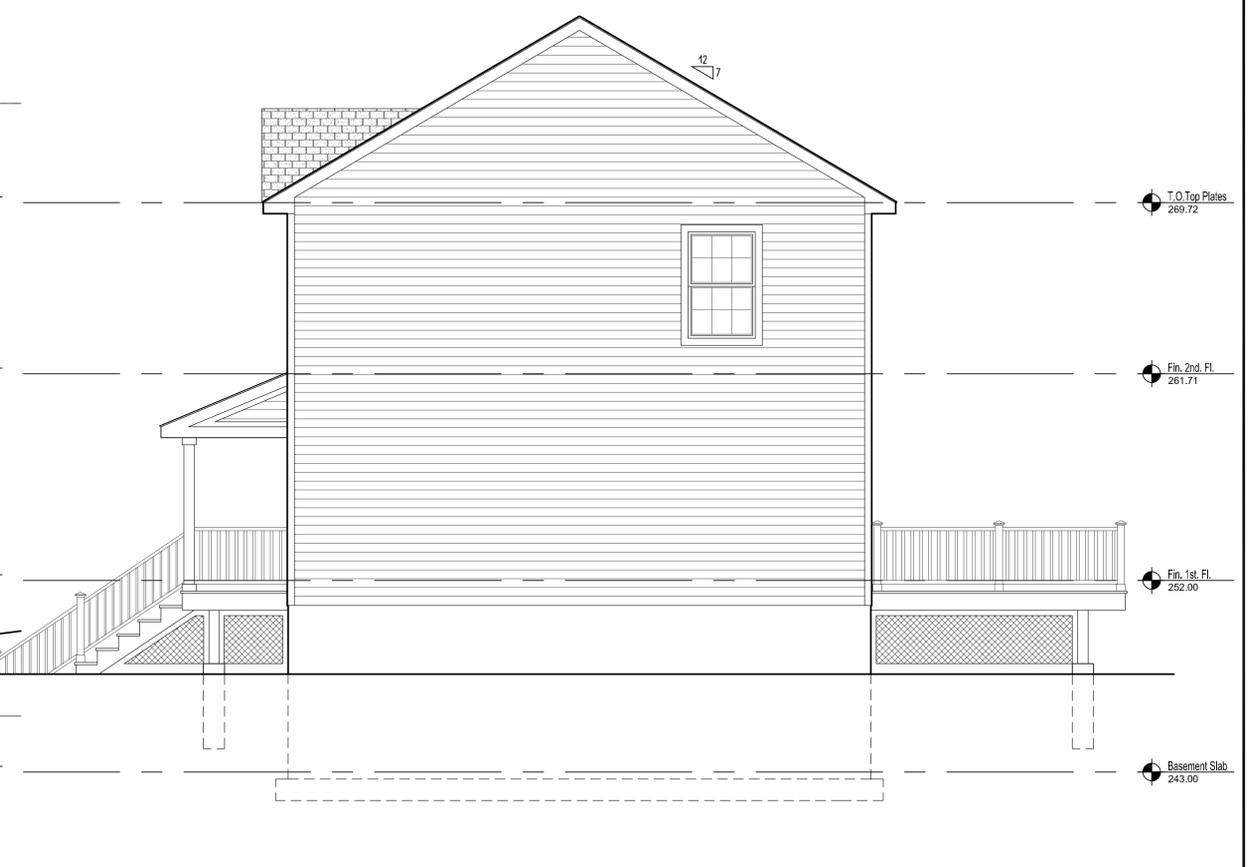
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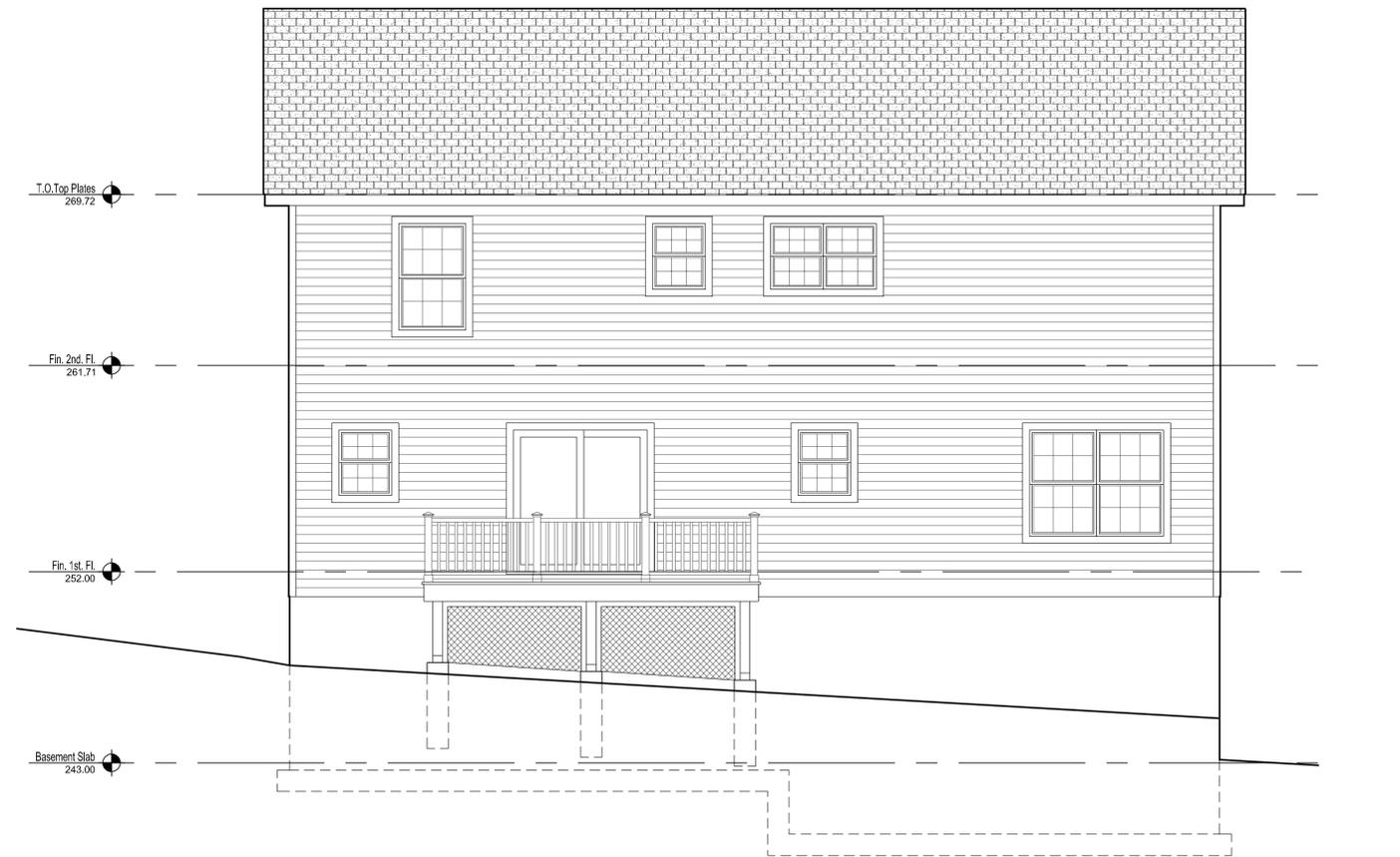
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1 PROPOSED FRONT ELEVATION 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION 1/4" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS

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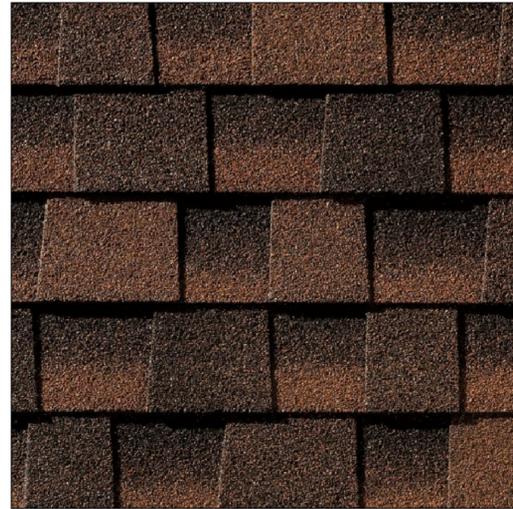
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DRAWING:



**SIDING/ CORNER BOARDS:**  
 CERTAINTEED 4" EXPOSURE HORIZONTAL VINYL SIDING  
 COLOR: BUCKSKIN



**ROOFING:**  
 GAF TIMBERLINE HD ARCHITECTURAL SHINGLES  
 COLOR: HICKORY



**SHUTTERS:**  
 RAISED PANEL VINYL SHUTTERS  
 COLOR: BROWN



**GARAGE DOORS:**  
 COLONIAL HORIZONTAL SQUARE PATTERN WITH GLASS TOP  
 OF DOOR, STEEL MATERIAL CONTENT  
 COLOR: WHITE



**EXTERIOR LIGHT:**  
 EXTERIOR LIGHT MODEL 78421-WH  
 COLOR: WHITE  
 LOCATIONS:  
 FRONT DOOR  
 REAR SLIDING GLASS DOOR  
 GARAGE DOORS



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PROPOSED FINISHES

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