

VIA HAND DELIVERED

May 7, 2018

Architectural Review Board
Town of Ossining
John-Paul Rodrigues Operations Center
101 Route 9A
P.O. Box 1166
Ossining, New York 10562

Attn: Ching Wah Chin, Chairman

RE: Diesing Lot 2 – Grant Subdivision
Architectural Review Board Review

Dear Chairman Chin:

Kellard Sessions Consulting is pleased to submit the following materials in support of application for Architectural Review Board approval for a proposed dwelling on the referenced lot:

- Sheet 1/2 entitled "Lot 2 – Site Plan" prepared by Kellard Sessions Consulting dated May 7, 2018
- Sheet 2/2 entitled "Details" prepared by Kellard Sessions Consulting dated May 7, 2018
- Sheet SY-1 entitled "Proposed Subdivision Plan" prepared by Gregory J. McWilliams, AIA dated (last revised) April 28, 2016
- Sheet SY-1A entitled "Proposed Entry Driveway" prepared by Gregory J. McWilliams, AIA dated (last revised) April 28, 2016

At the last Architectural Review Board meeting (April 18, 2018), the Board requested that the applicant prepare/submit a site plan for Lot 2, illustrating proposed grading, drainage, water/sewer hook ups and tree removal/replacement information. As Sheet 1/2 illustrates, all of the requested information has been provided, including two (2) newly-proposed 7' – 8' high evergreen trees. These trees are being proposed to mitigate for the two (2) deciduous trees to be removed on the applicant's property (quad. 8" tree and 12" hickory). No additional trees are proposed to be removed for the construction of the dwelling or the improvement of the existing access driveway to the dwelling location.

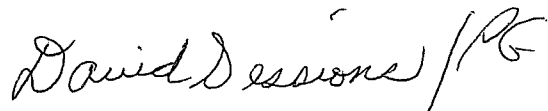
Ching Wah Chin, Chairman
May 7, 2018
Page 2

In addition, the Board requested at its April 18, 2018 meeting, modifications to the accent roof materials from shingled material to metal. The revised architectural plans, submitted under separate cover on Friday, May 4, 2018, now reflect this modification.

By cover of this letter, we are requesting that this item be placed on your Board's May 16, 2018 agenda for a Public Hearing and consideration of Architectural Review Board approval. The applicant is eager to pursue a building permit for the dwelling and move forward with the lot development.

Should you have any questions or require additional copies of the submitted materials, please don't hesitate to contact me.

Sincerely,

A handwritten signature in cursive script that reads "David Sessions" followed by a stylized monogram or initials "DS".

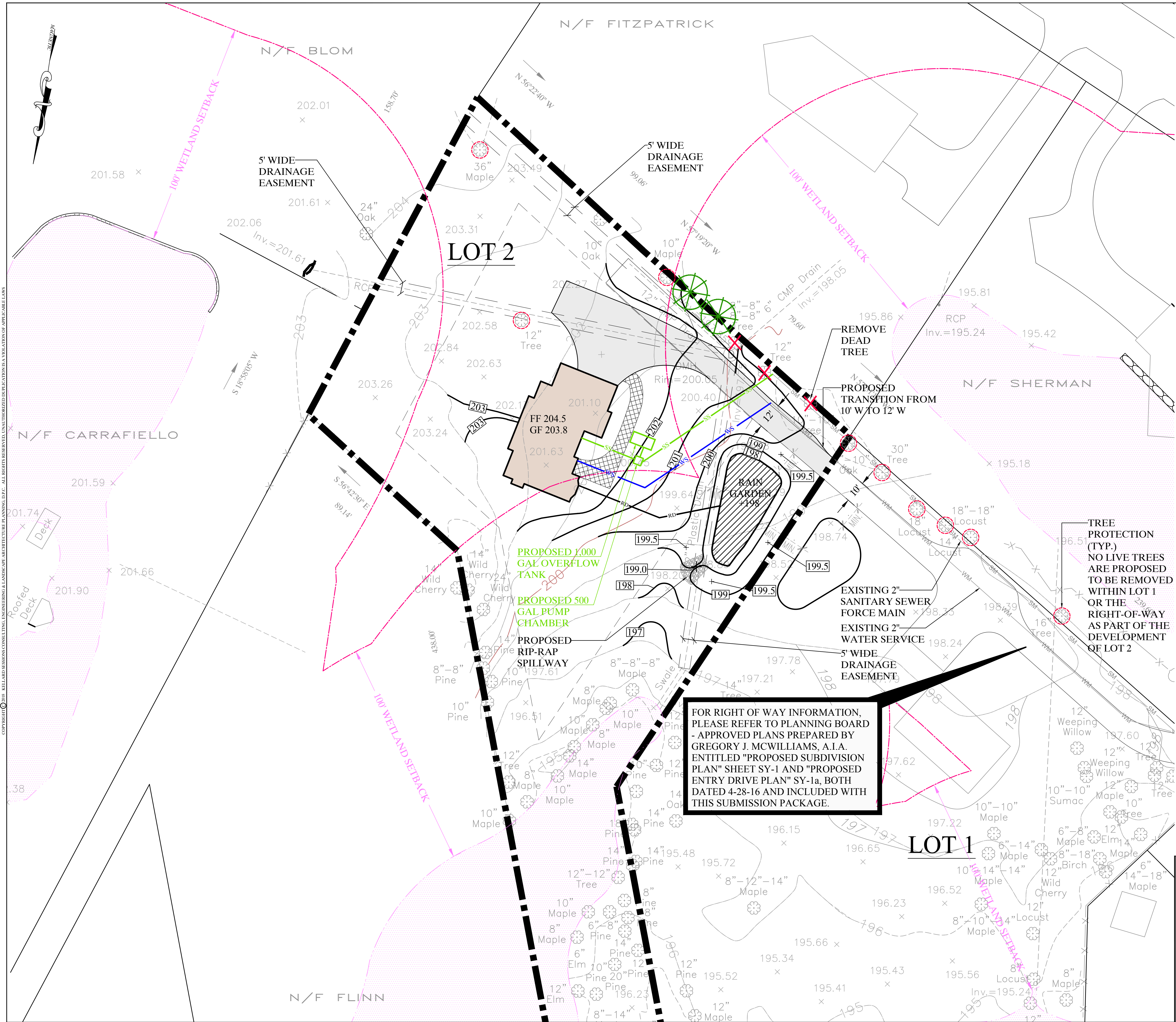
David Sessions, RLA, AICP
Kellard Sessions Consulting

DS/pg

Enclosures

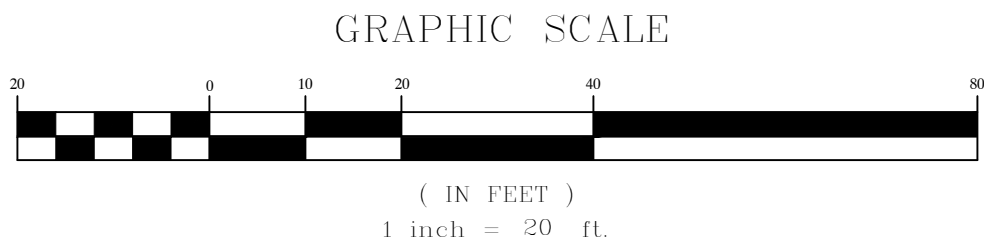
cc: Stephanie Diesing
Carl Diesing
Gregory McWilliams, AIA

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LEGEND

- EXISTING PROPERTY LINE
- EXISTING ZONING YARD SETBACK
- EXISTING 1' CONTOURS
- EXISTING 10' CONTOURS
- PROPOSED PAVEMENT
- EXISTING WETLAND
- EXISTING 100' WETLAND SETBACK
- EXISTING DRAINAGE MANHOLE WITH DRAINAGE PIPE
- PROPOSED DWELLING
- PROPOSED CONTOUR
- PROPOSED CONCRETE/BLUESTONE WALKWAY
- PROPOSED RAIN GARDEN
- EXISTING TREE TO REMAIN UNLESS OTHERWISE NOTED
- PROPOSED TREE PROTECTION FOR EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED EVERGREEN TREE (WHITE PINE OR EASTERN RED CEDAR, 7'-8' PLANTED HEIGHT, MIN.)
- APPROXIMATE LOCATION OF PROPOSED HOUSE SANITARY SEWER SERVICE CONNECTION
- APPROXIMATE LOCATION OF PROPOSED WATER SERVICE CONNECTION
- APPROXIMATE LOCATION OF PROPOSED THE ROOF LEADER DISCHARGE



FOR RIGHT OF WAY INFORMATION,
PLEASE REFER TO PLANNING BOARD
- APPROVED PLANS PREPARED BY
GREGORY J. MCWILLIAMS, A.I.A.
ENTITLED "PROPOSED SUBDIVISION
PLAN" SHEET SY-1 AND "PROPOSED
ENTRY DRIVE PLAN" SY-1a, BOTH
DATED 4-28-16 AND INCLUDED WITH
THIS SUBMISSION PACKAGE.

KELLARD
SESSIONS

CONSULTING
ENGINEERING
&
LANDSCAPE
ARCHITECTURE
PLANNING, D.P.C.
500 MAIN STREET
ARMONK, N.Y. 10504
P: (914) 273-2523
F: (914) 273-2529
WWW.KELSES.COM

