

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REV.	DATE	COMMENT
1	11-11-19	AS PER BLDG. DEP
2	04-24-20	ZONING CHART
3	05-18-20	AS PER PLAN, BD.

LANDSCAPING PLAN

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINING, NEW YORK 10591

SHEET TITLE:

PROJECT INFO:

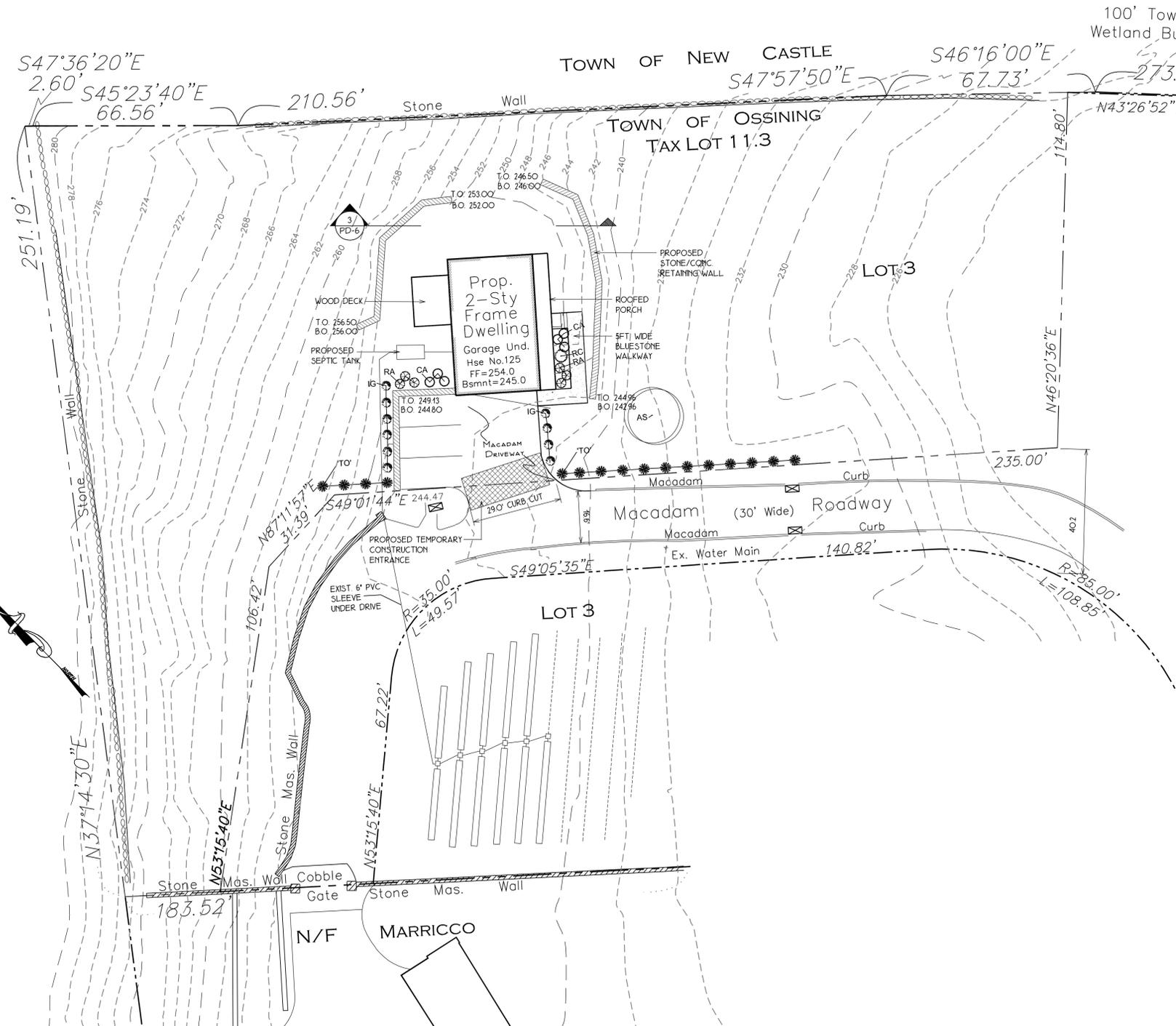
PROJECT #: 20001
DATE: February 20, 2020
SCALE: AS NOTED
DRAWN BY: RFA, DFA

SEAL:



DRAWING:

LP-1

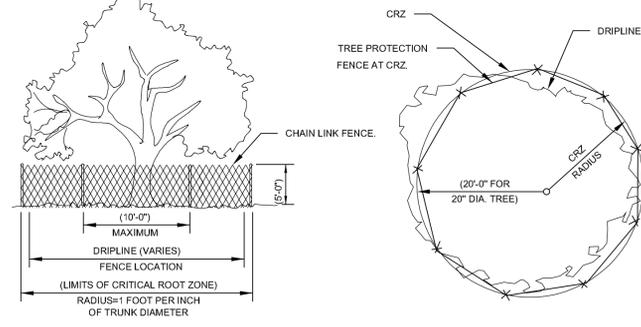


1 LANDSCAPING PLAN
1" = 20'-0"

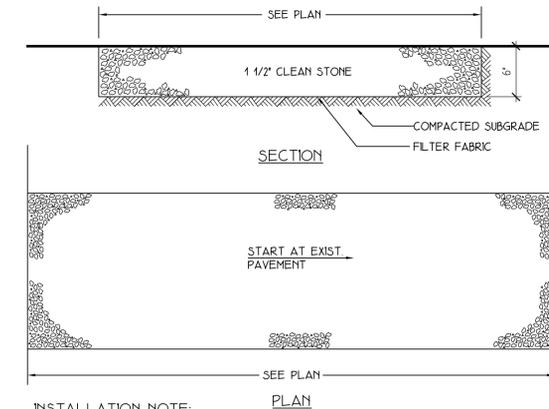
THE INFORMATION ABOVE WAS TAKEN FROM AN OWNER PROVIDED SURVEY. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN. ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION PROVIDED BY OTHERS.