LOT 2 SITE PLAN

GRANT SUBDIVISION - DIESING

TOWN OF OSSINGING

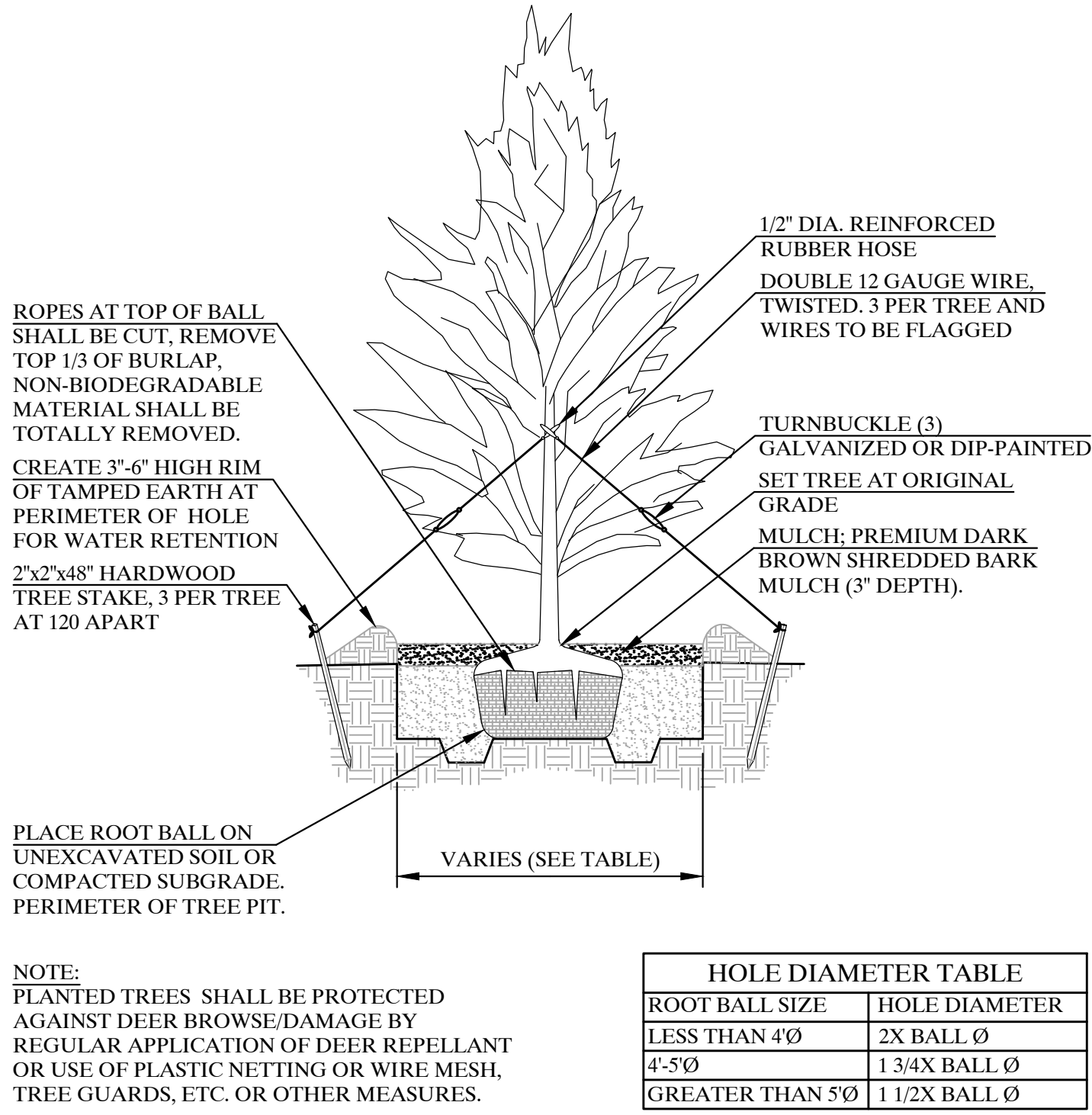
WESTCHESTER COUNTY, NEW YORK



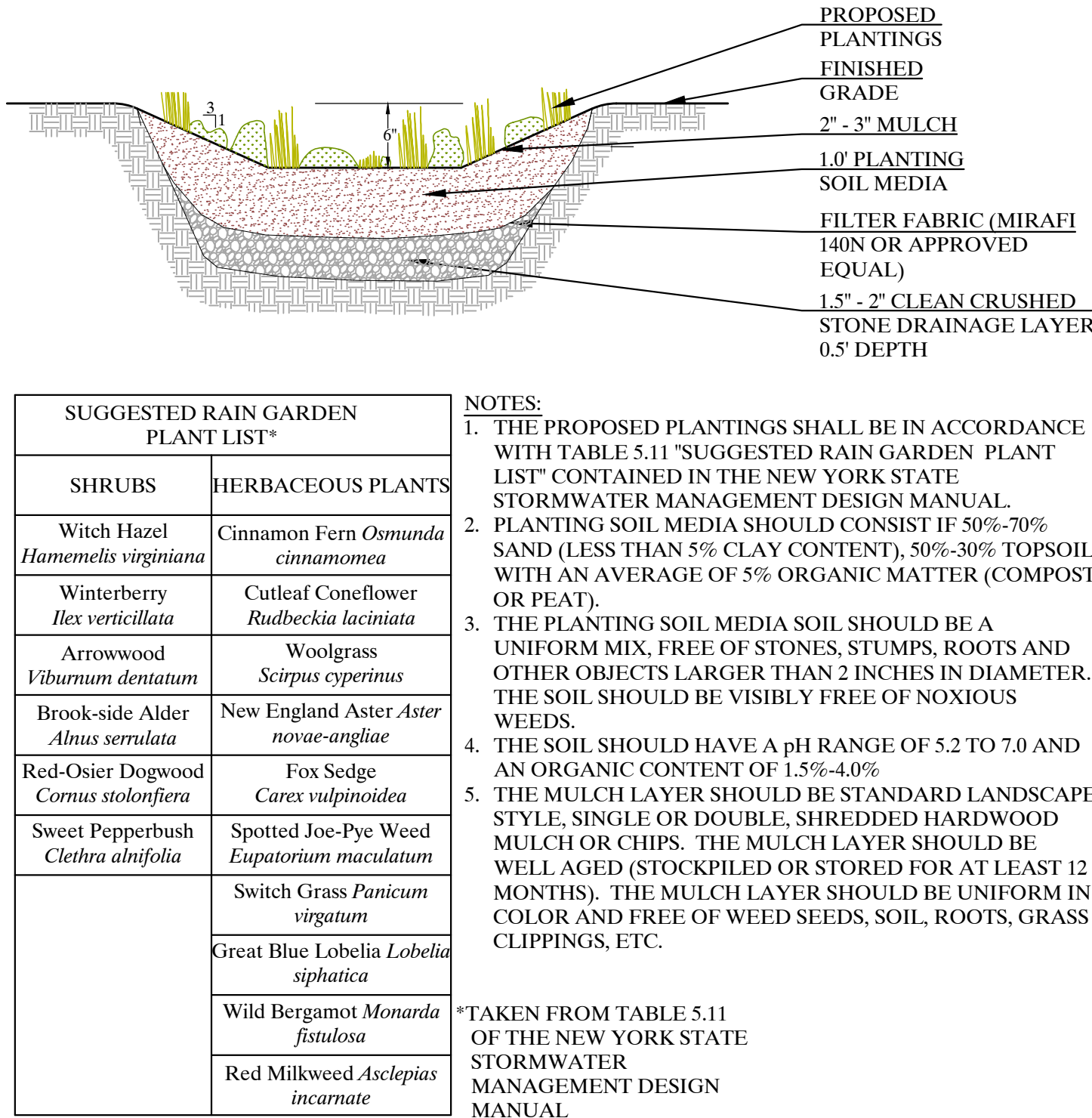
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MAY 7, 2018	

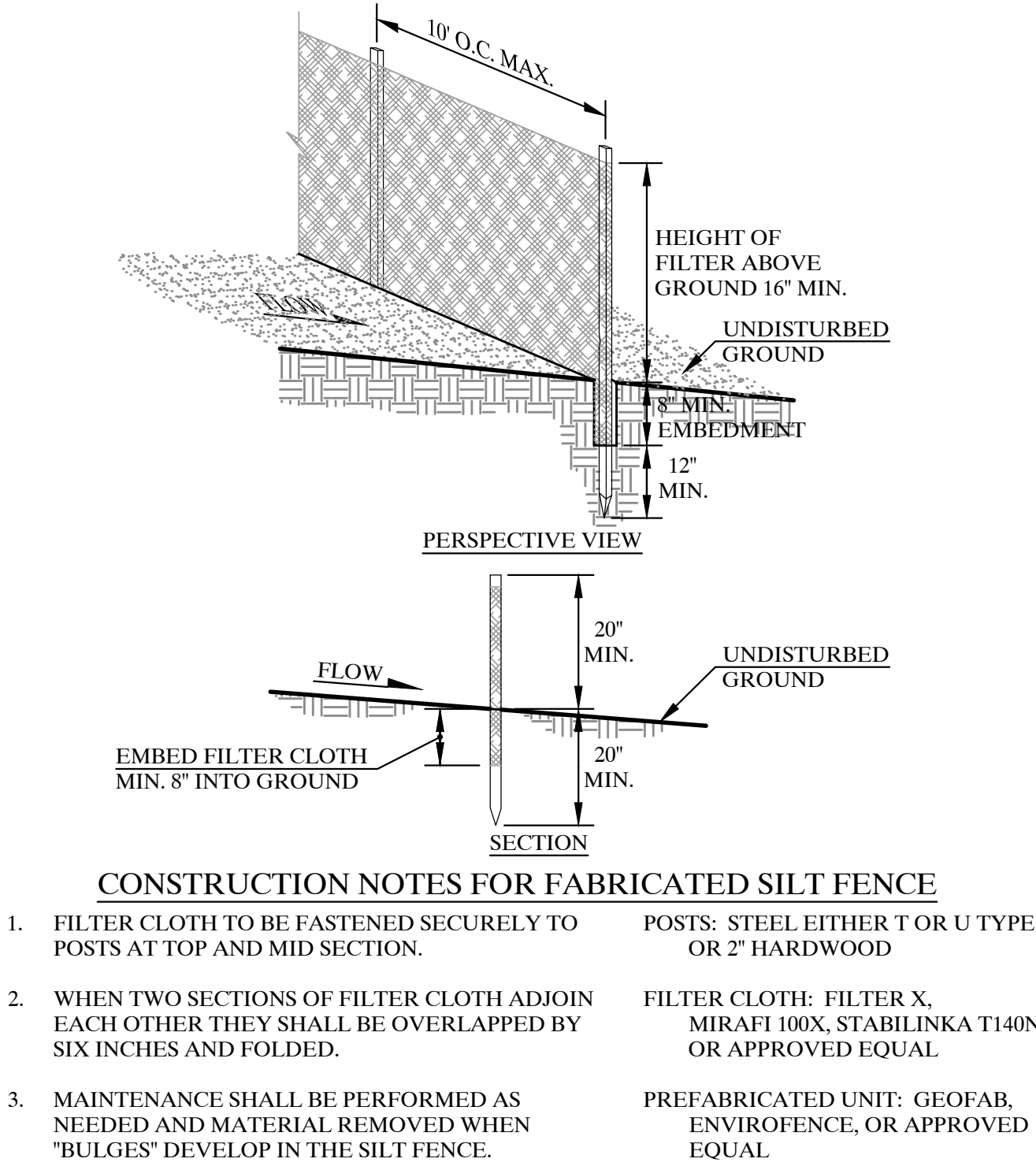
EVERGREEN TREE PLANTING DETAIL (N.T.S.)



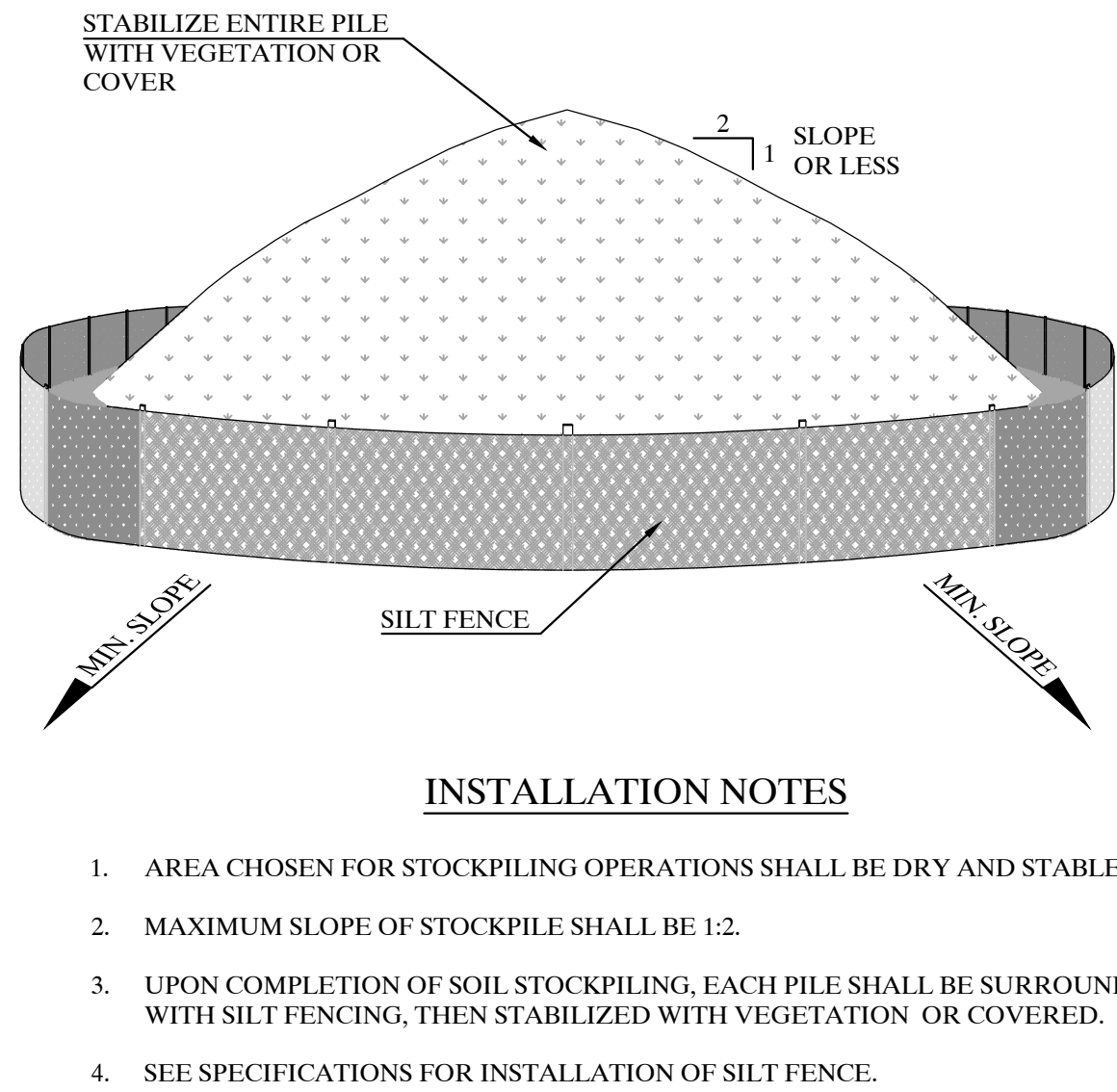
RAIN GARDEN SECTION (N.T.S.)



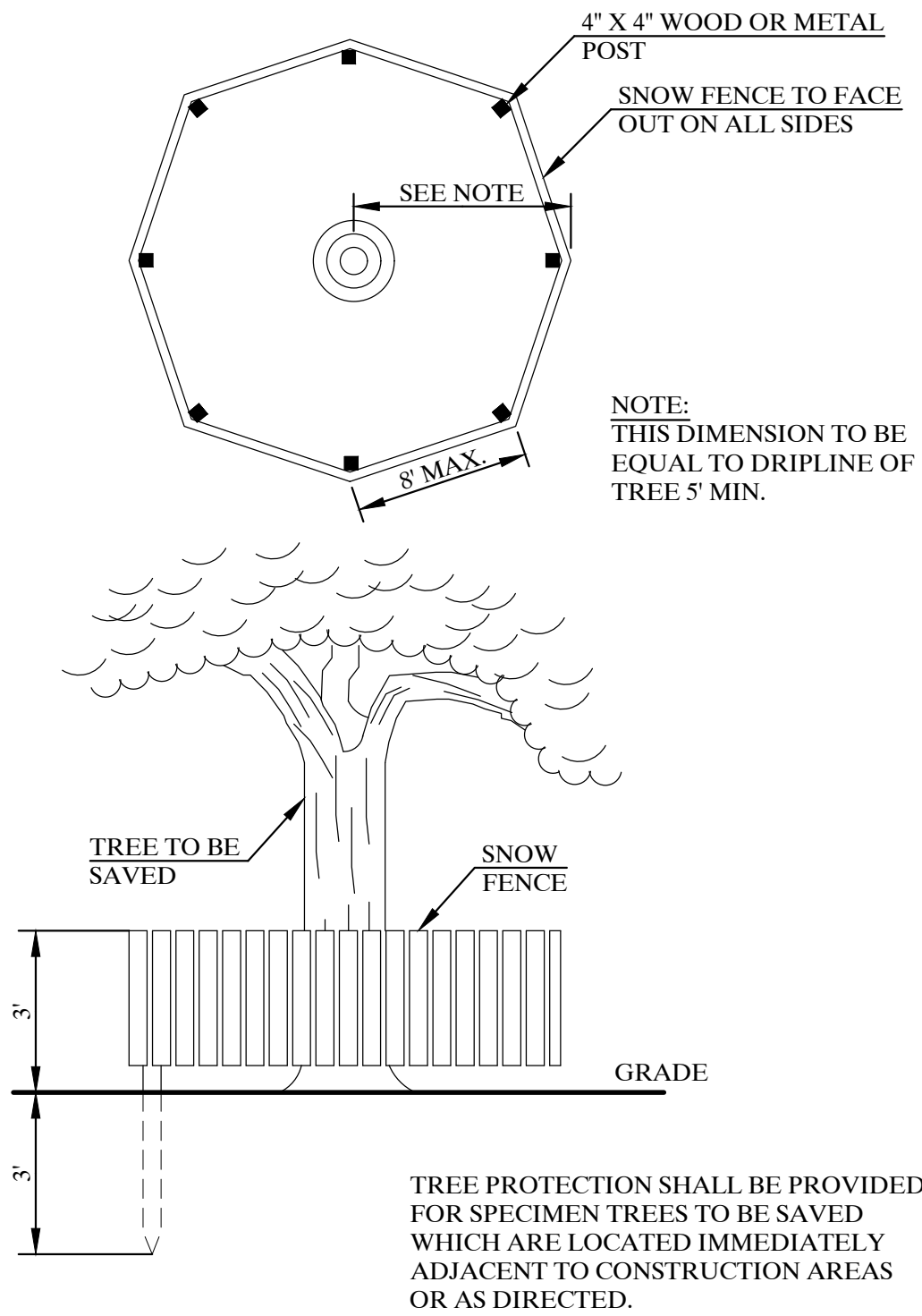
SILT FENCE DETAIL (N.T.S.)



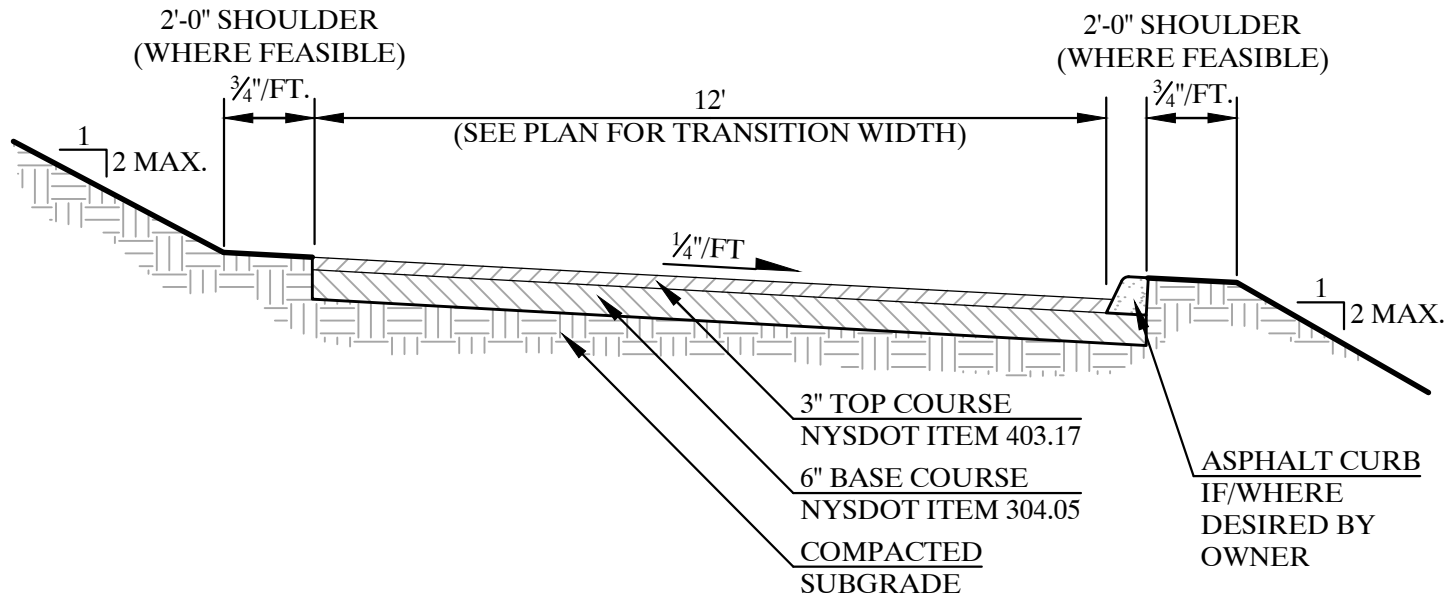
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



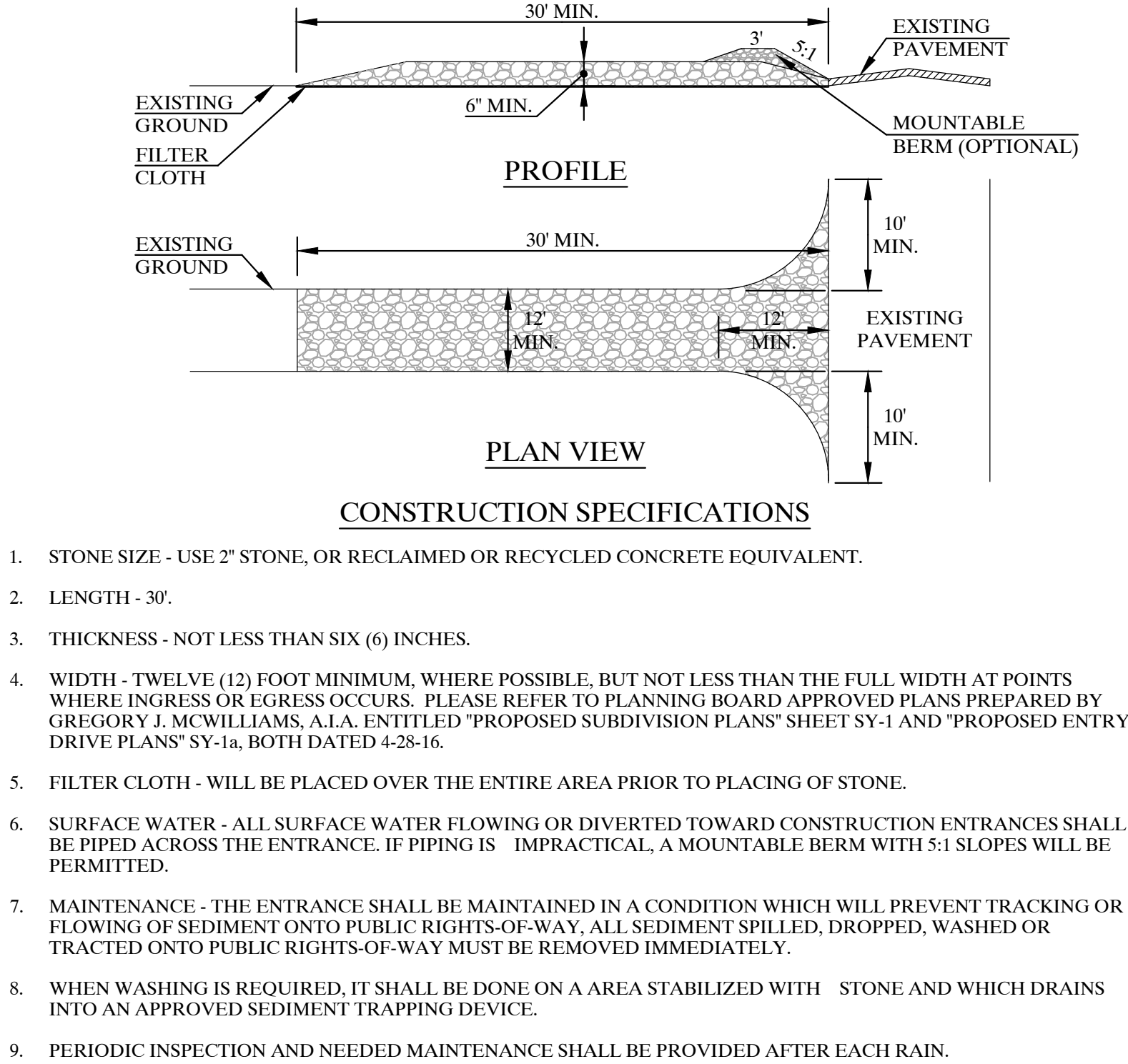
TREE PROTECTION DETAIL (N.T.S.)



INDIVIDUAL DRIVEWAY SECTION DETAIL (N.T.S.)



STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



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PLANNING, D.P.C.

500 MAIN STREET
ARMONK, N.Y. 10504

P: (914) 273-2523
F: (914) 273-2529

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LOT 2 DETAILS

GRANT SUBDIVISION - DIESING

TOWN OF OSSING

WESTCHESTER COUNTY, NEW YORK



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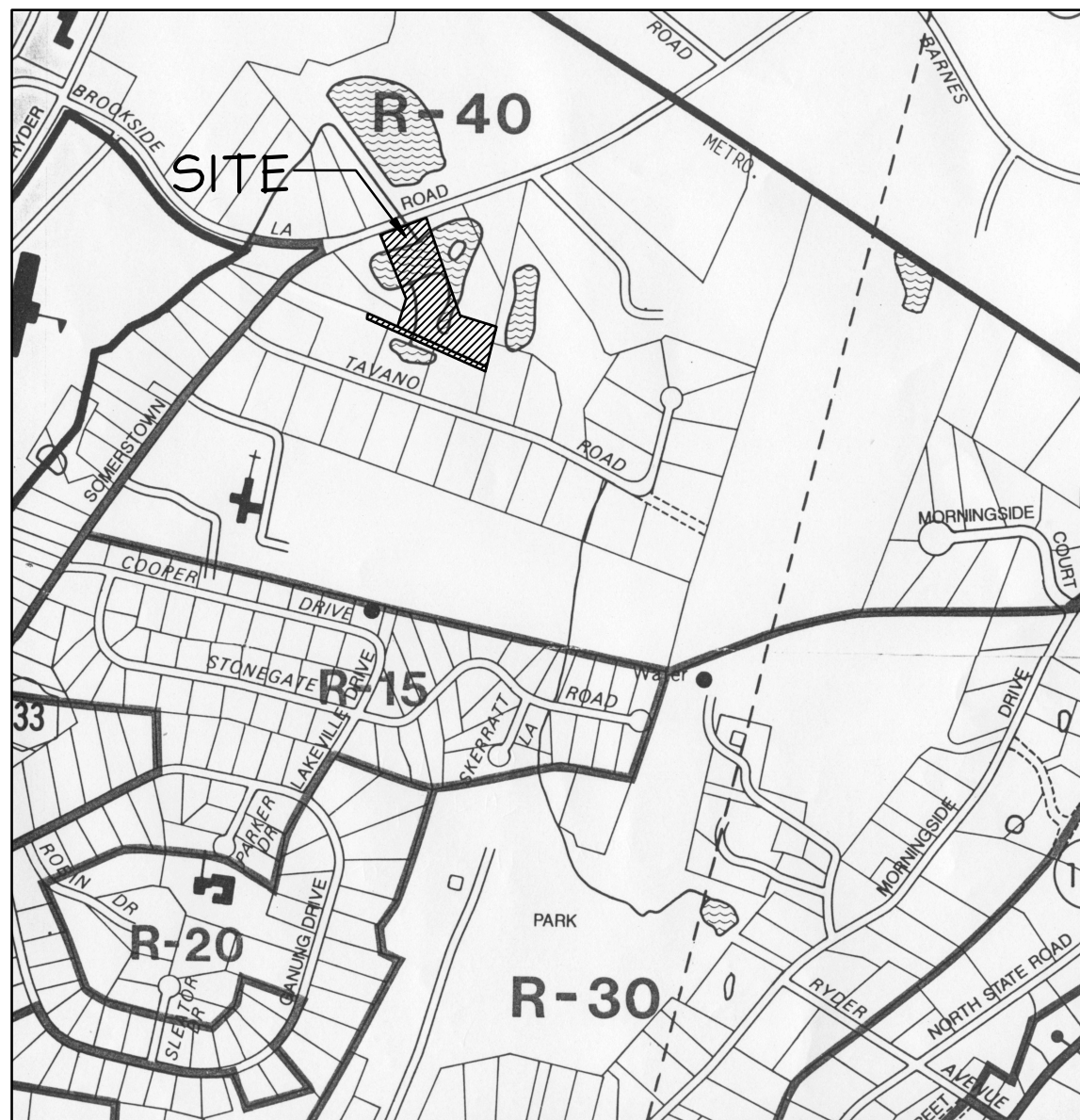
MAY 7, 2018

SITE DEVELOPMENT DATA

TAX IDENTIFICATION:	SECTION 1 PLATE 7 BLOCK 19 LOT 3
TOTAL SITE AREA:	±3.23 ACRES (±140,652 S.F.)
*PROPOSED LOT #1:	86,693.54 S.F. MIN.
*PROPOSED LOT #2:	53,958.70 S.F.