SYM	KEY	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE	COMMENTS
CF	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	1	10 FT	
CA	CA	CLETHRA ALNFOLIA	SWEET PEPPERBUSH	6	3 GAL	
RA	RA	RHUS AROMATIC 'GRO LO'	FRAGRANT SUMAC	6	3 GAL	
TO	TO	THUJA OCCIDENTALIS	'AMERICAN PILLAR' ARBORVITAE	16	5 FT.	
IG	IG	ILEX GLABRA COMPACTA	COMPACT INKBERRY HOLLY	10	3 GAL	
RC	RC	RHODODENDRON CATAWBIENSE	CATAWBA RHODODENDRON	1	30'-36'	
AS	AS	ACER SACCHARUM MARSH	SUGAR MAPLE	1	4" CALIPER	

PLANTING NOTES:
A. ALL PLANT BEDS WILL RECEIVE 3" OF WELL-COMPOSTED MULCH. TREES IN LAWN AREAS SHOULD HAVE MULCH RINGS EXTENDING 2 FT FROM THE TRUNKS, OR SHOULD BE INCORPORATED INTO A LARGER MULCHED BED. MULCH SHOULD NOT BE PLACED TOUCHING THE CROWNS OF PLANTS.
B. PLANTINGS SHALL BE WATERED HEAVILY DURING THE FIRST MONTH OF PLANTING AND THEN REGULARLY DURING THE GROWTH PERIOD. SUPPLEMENTAL WATER SHALL BE PROVIDED FOR THE TWO SUMMERS AFTER PLANTING.



1 TREE PROTECTION FENCE DETAIL
N.T.S.



- INSTALLATION NOTE:**
- STONE SIZE USE 1 1/2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH AS SHOWN, BUT NOT LESS THAN 20 FEET.
 - THICKNESS: NOT LESS THAN SIX (6) INCHES AT CONSTRUCTION ENTRANCE.
 - WIDTH: 10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 - FILTER FABRIC: TO BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURED USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING: WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

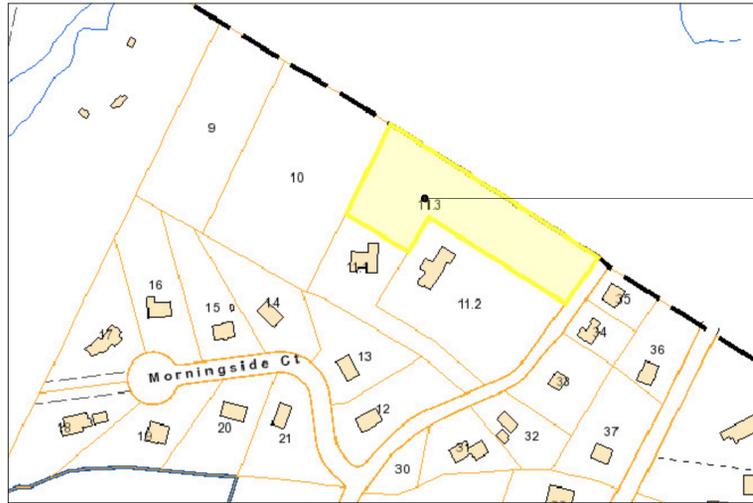
2 STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

NOTE:
ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WESTCHESTER COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION.

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO

125 MORNINGSID DRIVE
OSSINING, NEW YORK 10591



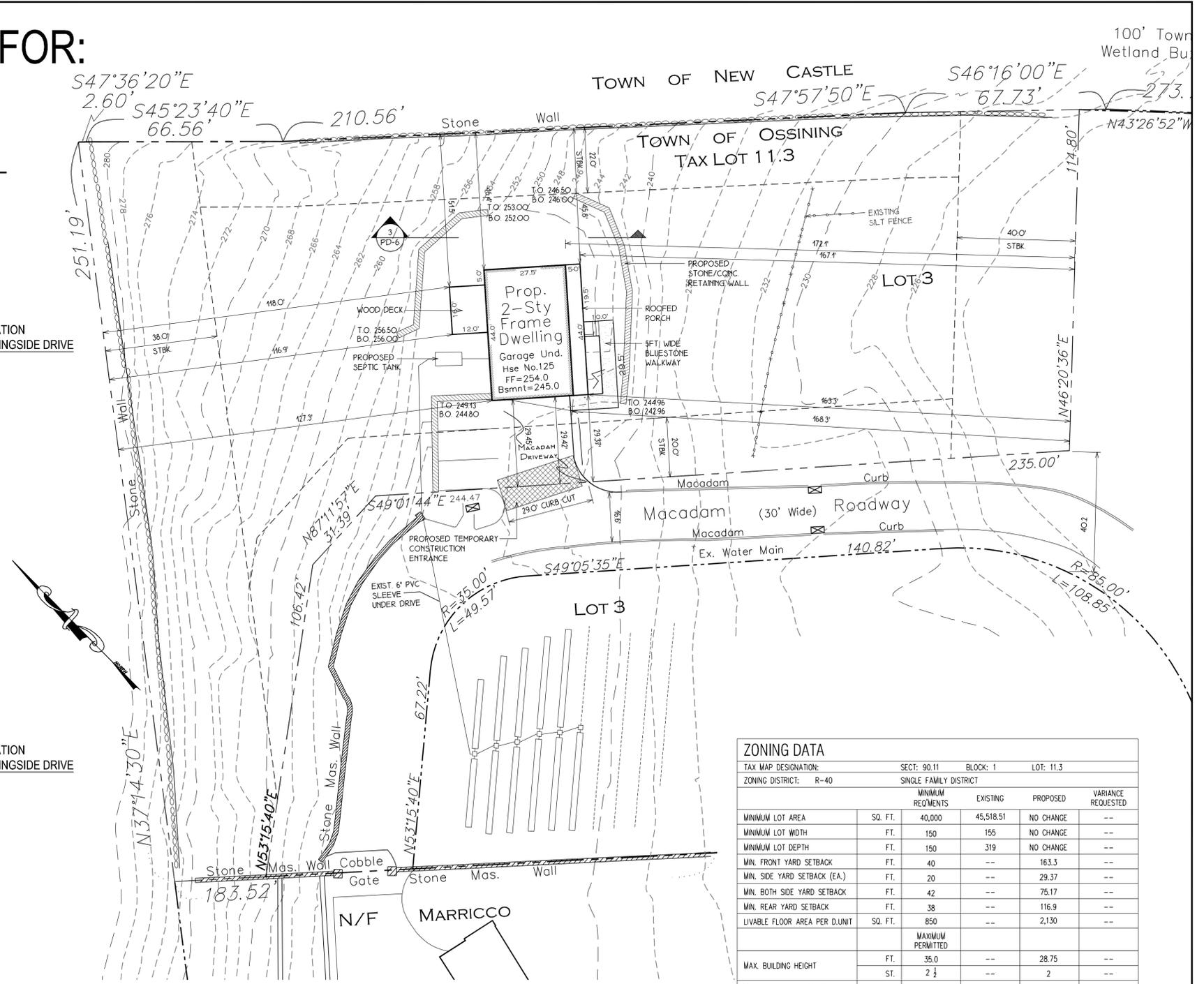
VICINITY MAP
N.T.S.
THE INFORMATION ABOVE WAS TAKEN FROM WESTCHESTER COUNTY GIS MAPS 2017