ZONING DATA

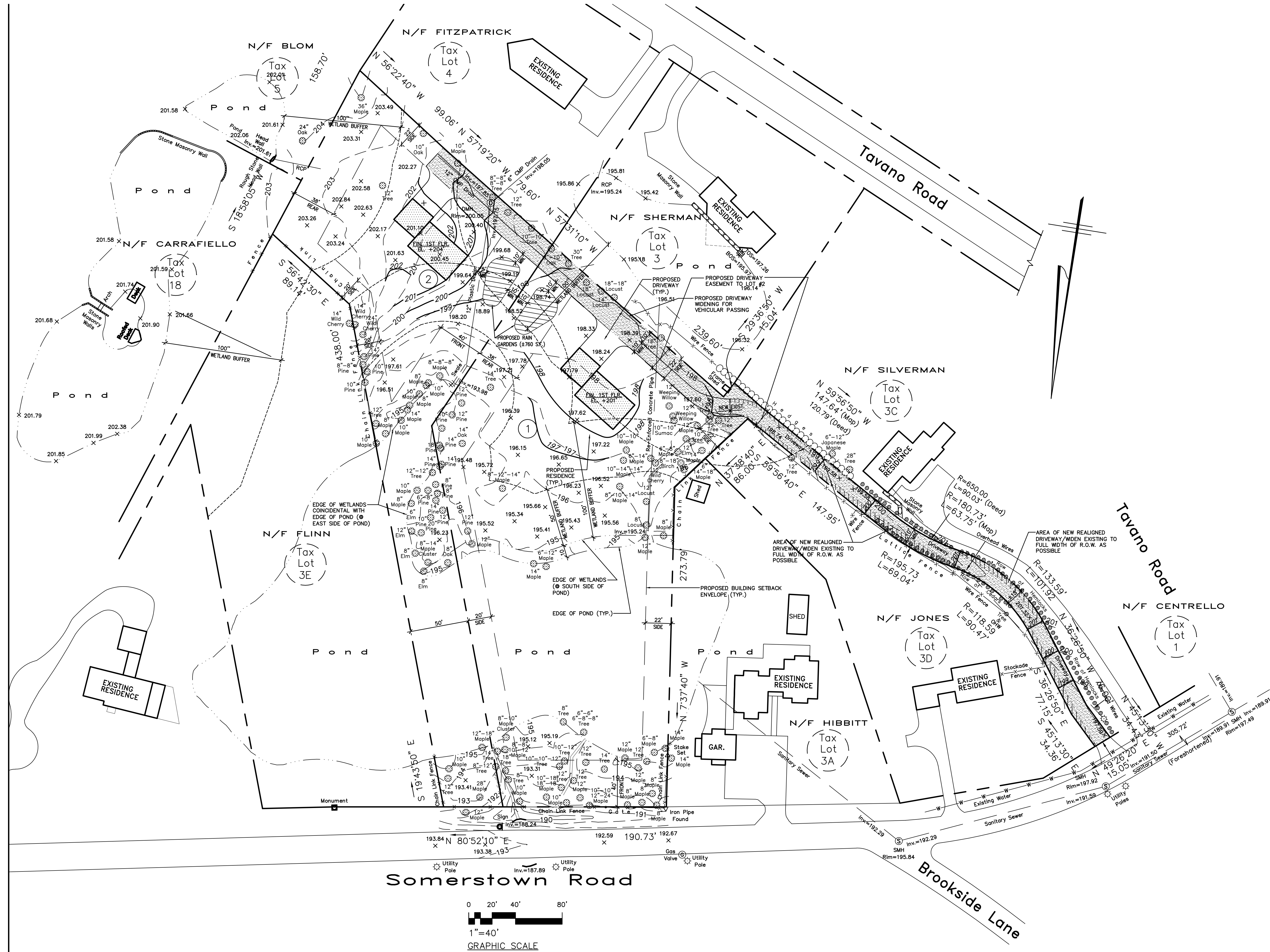
ZONING DISTRICT: R-40	
REGULATION	REQUIREMENT
LOT AREA	40,000 S.F. MIN.
LOT WIDTH	150 FT. MIN.
LOT DEPTH	150 FT. MIN.
FRONT YARD	40 FT. MIN.
ONE SIDE YARD	20 FT. MIN.
TWO SIDE YARD	42 FT. MIN.
REAR YARD	38 FT. MIN.
LIVABLE FLOOR AREA	850 S.F. MIN.
BUILDING HEIGHT	2 1/2 STORIES / 35 FT. MAX.
BUILDING COVERAGE	18% MAX.



VINCINITY MAP
SCALE: NOT TO SCALE

NOTES:

- 1) SURVEY DATA TAKEN FROM SUBDIVISION MAP PREPARED BY "THE MUNSON COMPANY," DATED OCTOBER 29, 2002. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
- 2) ALL UTILITIES SERVICING THE SUBJECT PROPERTY ARE EXISTING.
- 3) THE PROPOSED HOMES ON LOTS 1 AND 2 SHALL NOT INCLUDED BASEMENTS.
- 4) THE PROPOSED HOMES ON LOTS 1 AND 2 SHALL CONTAIN AUTOMATIC SPRINKLER SYSTEM (5) WHICH SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF RESPECTIVE CERTIFICATIONS OF OCCUPANCY



PROPOSED SUBDIVISION PLAN
SCALE: 1" = 40'-0"

4 3 2 1	gna 04/28/16 general revisions as per planning board gna 11/30/15 general revisions as per planning board gna 2/14/03 general revisions as per planning board gna 9/10/03 general revisions as per planning board	rev. no. by date description
drawing title: proposed subdivision plan project: proposed subdivision for: james & ann grant somerstown road, ossining, new york		drawing no. SY-1
gregory j. mcwilliams, a.i.a. architect 3 shady lane farm road, ossining, new york, 10562 (914) 772-0697		date: 12/02/02 scale: 1"=40' drawn by: gna project no. 02-074

Architectural Review

Town of Ossining

Presented by:
Brian Contreras & Stephanie Diesing

For:
68A Somerstown Road, Ossining, NY 10562 (Lot 2)
S/B/L # 90.10 3 3.2

Roof Shingles:

- Manufacturer/Product: CertainTeed – Landmark Pro Series
- Color: Max Def Weathered Wood

Metal Roof Accents:

- Manufacturer/Product: Architectural Sheetmetal Products - SpectraLume
- Color: Medium Bronze

Siding:

- Manufacturer/Product: LP SmartSide – Lap Siding
- Prefinisher: Diamond Kote
- Color: Custom – Dark Navy Blue. Printed color is not an exact representation.

Stone:

- Manufacturer/Product: Boral – Versetta Stone Tight-Cut
- Color: Sand

Windows:

- Manufacturer: Paradigm or Andersen – Vinyl
- Color: White

Front Door:

- Manufacturer/Product: Therma-Tru – Classic-Craft® Rustic Collection™ 2 Panel Soft Arch | Style No. CCR200

Garage Side Door:

- Manufacturer/Product: Therma-Tru – Fiber-Classic® Mahogany Collection™ Half Lite 1 Panel | Style No. FCM6022XC-SDL

Garage Door:

- Manufacturer/Product: Wayne Dalton – Carriage House Steel 6600 Panel 16' x 7'
- Color: White



NOTES:

- 1) ALL WINDOW SIZES CALLED OUT ON FLOOR PLANS ARE "ANDERSEN UNIT NUMBERS". IF "ANDERSEN" WINDOWS ARE NOT USED, A WINDOW OF EQUAL TYPE AND UNIT DIMENSION IS TO BE USED
- 2) ALL GLAZING TO BE DOUBLE INSULATED
- 3) ALL GLAZING TO BE "HIGH PERFORMANCE", "LOW-E" GLASS
- 4) ALL GLAZING WITHIN 18" OF FINISHED FLOOR TO BE TEMPERED

ALL OPERABLE WINDOWS THAT HAVE A SILL HEIGHT OF LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE MUST BE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090

CONTRACTOR TO AFFIX AN APPROVED SIGN/SYMBOL TO THE EXTERIOR ELECTRIC BOX AT THE SERVICE POINT. THE SIGN IS TO INDICATE THE USE OF TRUSSES, PRE-ENGINEERED WOOD GIRDERS, BEAMS OR JOISTS THAT ARE BONDED WITH ADHESIVES (INCLUDING I-JOISTS, STRUCTURAL GLUED LAMINATED TIMBERS, STRUCTURAL LOG MEMBERS, STRUCTURAL COMPOSITE LUMBER & CROSS-LAMINATED TIMBER) AND/OR TIMBER CONSTRUCTION

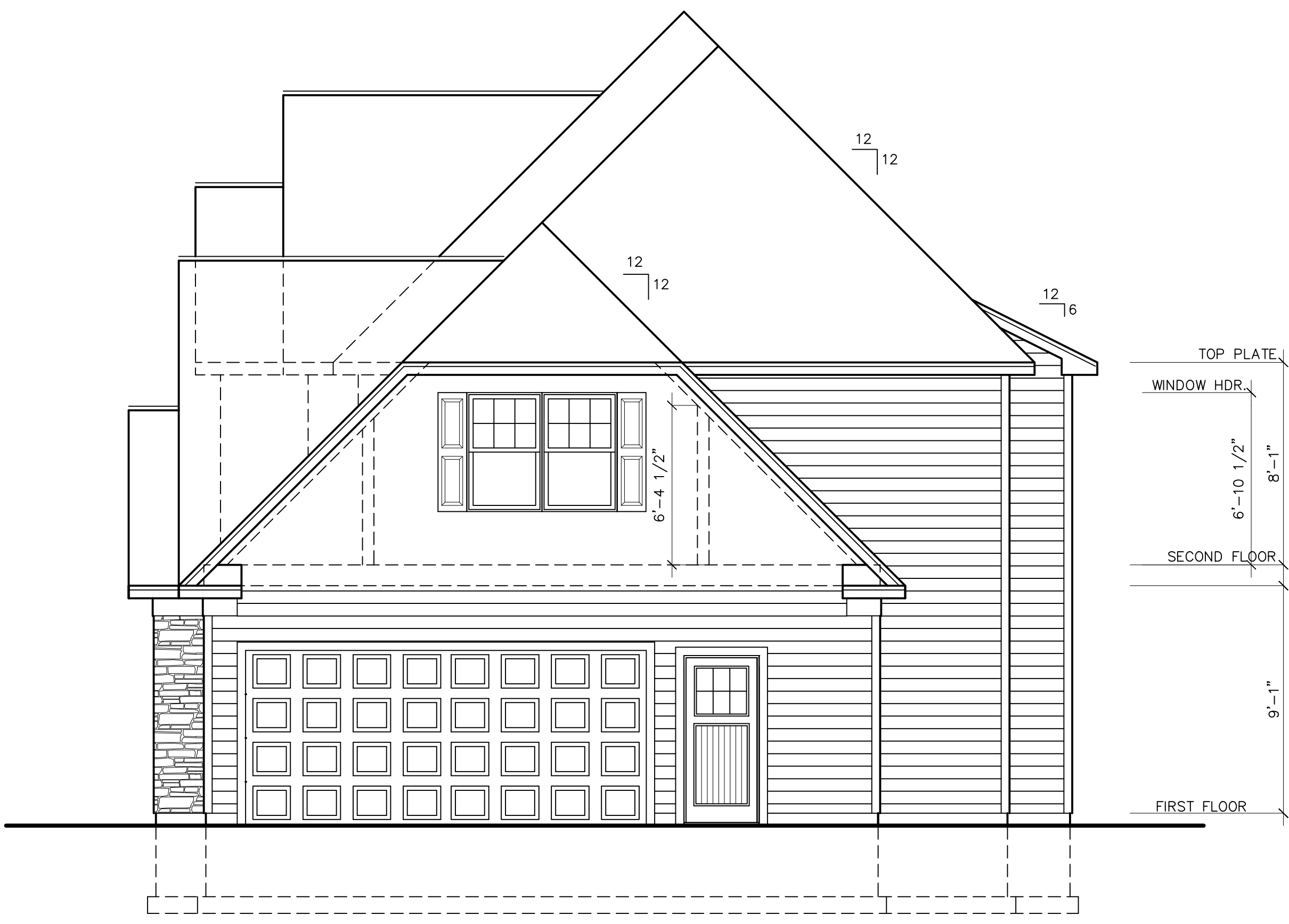
SQUARE FOOTAGE:	
1st FLOOR:	1106
2nd FLOOR:	1127
TOTAL:	2233
GARAGE:	610
BONUS ROOM:	317

EGRESS REQUIREMENTS			
WINDOW	SQ.FT. CLEAR	WIDTH CLEAR	HEIGHT CLEAR
3049	5.7	32.56"	25.20"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

RAILING & STAIR NOTES:

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF AT LEAST 4" AND NOT MORE THAN 6 1/4".

PORCHES, DECKS, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS A MINIMUM OF 36" HIGH.

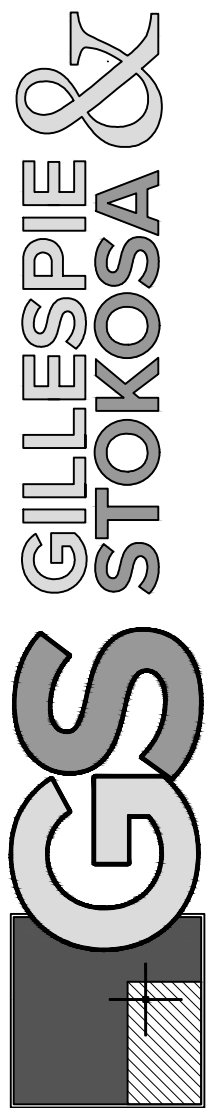
RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.

TABLE R301.2(1) CLIMATE AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLYMT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30	115 MPH	NO	YES	NO	B	SEVERE	42"	MOD.-HEAVY	-1	YES	MAY 2, 2012	1500	47.4

NEW RESIDENCE FOR:

Stephanie Dising & Brian Contreras

68A SOMERSTOWN ROAD, TOWN OF OSSINING, NEW YORK



CIVIL, SANITARY, ENVIRONMENTAL, ARCHITECTURAL AND SITE
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CHECKED BY: M.E.G.

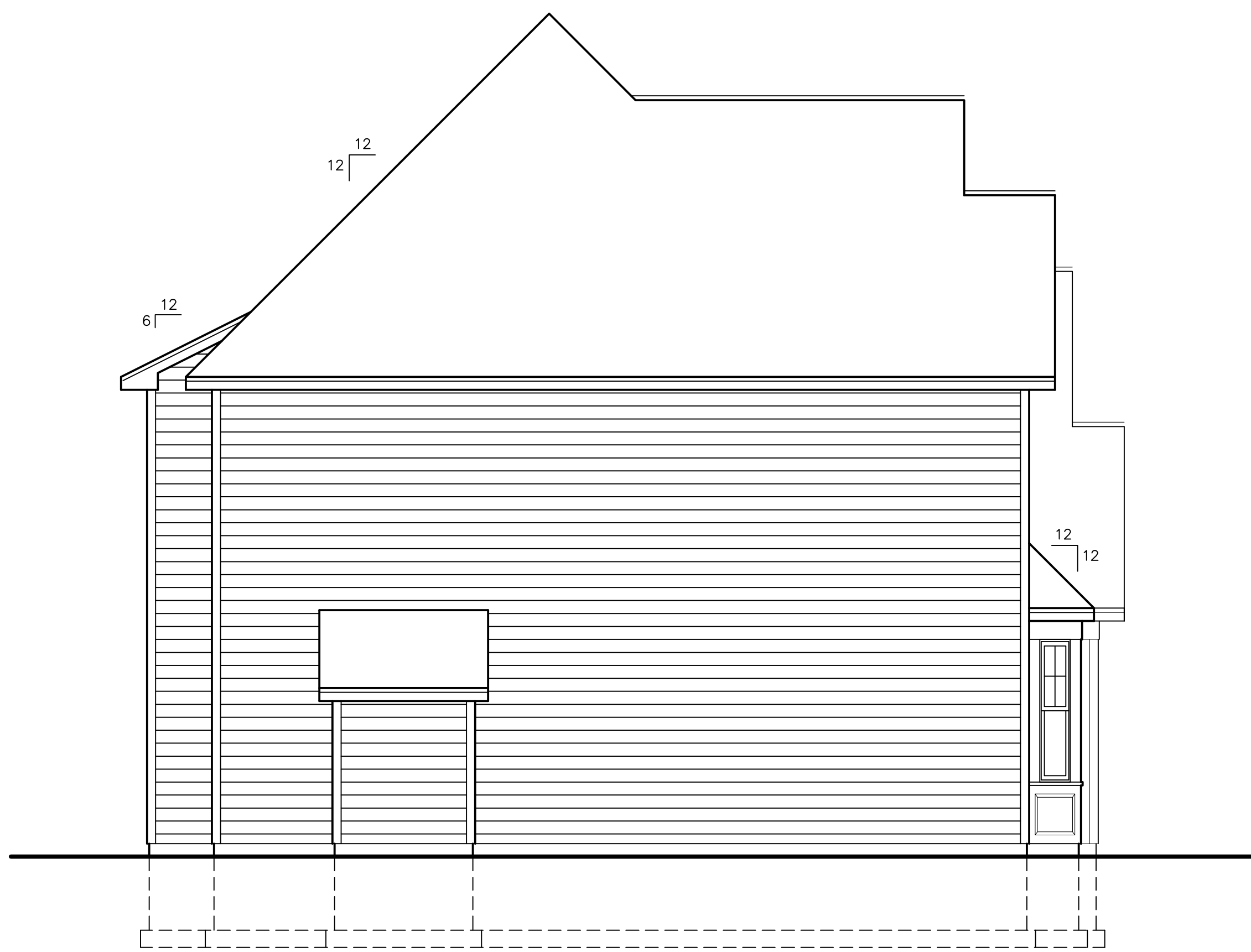
REVISIONS
SEPTEMBER 13, 2017
OCTOBER 9, 2017

NYSPE #074666

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LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

RAILING & STAIR NOTES:

STAIRS WITH (4) OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS ON AT LEAST ONE SIDE. HANDRAILS SHALL BE A MINIMUM OF 34" IN HEIGHT AND NOT MORE THAN 38" IN HEIGHT. RAILS ARE TO BE MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER OF AT LEAST 4" AND NOT MORE THAN 6 1/4".

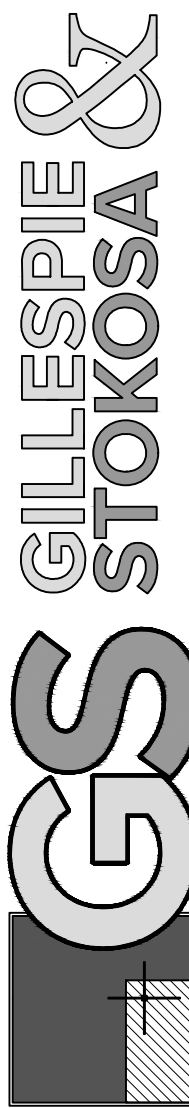
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NEW RESIDENCE FOR:

Stephanie Diesing & Brian Contreras

68A SOMERSTOWN ROAD, TOWN OF OSSINING, NEW YORK



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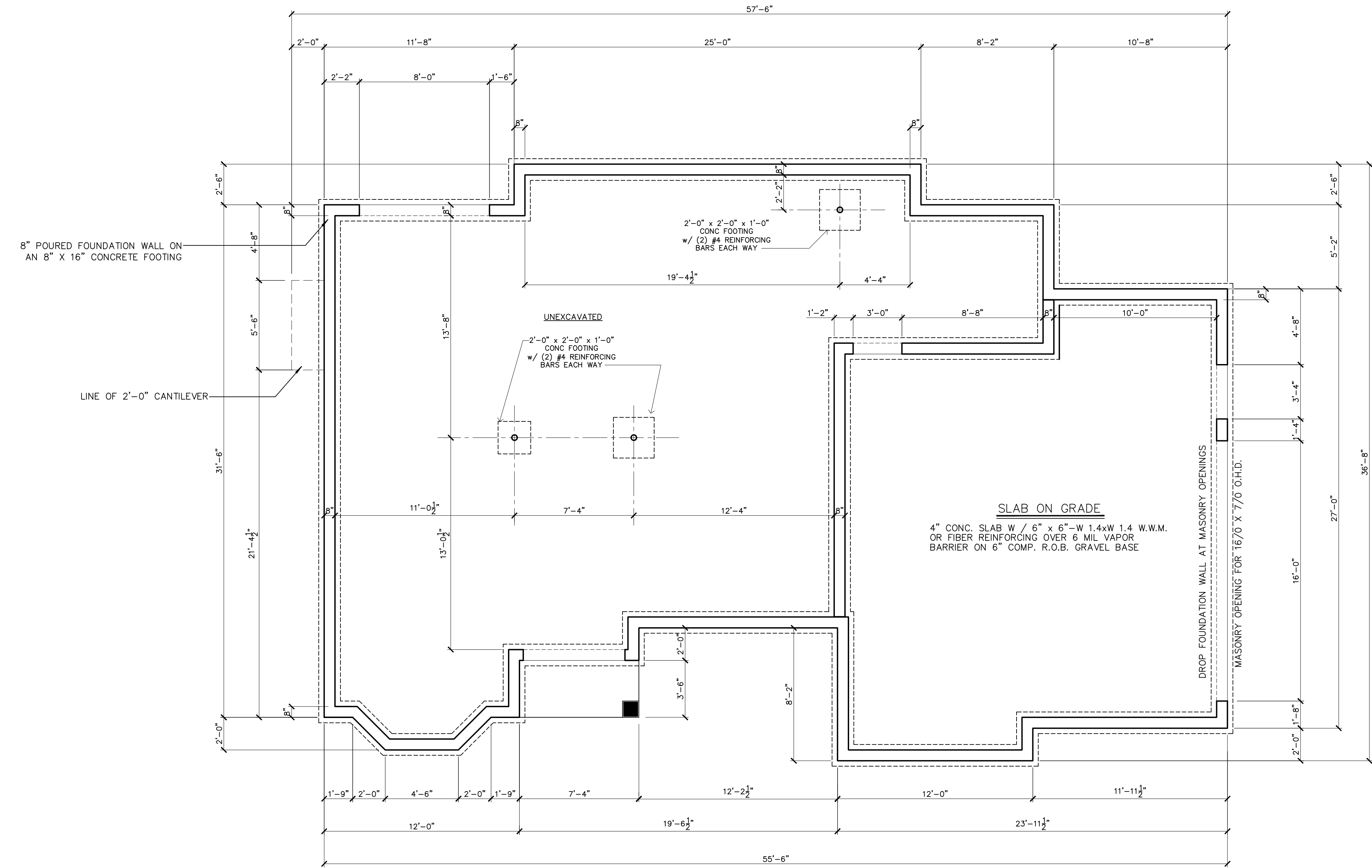
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CHECKED BY: M.E.G.
REVISIONS
SEPTEMBER 13, 2017

NYSPE #074666

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NOTES:

ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS

ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS

DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS OTHERWISE NOTED ON PLAN.

ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.

ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG FIR LARCH #2 OR BETTER WITH A F_b RATING OF 875 AND A MODULUS OF ELASTICITY OF 1600000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN.

ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS AND HEADERS, LABELED ON PLAN, TO HAVE A F_b RATING OF 2950 AND A MODULUS OF ELASTICITY OF 2,000,000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

CUTS, NOTCHES & HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS.

FOR LOAD-BEARING PARTITIONS INSTALL DOUBLE JAMB STUDS UNDER HEADER FOR OPENINGS 6" AND LESS IN WIDTH. TRIPLE JAMB STUDS FOR WIDER OPENINGS. FOR NON-BEARING PARTITIONS INSTALL ONE JAMB STUD FOR OPENINGS LESS THAN 4" IN WIDTH AND DOUBLE JAMS STUDS FOR WIDER OPENINGS.

CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.

ALL JOISTS TO OVER LAP GIRDER OR BEARING WALL A MINIMUM OF 3".

ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

INSTALL 2 X 6 COLLAR TIES AT 32" O.C. COLLAR TIES TO BE LOCATED DOWN FROM THE MAIN RIDGE A MINIMUM OF 1/3RD OF THE TOTAL HEIGHT BETWEEN THE CEILING JOISTS AND THE TOP OF THE MAIN RIDGE.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NEW RESIDENCE FOR:

Stephanie Diesing & Brian Contreras

68A SOMERSTOWN ROAD, TOWN OF OSSINING, NEW YORK

GILLESPIE & STOKOSA

GS

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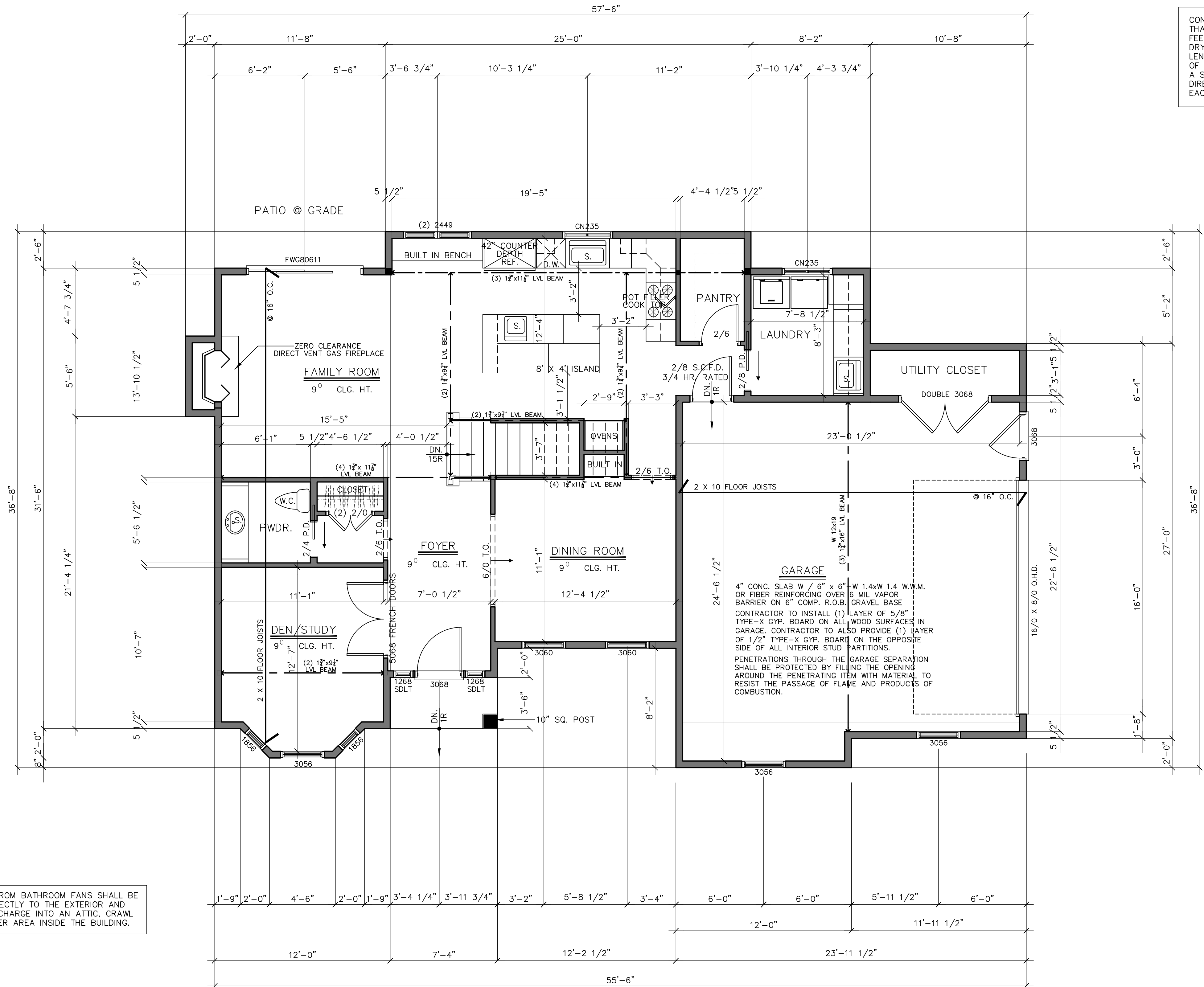
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OCTOBER 5, 2017	