LOCATION MAP
N.T.S.
THE INFORMATION ABOVE WAS TAKEN FROM WESTCHESTER COUNTY GIS MAPS 2018

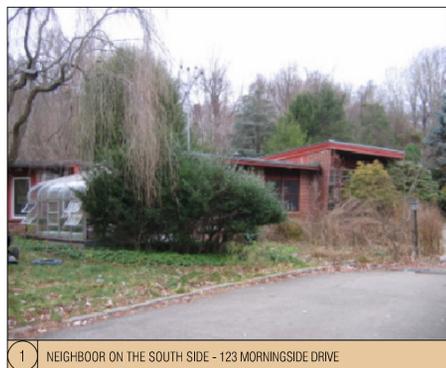
SITE LOCATION
125 MORNINGSID DRIVE

SITE LOCATION
125 MORNINGSID DRIVE



1 PROPOSED SITE PLAN
1"=20'-0"
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ZONING DATA					
TAX MAP DESIGNATION:		SECT: 90.11	BLOCK: 1	LOT: 11.3	
ZONING DISTRICT:		R-40 SINGLE FAMILY DISTRICT			
		MINIMUM REQUIREMENTS	EXISTING	PROPOSED	VARIANCE REQUESTED
MINIMUM LOT AREA	SQ. FT.	40,000	45,518.51	NO CHANGE	--
MINIMUM LOT WIDTH	FT.	150	155	NO CHANGE	--
MINIMUM LOT DEPTH	FT.	150	319	NO CHANGE	--
MIN. FRONT YARD SETBACK	FT.	40	--	163.3	--
MIN. SIDE YARD SETBACK (EA.)	FT.	20	--	29.37	--
MIN. BOTH SIDE YARD SETBACK	FT.	42	--	75.17	--
MIN. REAR YARD SETBACK	FT.	38	--	116.9	--
LIVABLE FLOOR AREA PER DUNIT	SQ. FT.	850	--	2,130	--
		MAXIMUM PERMITTED			
MAX. BUILDING HEIGHT	FT.	35.0	--	28.75	--
	ST.	2 1/2	--	2	--
MAX. BUILDING COVERAGE	%	18	--	3	--
MAX. FLOOR AREA	SQ. FT.	5,102.86	--	2,275	--
MAX. IMPERVIOUS COVERAGE	SQ. FT.	11,260	--	2,697	--



1 NEIGHBOR ON THE SOUTH SIDE - 123 MORNINGSID DRIVE



2 NEIGHBOR ON THE WEST SIDE - 127 MORNINGSID DRIVE



3 NEIGHBOR ON THE EAST SIDE - 130 MORNINGSID DRIVE



4 NEIGHBOR ON THE EAST SIDE - 128 MORNINGSID DRIVE



5 NEIGHBOR ON THE EAST SIDE - 124 MORNINGSID DRIVE

MAXIMUM FLOOR AREA CALCULATION:
200-21 (C)
5,000 S.F. + [(LOT AREA - 43,560 S.F.) X .052521]
5,000 S.F. + [(45,518.51 S.F. - 43,560 S.F.) X .052521]
5,000 S.F. + [(1,958.51 S.F.) X .052521]
5,000 S.F. + [102.86 S.F.]
5,102.86 S.F.

MAXIMUM FLOOR AREA CALCULATION (PROPOSED):
FIRST FLOOR GROSS AREA = 1,210 S.F.
SECOND FLOOR GROSS AREA = 1,065 S.F. (EXCLUDES DOUBLE HEIGHT SPACE)
TOTAL = 2,275 S.F.

BUILDING COVERAGE CALCULATION:
LOT AREA = 45,518.51
PRINCIPAL BUILDING = 1,210 S.F.
FRONT PORCH = 220 S.F.
TOTAL = 1,430 S.F.
1,430 S.F. / 45,518.51 S.F. = 0.03 = 3%

MAXIMUM IMPERVIOUS CALCULATION:
PRINCIPAL BUILDING = 1,210 S.F.
FRONT PORCH = 220 S.F.
FRONT WALK = 220 S.F.
DRIVEWAY = 850 S.F.
DECK = 192 S.F.
TOTAL = 2,697 S.F.