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CONTRACTOR TO VENT DRYER TO EXTERIOR SUCH THAT IT SHALL NOT TERMINATE LESS THAN 3 FEET FROM ANY OPENING INTO THE BUILDING. DRYER DUCT IS NOT TO EXCEED 25 FEET IN LENGTH AND IS TO BE CONSTRUCTED OF A MIN. OF 0.016 INCH THICK RIGID METAL DUCTS, HAVING A SMOOTH SURFACE & JOINTS RUNNING IN THE DIRECTION OF AIR FLOW. PROVIDE REDUCTION FOR EACH 90 DEGREE BEND.

NOTES:

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EXHAUST AIR FROM BATHROOM FANS SHALL BE EXHAUSTED DIRECTLY TO THE EXTERIOR AND SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREA INSIDE THE BUILDING.

FIRST FLOOR PLAN

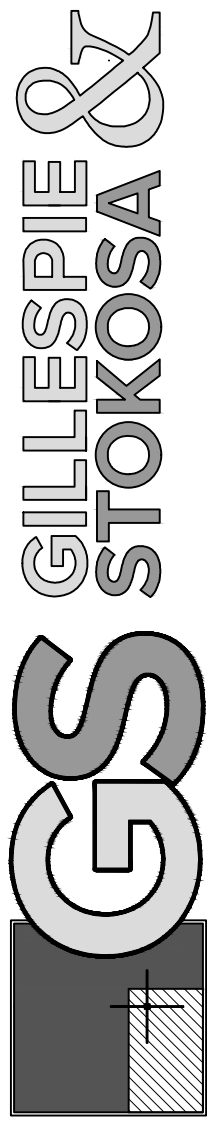
- Ⓐ INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
- Ⓑ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19 -TO BE INSTALLED ON EACH FLOOR CONTAINING A SLEEPING AREA OR CARBON MONOXIDE SOURCE. TO BE INSTALLED WITHIN 15 FEET OF EACH SLEEPING AREA

SCALE: 1/4" = 1'-0"

NEW RESIDENCE FOR:

Stephanie Diesing & Brian Contreras

68A SOMERSTOWN ROAD, TOWN OF OSSINING, NEW YORK



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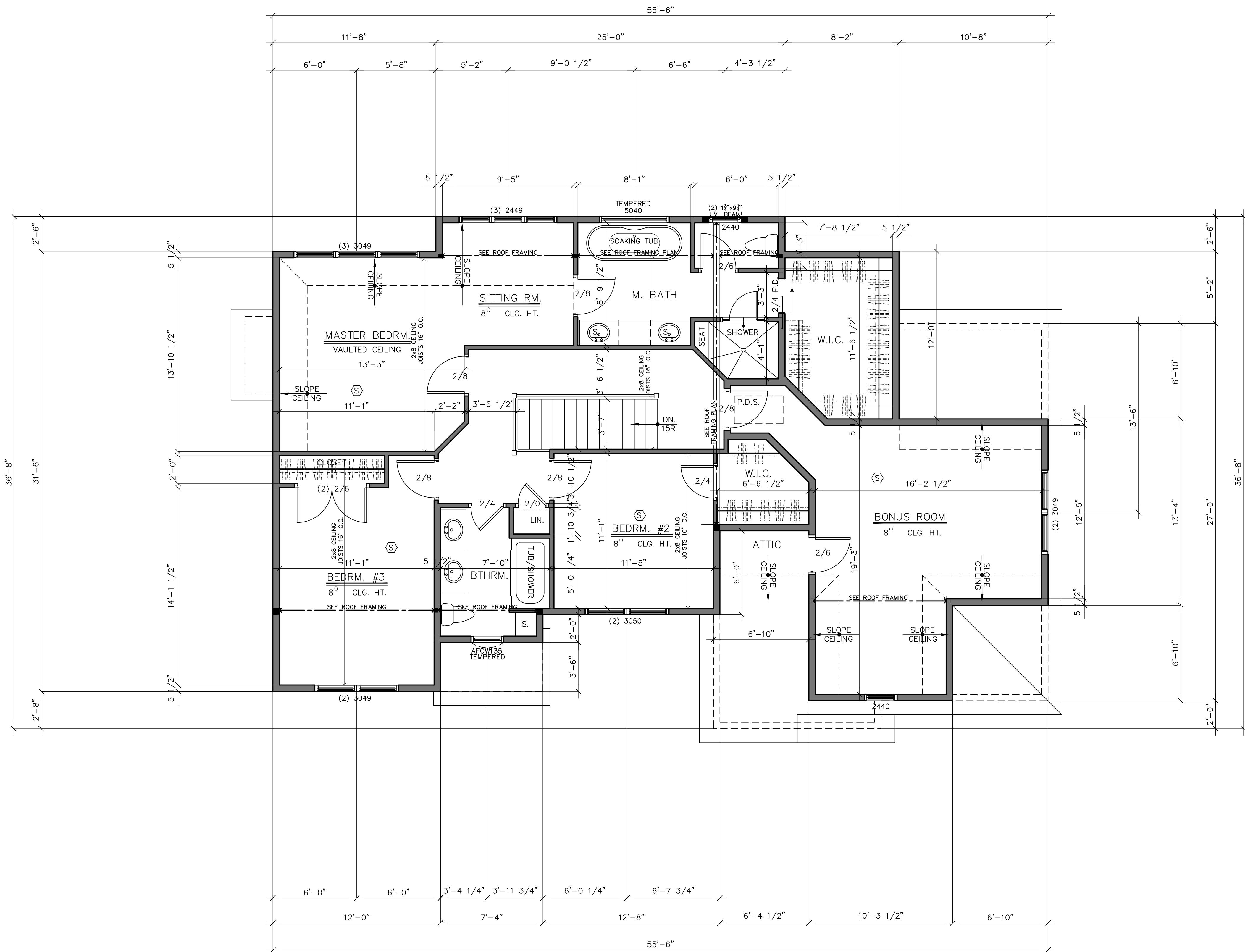
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CHECKED BY:	M.E.G.
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OCTOBER 9, 2017	

NYSPE #074666

SHEET No.

P

2



SECOND FLOOR PLAN

- ⑤ INTERCONNECTED 110 VOLT SMOKE DETECTOR W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL217 & NFPA72
⑥ INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP TESTED IN ACCORDANCE WITH UL 2034 & CSA 6.19
—TO BE INSTALLED ON EACH FLOOR CONTAINING A SLEEPING AREA OR CARBON MONOXIDE SOURCE. TO BE INSTALLED WITHIN 15 FEET OF EACH SLEEPING AREA

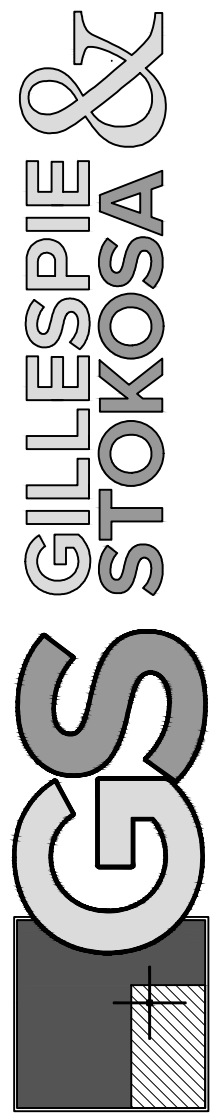
SCALE: 1/4" = 1'-0"

NOTES:

ALL EXTERIOR WALLS ARE TO BE 2X6 WOOD STUDS
ALL INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS
DOUBLE ALL FLOOR JOISTS UNDER WALLS ABOVE, THAT ARE FRAMED PARALLEL TO FLOOR FRAMING UNLESS OTHERWISE NOTED ON PLAN.
ALL FLOOR JOISTS, CEILING JOISTS & RAFTERS ARE TO BE S.P.F.
ALL BEAMS, GIRDERS AND HEADERS ARE TO BE DOUG FIR LARCH #2 OR BETTER WITH A FB RATING OF 875 AND A MODULUS OF ELASTICITY OF 1600000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN.
ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDERS AND HEADERS, LABELED ON PLAN, TO HAVE A FB RATING OF 2950 AND A MODULUS OF ELASTICITY OF 2,000,000 MINIMUM UNLESS OTHERWISE NOTED ON PLAN. STRUCTURAL LAMINATED BEAMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
CUTS, NOTCHES & HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS.
FOR LOAD-BEARING PARTITIONS INSTALL DOUBLE JAMB STUDS UNDER HEADER FOR OPENINGS 6' AND LESS IN WIDTH. TRIPLE JAMB STUDS FOR WIDER OPENINGS. FOR NON-BEARING PARTITIONS INSTALL ONE JAMB STUD FOR OPENINGS LESS THAN 4' IN WIDTH AND DOUBLE JAMB STUDS FOR WIDER OPENINGS.
CONTRACTOR TO PROVIDE SOLID 2 X 10 BLOCKING TO BE LOCATED BETWEEN FLOOR JOISTS WERE POSTS, FROM ABOVE, CARRYING STRUCTURAL HEADERS LAND BETWEEN FLOOR JOISTS BELOW. BLOCKING TO BE BUILT UP TO THE SAME WIDTH AS POST IT IS CARRYING ABOVE.
ALL JOISTS TO OVER LAP GIRDER OR BEARING WALL A MINIMUM OF 3".
ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
INSTALL 2 X 6 COLLAR TIES AT 32" O.C. COLLAR TIES TO BE LOCATED DOWN FROM THE MAIN RIDGE A MINIMUM OF 1/3RD OF THE TOTAL HEIGHT BETWEEN THE CEILING JOISTS AND THE TOP OF THE MAIN RIDGE.

NEW RESIDENCE FOR:

Stephanie Diesing & Brian Contreras
68A SOMERSTOWN ROAD, TOWN OF OSSINING, NEW YORK



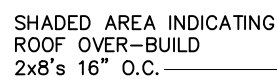
PROJECT No.	2017-212
DRAWN BY:	S.M.M.
CHECKED BY:	M.E.G.
REVISIONS	
SEPTEMBER 13, 2017	

NYSPE #074666

SHEET No.

P

3



REVISIONS
SEPTEMBER 13, 2017
OCTOBER 6, 2017

4

2015 INTERNATIONAL ENERGY CONSERVATION CODE	
BUILDING TYPE:	SINGLE FAMILY RESIDENCE
CODE DESIGN METHOD:	RECHECK *SEE ATTACHED
CLIMATE ZONE:	5A
HEATING EQUIPMENT TYPE: SHALL BE DESIGNED BY THE H.V.A.C. CONTRACTOR	
I, MICHAEL E. GILLESPIE CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE SECTIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE.	

WOOD HEADER SIZES	
SPANS UP TO AND INCLUDING:	MINIMUM HEADER SIZE
0'-0" - 3'-11"	(2) 2x8's
4'-0" - 5'-11"	(2) 2x10's
6'-0" - 7'-11"	(2) 2x12's
UNLESS OTHERWISE NOTED	

THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE ENVELOPE SHALL BE TESTED AND VERIFIED TO HAVE AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR AND A REPORTED PRESSURE OF 0.2 INCH W.G. (50 PASCALS). ALL DUCTS, AIR HANDLERS AND FILTER BOXES ARE TO BE SEALED. DUCTS ARE TO BE PRESSURE TESTED TO DETERMINE LEAKAGE.

A WHOLE HOUSE VENTILATION SYSTEM IS TO BE INSTALLED FOR THE NEW DWELLING. THE SYSTEM IS TO BE DESIGNED IN ACCORDANCE WITH M1507.3, THE SQUARE FOOTAGE OF THE DWELLING AND THE NUMBER OF BEDROOMS. OUTDOOR AIR INTAKES AND EXHAUSTS ARE TO HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN SYSTEM IS NOT IN OPERATION.

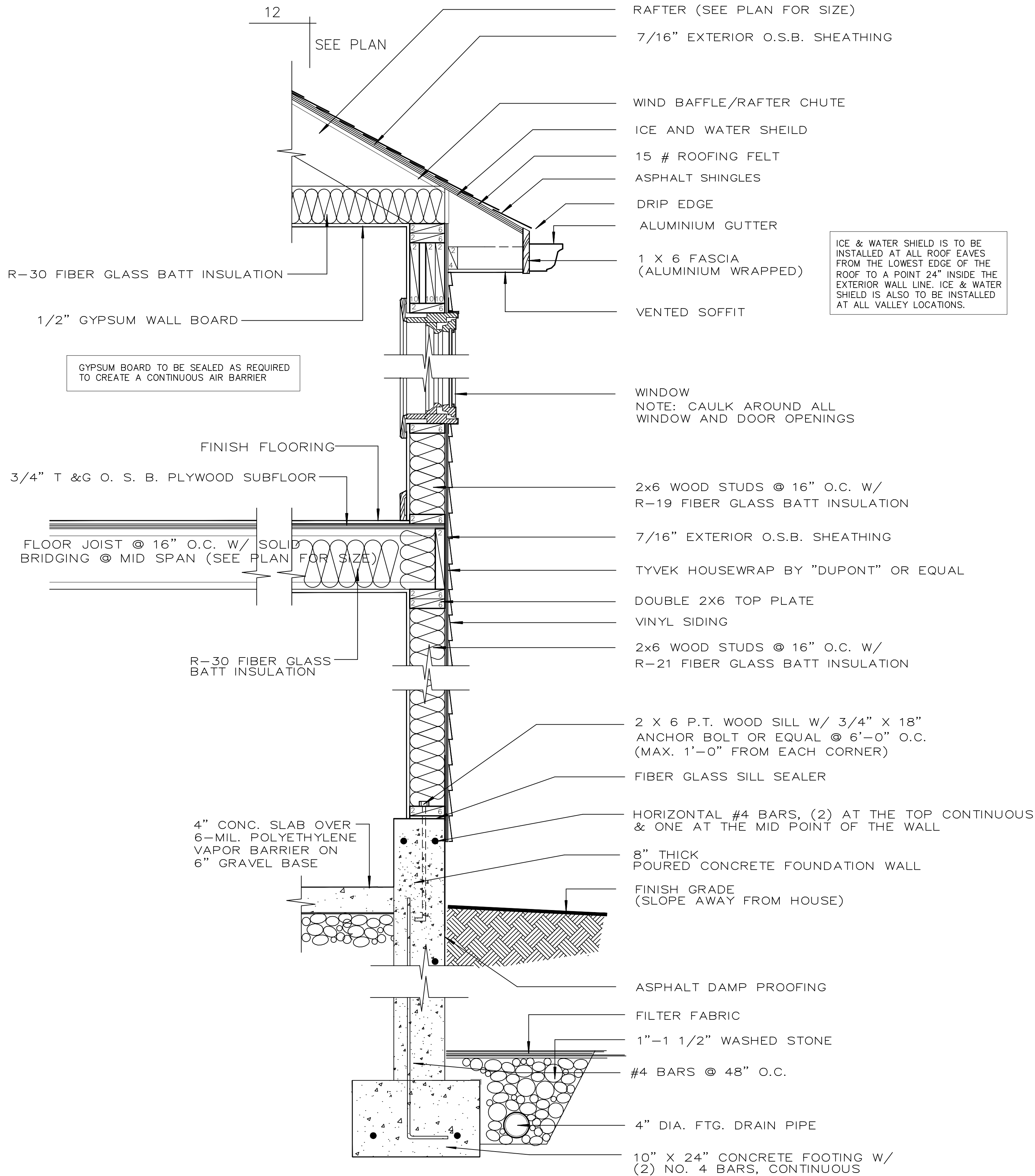
FIREBLOCKING SHALL BE PROVIDED TO CUT OFF VERTICLE AND HORIZONTAL DRAFT OPENINGS AND TO FORM A FIRE BARRIER BETWEEN STORIES AND THE TOP STORY AND ROOF SPACE.

FIREBLOCKING IS TO BE PROVIDED IN THE FOLLOWING LOCATIONS:

- IN CONCEALED STUD WALLS VERTICALLY AT CEILING & FLOOR LEVELS AND INTERVALS NOT EXCEEDING 10'
- AT INTERCONNECTIONS BETWEEN CONCEALED VERTICLE AND HORIZONTAL SPACES, SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN.

FIREBLOCKING SHALL CONSIST OF NOMINAL TWO-INCH LUMBER, 2 3/8" PLYWOOD, 3/4" PARTIAL BOARD, 1/2" GYPSUM BOARD, 1/4" CEMENT BASED MILLBOARD OR BATTS/BLANKETS OF MINERAL WOOL OR GLASS FIBER SECURELY RETAINED IN PLACE.

AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT THE CEILING AND FLOOR LEVEL AN APPROVED MATERIAL IS TO BE INSTALLED TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.



FOR ASPHALT SHINGLED ROOFS, IN ADDITION TO MEETING THE REQUIREMENTS OF SECTIONS R905.2 ASPHALT SHINGLES OF THE 2015 IRC, SHINGLES SHALL ALSO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER SPECIFICATIONS & RECOMMENDATIONS.

ICE & WATER SHIELD IS TO BE INSTALLED AT ALL ROOF EAVES FROM THE LOWEST EDGE OF THE ROOF TO A POINT 24" INSIDE THE EXTERIOR WALL LINE. ICE & WATER SHIELD IS ALSO TO BE INSTALLED AT ALL VALLEY LOCATIONS.

GYPSUM BOARD TO BE SEALED AS REQUIRED TO CREATE A CONTINUOUS AIR BARRIER

WINDOW
NOTE: CAULK AROUND ALL WINDOW AND DOOR OPENINGS

2x6 WOOD STUDS @ 16" O.C. W/
R-19 FIBER GLASS BATT INSULATION

7/16" EXTERIOR O.S.B. SHEATHING

TYVEK HOUSEWRAP BY "DUPONT" OR EQUAL

DOUBLE 2X6 TOP PLATE
VINYL SIDING

2x6 WOOD STUDS @ 16" O.C. W/
R-21 FIBER GLASS BATT INSULATION

2 X 6 P.T. WOOD SILL W/ 3/4" X 18"
ANCHOR BOLT OR EQUAL @ 6'-0" O.C.
(MAX. 1'-0" FROM EACH CORNER)

FIBER GLASS SILL SEALER

HORIZONTAL #4 BARS, (2) AT THE TOP CONTINUOUS
& ONE AT THE MID POINT OF THE WALL

8" THICK
POURED CONCRETE FOUNDATION WALL

FINISH GRADE
(SLOPE AWAY FROM HOUSE)

ASPHALT DAMP PROOFING

FILTER FABRIC

1"-1 1/2" WASHED STONE

#4 BARS @ 48" O.C.

4" DIA. FTG. DRAIN PIPE

10" X 24" CONCRETE FOOTING W/
(2) NO. 4 BARS, CONTINUOUS

GENERAL NOTES

DIVISION 1 - GENERAL CONDITIONS:

CODES: ALL WORK & MATERIALS MUST CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE, LOCAL BUILDING CODES, NATIONAL BOARD OF FIRE UNDERWRITERS CODE AND TO THE REQUIREMENTS OF THE BOARD OF HEALTH & 2015 INTERNATIONAL ENERGY CONSERVATION CODE.

OMISSION: ANYTHING NOT SPECIFICALLY SHOWN HEREON AND/OR SPECS, BUT WHICH IS REASONABLY IMPLIED, SHALL BE FURNISHED AS THOUGH SET FORTH IN THE PLANS AND/OR SPECIFICATIONS. ALL WRITTEN FIGURES, NOTES & DIMENSIONS ON THE FLOOR PLANS, OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES. DO NOT SCALE PRINTS. ALL DIMENSIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS, OR SPECIFICATIONS, MUST BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ALL PERMITS ARE NOT THE RESPONSIBILITY OF THE ENGINEER.

MATERIALS: ALL MATERIALS SHALL BE NEW AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

SUBSTITUTIONS: SUBSTITUTIONS MADE FOR STRUCTURAL MATERIALS SPECIFIED BY NAME MAY BE MADE ONLY IF APPROVED BY ENGINEER.

OWNERSHIP OF PLANS: THESE PLANS ARE PROPERTY OF GILLESPIE & STOKOSA CONSULTING ENGINEERING, P.L.L.C. ANY USE OR REPRODUCTION, IN WHOLE OR PART, WITHOUT THE WRITTEN CONSENT OF GILLESPIE & STOKOSA IS PROHIBITED. ANY PERSON, OR CORPORATION, USING PLANS WITHOUT CONSENT WILL BE RESPONSIBLE TO COMPENSATE GILLESPIE & STOKOSA.

ENGINEER'S STATUS: THE ENGINEER HAS NOT BEEN RETAINED BY OWNER TO PROVIDE PERIODIC JOB INSPECTIONS OR JOB ADMINISTRATION AND SHALL NOT BE RESPONSIBLE FOR CHANGES MADE IN THE FIELD WITHOUT WRITTEN OR GRAPHIC AUTHORIZATION.

DIVISION 2 - SITE WORK:

FOOTINGS: IF SOIL BEARING CONDITIONS ARE QUESTIONABLE, THE CONTRACTOR SHALL CONSULT A SOILS ENGINEER FOR PROPER FOOTING DESIGN. THE PLANS ARE BASED ON A MINIMUM SOIL BEARING CAPACITY 2,000 PSF.

FINISHED GRADING: FINISHED GRADING SHALL BE PERFORMED SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE HOUSE.

DIVISION 3 - CONCRETE:

ALL CONCRETE USED SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED. ALL CONCRETE WORK SHALL BE DONE IN COMPLETE CONFORMANCE TO APPLICABLE ACI CODES.

DIVISION 5 - METALS:

STRUCTURAL STEEL: ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A-36 FOR STRUCTURAL STEEL. ALL STEEL PIPE COLUMNS SHALL BE OF STANDARD WEIGHT PIPE UNLESS OTHERWISE NOTED. STRUCTURAL STEEL HAS BEEN DESIGNED FOR A MAXIMUM BENDING STRESS OF 24,000 PSI, IN ACCORDANCE WITH THE 9TH EDITION OF THE AISC. ALL STEEL BEAMS SHALL BE FACTORY PRIMED WITH A RUST PROHIBITOR AND FIELD PAINTED WHERE EXPOSED TO WEATHER. ALL BEAM CONNECTIONS SHALL BE THROUGH BOLTED UNLESS OTHERWISE NOTED. ALL HOLES SHALL BE DRILLED OR PUNCHED. TORCHED HOLES SHALL NOT BE PERMITTED.

REINFORCING STEEL: ALL REINFORCING STEEL BARS SHALL BE GRADE 60.

DIVISION 6 - WOOD & PLASTICS:

LUMBER: ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM BENDING STRESS OF 1,200 PSI.

FRAMING: FRAMING SHALL BE ERECTED PLUMB, LEVEL, TRUE AND SECURELY NAILED. JOISTS, STUDS AND RAFTERS ARE TO BE DOUBLED AT ALL OPENINGS. ALL FLUSH JOIST HEADERS TO BE CONNECTED WITH GALVANIZED METAL JOIST HANGERS. ALL FLUSH BEAM CONNECTIONS SHALL HAVE HEAVY DUTY JOIST HANGERS. DOUBLE FRAME UNDER ALL PARTITIONS PARALLEL TO FRAMING. SIZES OF JOISTS AND RAFTERS ARE SHOWN ON THE PLAN. IF A WOOD DECK IS PROVIDED, ALL STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED LUMBER.

SHEATHING & SUBFLOOR: SHEATHING & SUBFLOOR SHALL BE APA ORIENTED STRAND BOARD WITH EXTERIOR GLUE AND NAILED TO EACH FRAMING MEMBER UNLESS OTHERWISE NOTED.

JOIST HANGERS: JOIST HANGERS SHALL BE GALVANIZED STEEL OR IRON, SIZED TO FIT THE SUPPORTED MEMBER AND OF SUFFICIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, AND FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED. MANUFACTURES SHALL BE "SIMPSON" STRONG-TIE, OR EQUAL.

DIVISION 7 - THERMAL & MOISTURE PROTECTION:

ROOFING: ALL CHIMNEYS SHALL BE PROPERLY FLASHED WITH GALVANIZED STEP FLASHING. VALLEY AND VERTICAL ROOF SECTIONS SHALL BE PROPERLY SUPPORTED. ALL ROOFING SHALL BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S SPECIFICATIONS.

ASPHALT SHINGLES: TO BE SELECTED BY OWNER OR CONTRACTOR.

VENTS: VENTILATE ALL ATTIC, RAFTER AND CRAWL SPACE AREAS WITH PROPER SIZED SCREENED VENTS AND/OR LOUVERS.

INSULATION: ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 IECC.