Rui F. Arraiano & Associates, LLC
140 VALLEY STREET, SLEEPY HOLLOW, NY 10591
PHONE: 914.332.9008

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VICINITY MAP, SITE PLAN AND NEIGHBORHOOD PHOTO STUDY

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSID DRIVE
OSSINING, NEW YORK 10591

SHEET INFO:

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DRAWN BY: RFA, DFA

SEAL:



DRAWING:

PD-1

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SHEET TITLE:
PROPOSED FOUNDATION/ BASEMENT PLAN
AND PROPOSED FIRST FLOOR PLAN

PROJECT INFO:
PROPOSED 2 STORY RESIDENCE FOR :

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINGING , NEW YORK 10591

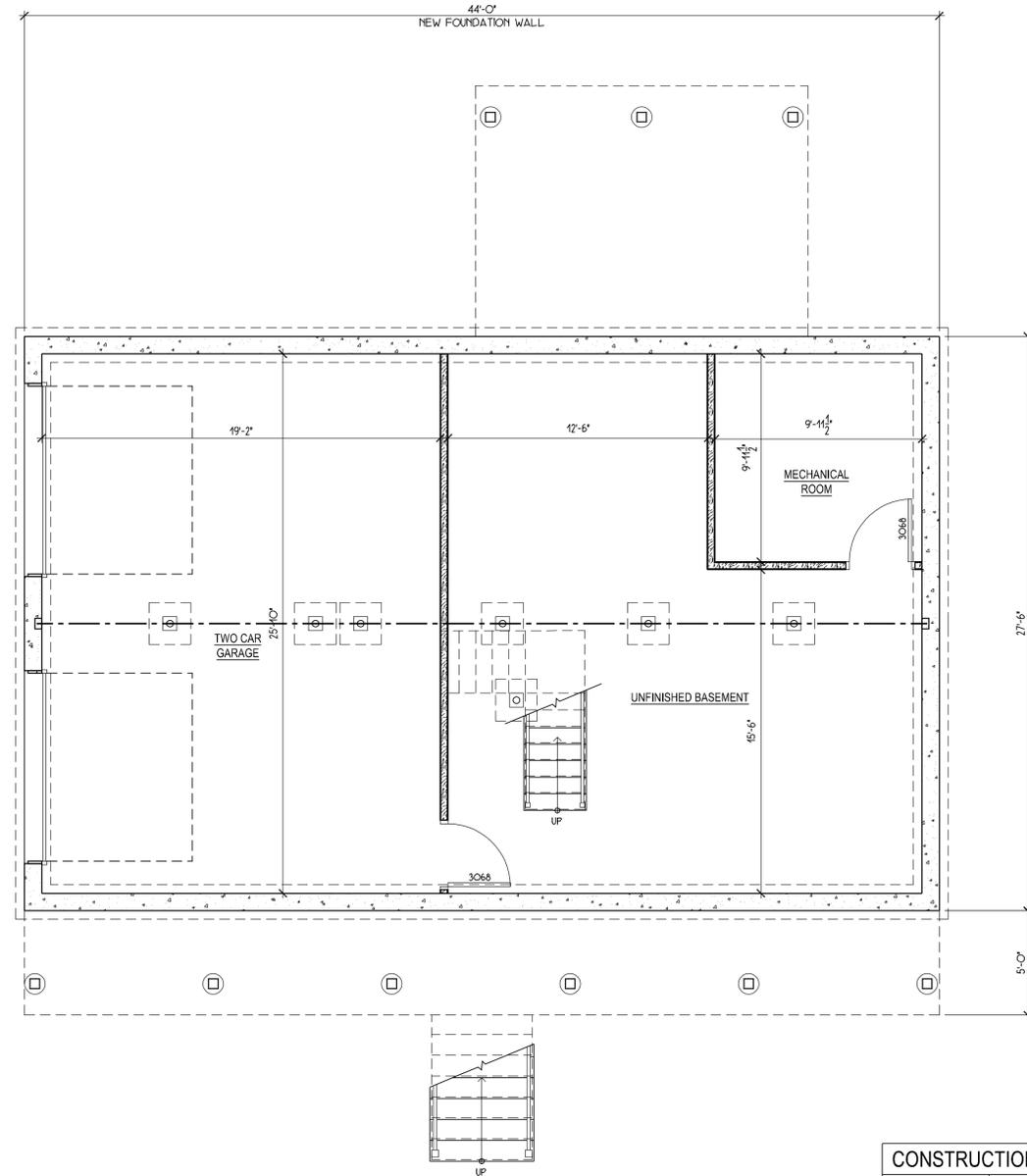
PROJECT #:
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20001
February 20, 2020
AS NOTED
RFA, DFA

SEAL:



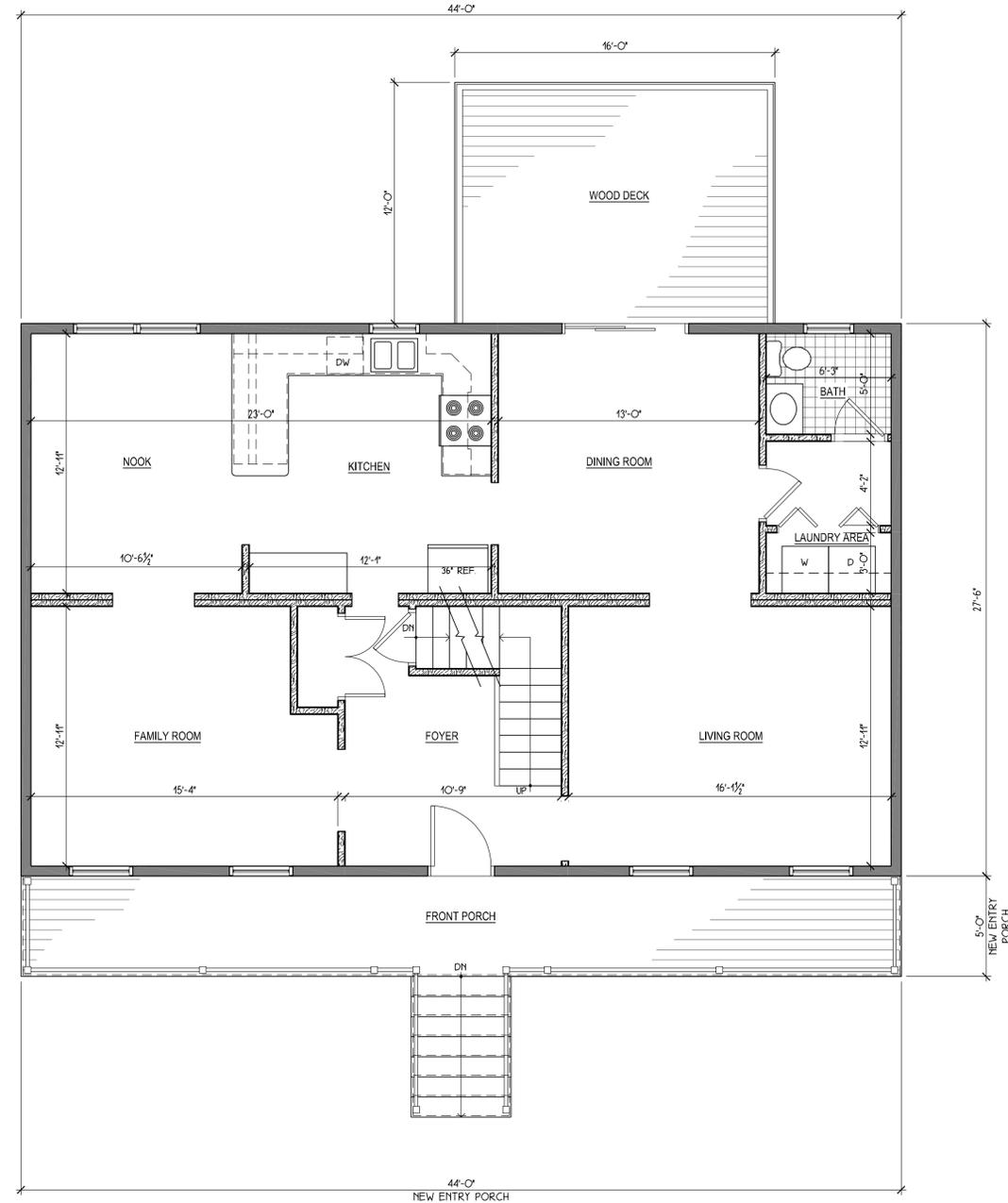
DRAWING:



1 PROPOSED FOUNDATION/ BASEMENT PLAN
1/4" = 1'-0"

CONSTRUCTION LEGEND:

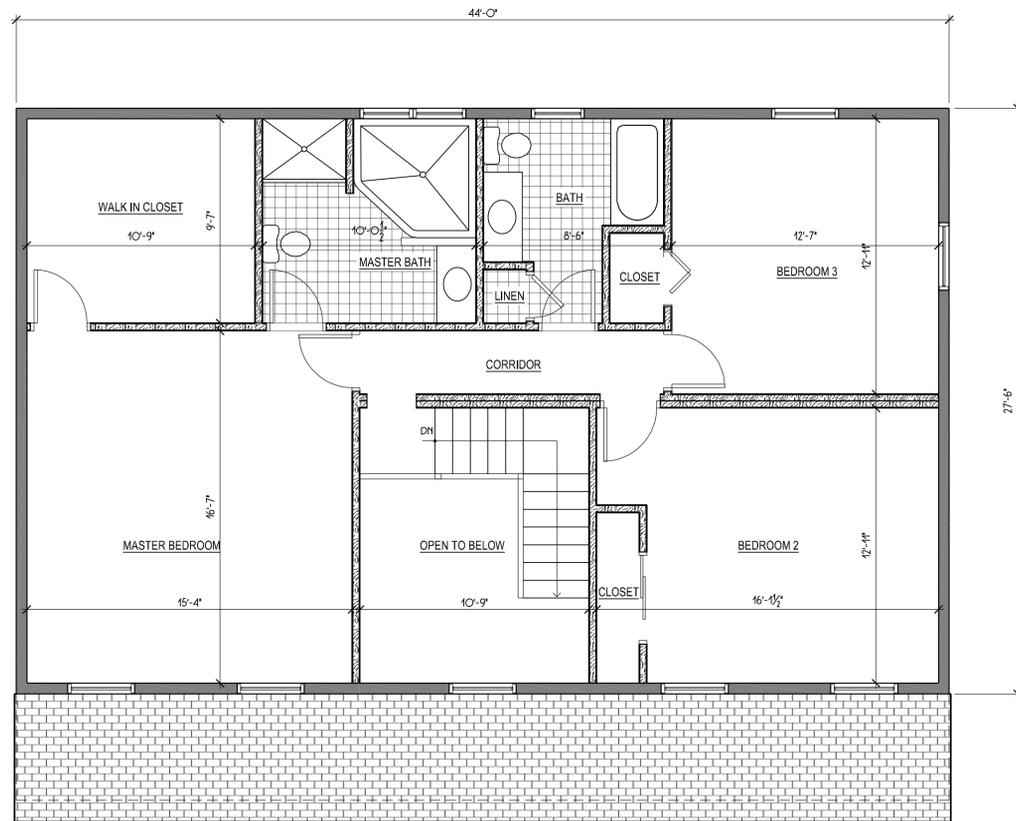
	NEW 10" POURED CONCRETE FOUNDATION WALL
	NEW 2x6 WOOD STUDS @ 16" O.C. W/ R-20 BATT INSULATION
	NEW 2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GYPSUM BOARD EACH SIDE
	DOOR
	INDICATES DOOR
	WINDOW



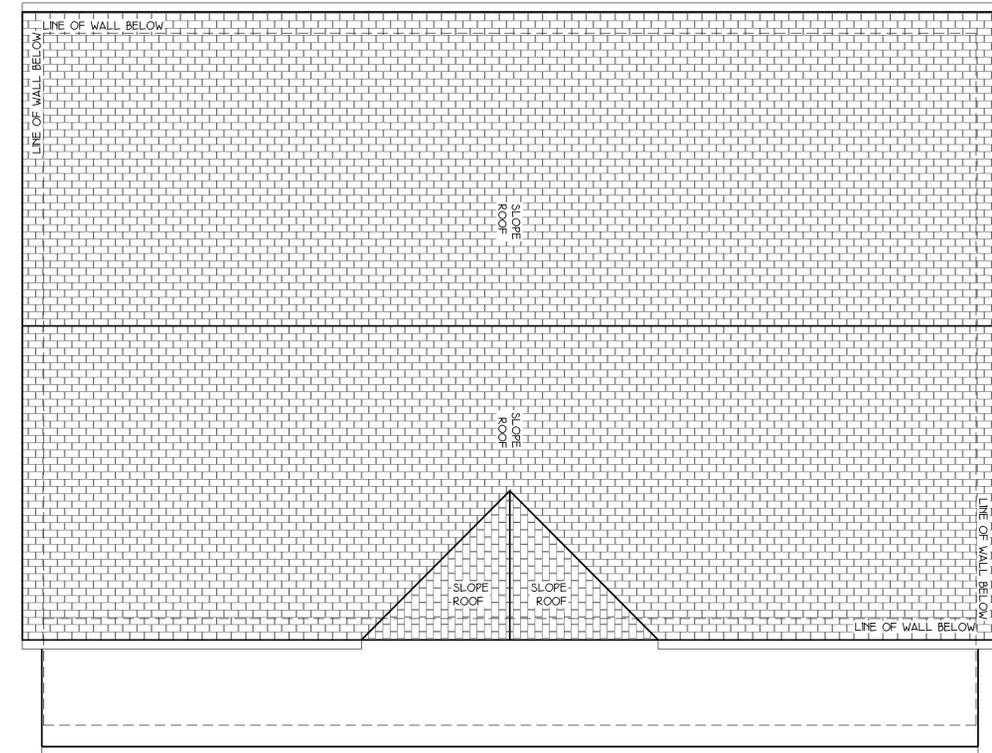
2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