CAULKING: ALL EXTERIOR JOINTS BETWEEN WINDOWS, DOORS AND OTHER SURFACES SHALL BE CAULKED USING A WEATHERPROOF CAULKING.

DIVISION 8 - DOORS & WINDOWS:

WINDOWS: ALL WINDOWS SHALL MEET THE MINIMUM REQUIREMENTS FOR LIGHT, VENTILATION AND EGRESS. ALL WINDWS SHALL BE OF SUFFICIENT CONSTRUCTION SO AS TO MEET THE 2015 IECC.

INTERIOR DOORS: ALL INTERIOR DOORS SHALL COME COMPLETE WITH HARDWARE. A CLASS "C" SELF-CLOSING FIRE RATED DOOR SHALL BE FURNISHED AND INSTALLED BETWEEN GARAGE & HOUSE. ALL DOORS SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2015 IECC, IF APPLICABLE.

DIVISION 9 - FINISHES:

DRYWALL: DRYWALL SHALL BE 1/2" GYPSUM BOARD SECURELY SCREWED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ALL JOINTS ARE TO BE TAPED AND SHALL RECEIVE (3) COATS OF JOINT COMPOUND. FINISHES TO BE SMOOTH, EVEN AND READY FOR PAINTING.

DIVISION 15 - MECHANICAL:

HEATING: THE CONTRACTOR SHALL FURNISH & INSTALL A HEATING SYSTEM WHICH MEETS THE 2015 IECC.

FLASHING: ALL PIPES PASSING THROUGH ROOF SHALL BE MADE WATER-TIGHT.

ALL PIPES CARRYING WATER OVER 105 DEGREES MUST BE INSULATED WITH A MINIMUM OF R-3.

TESTING: THE CONTRACTOR SHALL TEST ALL WATER SUPPLY AND DRAIN, WASTE AND VENT PIPING IN ACCORDANCE WITH ALL CODES.

DIVISION 16 - ELECTRICAL:

ALL ELECTRICAL WORK SHALL BE DONE IN STRICT CONFORMANCE WITH THE NATIONAL BOARD OF FIRE UNDERWRITERS AND LOCAL CODES. THE SERVICE SIZE SHALL BE A MINIMUM OF 100 AMPS.

TYPICAL WALL SECTION FOR SLAB ON GRADE CONSTRUCTION

SCALE: N.T.S.

NEW RESIDENCE FOR:

Stephanie Diesing & Brian Contreras

68A SOMERSTOWN ROAD, TOWN OF OSSINING, NEW YORK

GILLESPIE & STOKOSA
CIVIL, SANITARY, ENVIRONMENTAL, ARCHITECTURAL AND SITE
847 ROUTE 376, WAPPINGER FALLS, N.Y. 12590
P. (845) 227-6227 F. (845) 228-1430 - GSENGRS.COM

PROJECT No. 2017-212
DRAWN BY: J.S.
CHECKED BY: M.E.G.
REVISIONS
OCTOBER 6, 2017

NYSPE #074666

SHEET No.

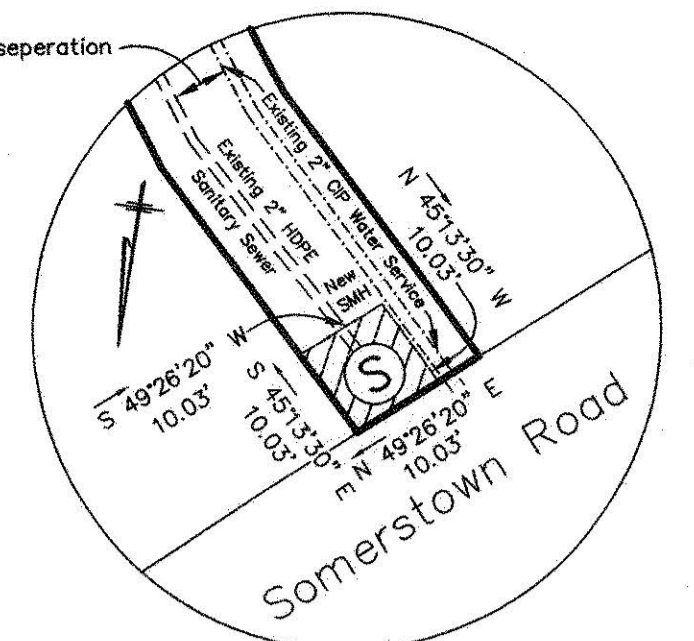
W

1

File # 29140

TOWN OF OSSINING

5.0 Ft. minimum separation



Detail of
Proposed 10 Ft. wide
Sanitary Sewer Easement
for The Town of Ossining
Scale: 1"=20'

Location Map
(Not to Scale)

Westchester County of Health
New Rochelle, New York

APPROVED pursuant to Chapter 873, Article X, Sections 873.951 and 873.1021 and Articles VII and XXII of the Westchester County Sanitary Code subject to the provision of public water supply and public sanitary facilities to serve each habitable building hereafter constructed. These facilities are to be installed in accordance with land improvement plans and specifications approved by and filed in this office prior to the construction of such building.


Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement.

Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after the date of this approval, shall invalidate this approval.


Date: 1/22/2018
Approved by the Assistant Commissioner of Health
on behalf of the Department of Health

Approved by the Town of Ossining Planning Board
by Resolution adopted on April 20, 2016


Planning Board Chairman
Date: 2/1/2018

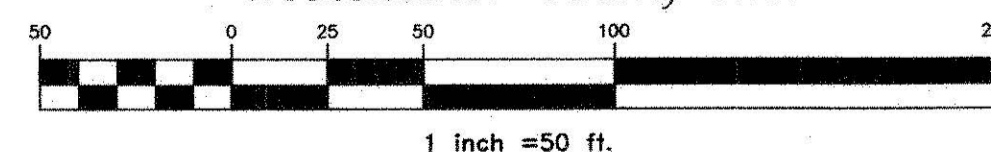

Town Engineer
Date: 1-24-18

Total Area= 140,651 Sq. Ft.
or 3.229 Acres

Unauthorized changes or additions to this plan are a violation
of section 7209 of the New York State Education Law.



Subdivision Map
prepared for
James & Ann Grant
in the Town of
Ossining
Westchester County N.Y.



THESE PREMISES BEING TAX LOT 3 IN SECTION 90.10 BLOCK 3
AS SHOWN ON THE TOWN OF OSSINING TAX ASSESSMENT MAPS.
SAID PREMISES ALSO DESCRIBED IN LIBER 7005 AT PAGE 572,
LIBER 7612 AT PAGE 378 & CONTROL # 53322-3093 OF DEEDS
ON FILE AT THE WESTCHESTER COUNTY CLERK'S OFFICE

September 22, 2003
Revised January 13, 2004
Additional notes added February 2, 2004
Revised & Additional notes added April 25, 2005
Revised & Additional notes added Dec. 15, 2005
Additions & Revisions August 31, 2015
Additions & Revisions May 24, 2016
Additions & Revisions June 15, 2016
Revisions & Additions April 27, 2017
Revisions & Additions October 2, 2017
Revisions & Additions October 13, 2017

THE MUNSON COMPANY
9 NORTH GOODWIN AVENUE
ELMSFORD, N.Y.
10523

N.Y.S. License 50054-2

Notes:
1. Separate Water Service to each Lot
2. Separate Sewer Service to each Lot

All taxes due to date have been paid.

1-25-18
Date


Receiver of Taxes

Approved for filing in the Division of Land Records

James & Ann Grant
11236 Chestnut Grove Square
Apt. 364
Reston, VA 20190

11/24/17
Date


James Grant

11/24/17
Date


Ann Grant

Town of Ossining Tax Assessment Designation
Section 90.10 Block 3 Lot 3

Westchester County Index System
Sheet # 141 Block # 9197

The proposed homes on Lots 1 and 2 shall contain sprinkler systems
which shall be installed prior to the issuance of the respective Certificate
of Occupancy

The proposed homes shall not include basements

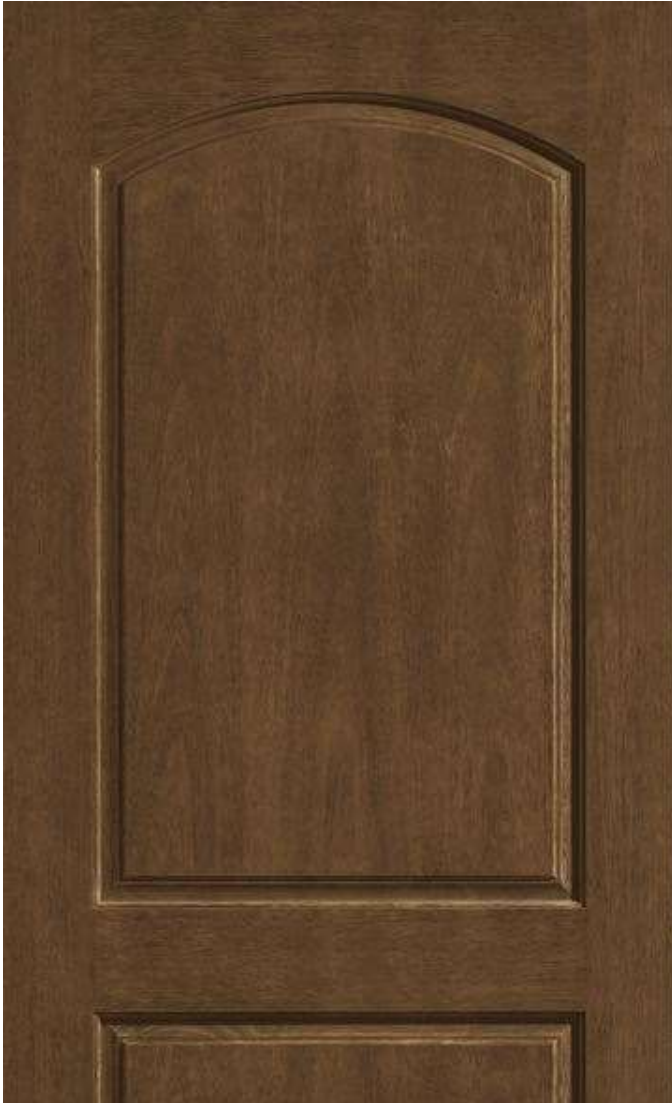
We THE MUNSON COMPANY, the Surveyors who made this map do
herby certify that the survey of property shown hereon was completed
Dec. 8, 1998 and that this map was completed October 13, 2017

Classic-Craft® Rustic Collection™ \$\$

2 Panel Soft Arch | Style No. CCR200 



(0) [Write a review](#)



1 Available Size

3'0" x 6'8"

FINISH OPTIONS

Fiber-Classic® Mahogany Collection™ \$\$

Half Lite 1 Panel | Style No. FCM6022XC-SDL 



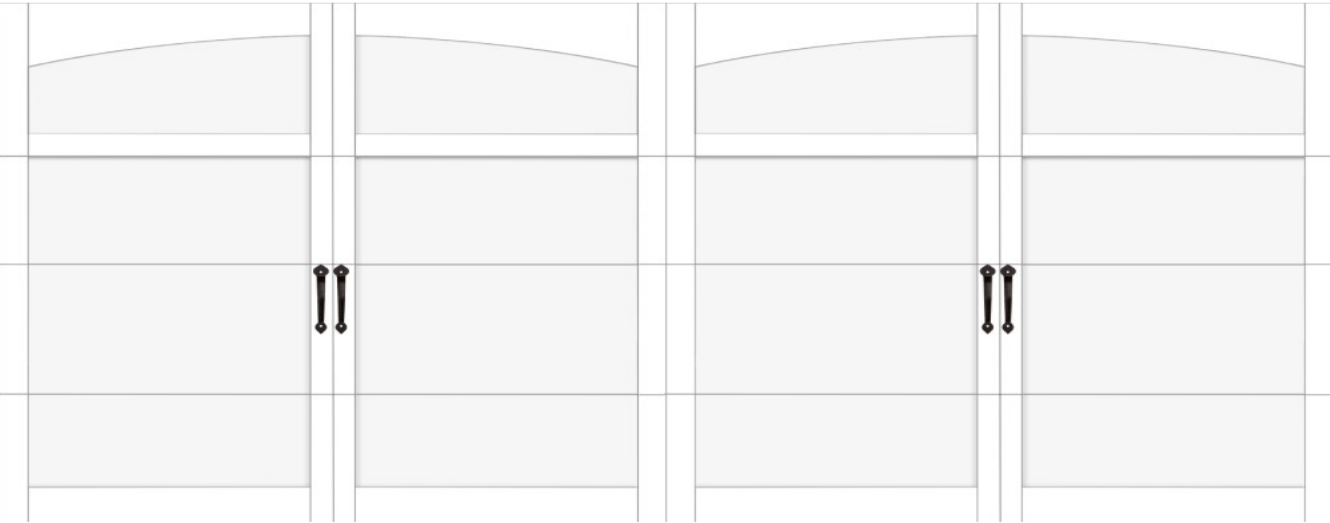
(0) [Write a review](#)




3 Available Sizes

2'8" x 6'8" 2'10" x 6'8" 3'0" x 6'8"

FINISH OPTIONS



Applied Products:

	Garage Door	Carriage House Steel	6600 Panel 16' x 7'
	Paint	White	White
	Hardware	Pull Handle	Aspen 16' x 7'