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1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED ROOF PLAN
1/4" = 1'-0"

CONSTRUCTION LEGEND:

	NEW 10" POURED CONCRETE FOUNDATION WALL
	NEW 2x6 WOOD STUDS @ 16" O.C., W/ R-20 BATT INSULATION
	NEW 2x4 WOOD STUDS @ 16" O.C., W/ 1/2" GYPSUM BOARD EACH SIDE
	DOOR INDICATES DOOR
	WINDOW

PROPOSED SECOND FLOOR PLAN AND
PROPOSED ROOF PLAN

PROPOSED 2 STORY RESIDENCE FOR :

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINGING , NEW YORK 10591

SHEET TITLE:

PROJECT INFO:

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DATE: February 20, 2020
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SEAL:



DRAWING:

PD-3

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PROPOSED EXTERIOR ELEVATIONS

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINGING, NEW YORK 10591

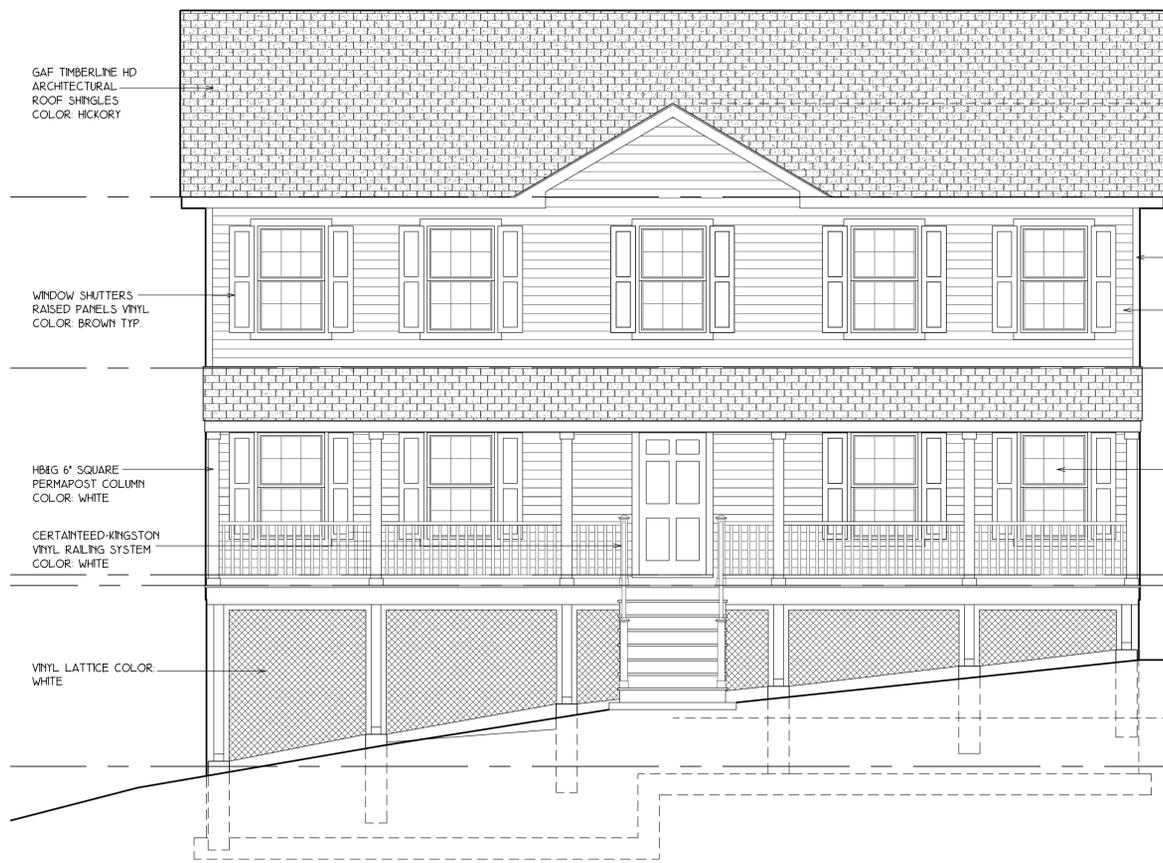
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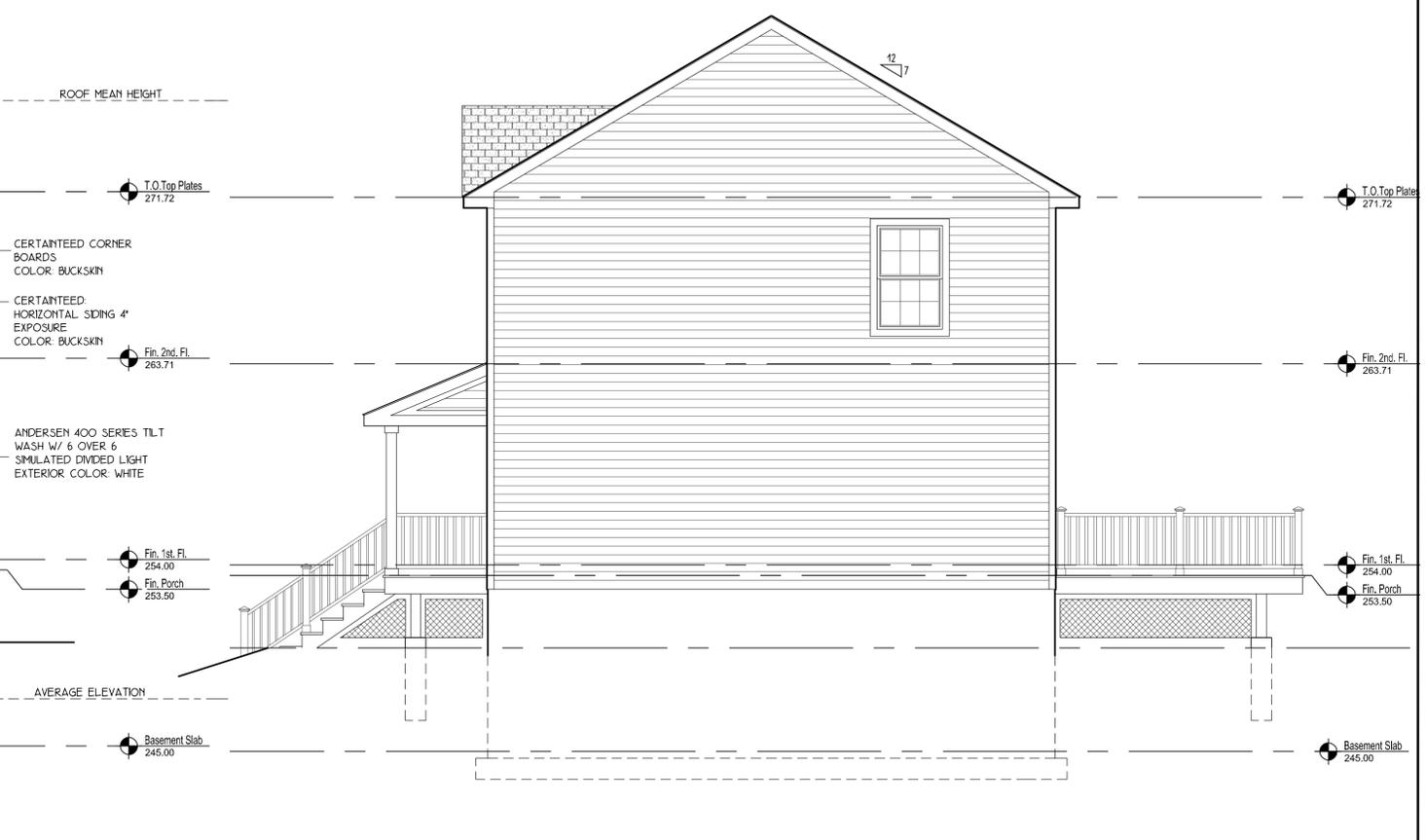
PROJECT #: 20001
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SCALE: AS NOTED
DRAWN BY: RFA, DFA
SEAL:



DRAWING:



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



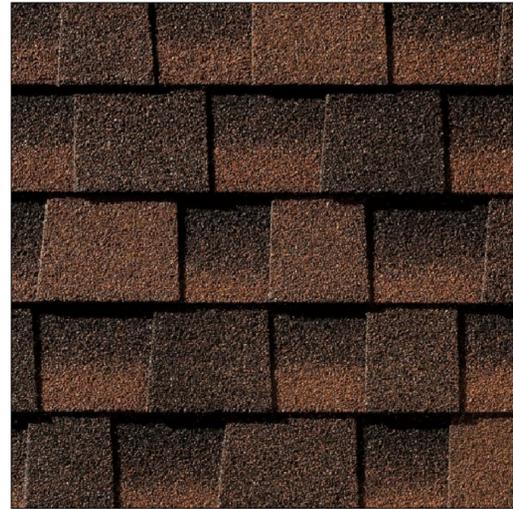
3 PROPOSED REAR ELEVATION
1/4" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"



SIDING/ CORNER BOARDS:
 CERTAINTEED 4" EXPOSURE HORIZONTAL VINYL SIDING
 COLOR: BUCKSKIN



ROOFING:
 GAF TIMBERLINE HD ARCHITECTURAL SHINGLES
 COLOR: HICKORY



SHUTTERS:
 RAISED PANEL VINYL SHUTTERS
 COLOR: BROWN



GARAGE DOORS:
 COLONIAL HORIZONTAL SQUARE PATTERN WITH GLASS TOP
 OF DOOR, STEEL MATERIAL CONTENT
 COLOR: WHITE



EXTERIOR LIGHT:
 EXTERIOR LIGHT MODEL 78421-WH
 COLOR: WHITE
 LOCATIONS:
 FRONT DOOR
 REAR SLIDING GLASS DOOR
 GARAGE DOORS



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PROPOSED FINISHES

PROPOSED 2 STORY RESIDENCE FOR :

JOHN MARRICCO
 125 MORNINGSIDE DRIVE
 OSSINING , NEW YORK 10591

SHEET TITLE:

PROJECT INFO:

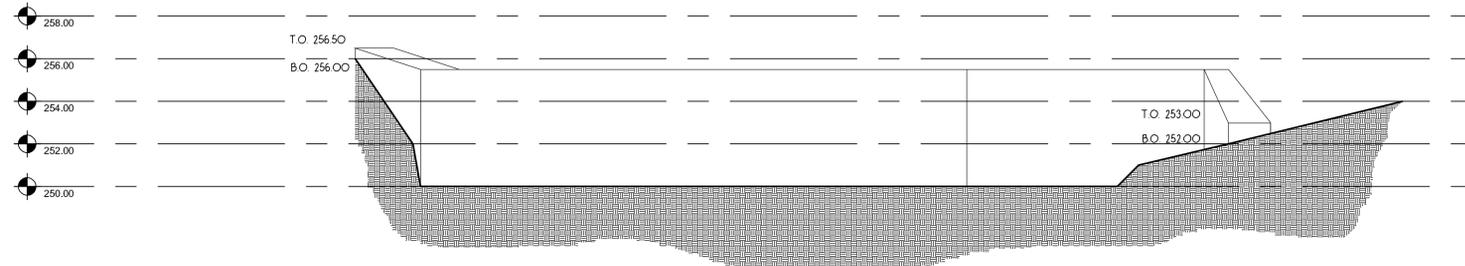
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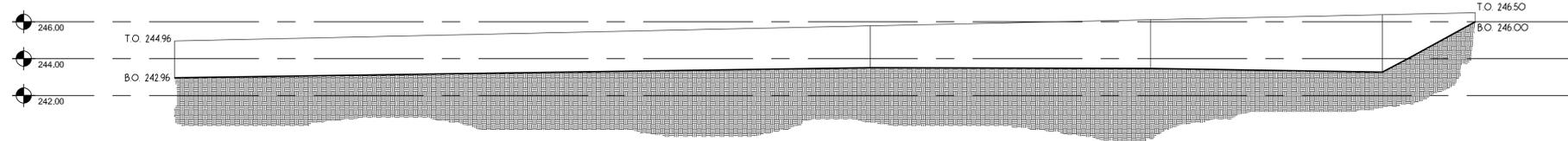


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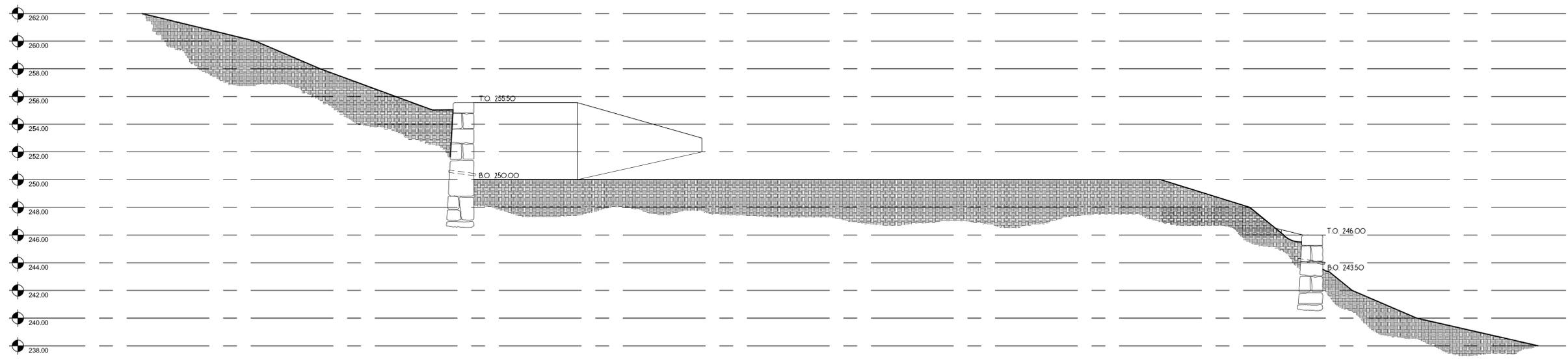
PD-5



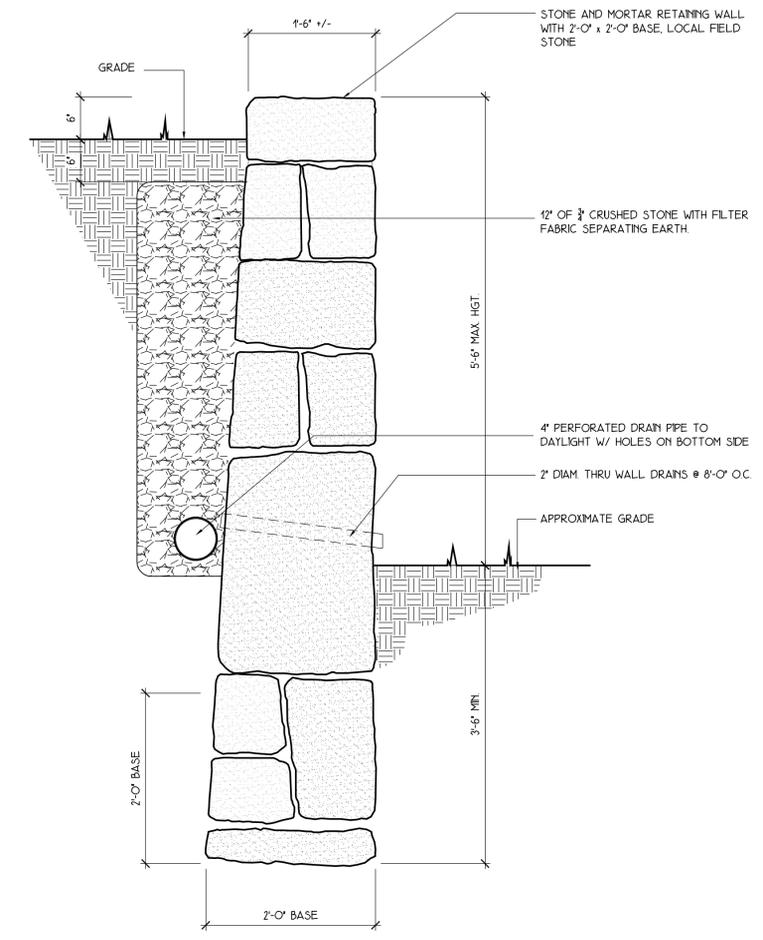
1 PROPOSED LEFT SIDE RETAINING WALL ELEVATION 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE RETAINING WALL ELEVATION 1/4" = 1'-0"



3 PROPOSED RETAINING WALL SECTION 1" = 1'-0"



4 PROPOSED RETAINING WALL DETAIL 1" = 1'-0"



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PROPOSED RETAINING WALL ELEVATIONS, SECTION AND DETAIL

PROJECT INFO:
PROPOSED 2 STORY RESIDENCE FOR:
JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINING, NEW YORK 10591

SHEET TITLE:
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SEAL:

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February 20, 2020
AS NOTED
RFA, DFA



DRAWING:

PD-6