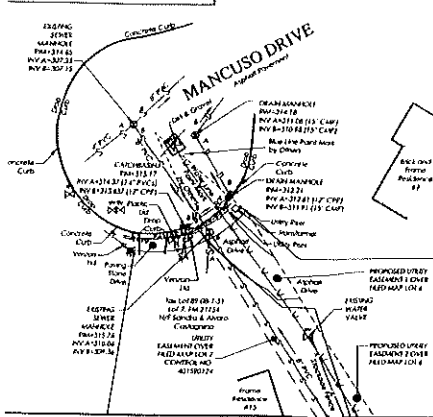


Mancuso Drive Inset



FILED 11th 30 2022
NUMBER 29609
SEE PAGE 10
JAN 18 2022

Westchester County Department of Health
New Rochelle, New York
Approved pursuant to Chapter 87A, Article X, Sections 873.01 and 873.02 of the
Westchester County Sanitary Code subject to the provision of public water supply and public
sanitary sewer facilities to serve all structures intended for human occupancy constructed
herein.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing
this endorsement. Any transfers, changes, additions or alterations of any kind, except the
addition of signatures of other approving authority and the date thereof made on this plat
after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health on behalf of the Department of Health

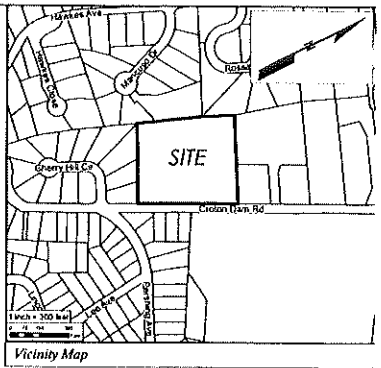
COPYRIGHT © 2021
TC MERRITTS LAND SURVEYORS
117 ALBANY STREET, SUITE 100, ALBANY, NY 12204
TELEPHONE: 518-261-1111 FAX: 518-261-1112
WWW.TCMERRITTS.COM

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899



I, David T. Merritts, Licensed Land Surveyor, who made this map do hereby certify
that the survey upon which this map is based was completed February 14, 2018 and
that this map was completed October 15, 2018.
Map Revised: Nov 2, 2018 to show easement over Filed Map 1 of 2
Map Revised: November 14, 2019
Map Revised: December 16, 2019
Map Revised: February 10, 2021: Map Revised: February 15, 2021
By: David T. Merritts
New York State Licensed Land Surveyor No. 05000

ZONING CONFORMANCE TABLE - R-15 ZONE				
	REQUIRED	LOT 1	LOT 2	LOT 3
MIN. LOT AREA	15,000 SF	91,070.24 SF	34,188.82 SF	60,510.39 SF
LOT WIDTH	90'	205.42'	161.21'	127.74'
LOT DEPTH	120'	221.92'	157.99'	249.44'
MIN. PRINCIPAL BUILDING SETBACKS				
FRONT YARD	30'	36.78'	56.07'	30'
SIDE YARD (LEAST/TOTAL)	14' / 30'	53.47' / 208.35'	53.27' / 153.80'	14' / 30'
REAR YARD	32'	120.58'	47.56'	32'
MAX. HEIGHT (PRINCIPAL) (FEET/STORIES)	35' / 2.5 STORY	EXISTING	EXISTING	2.5 STORY
MAX. BUILDING COVERAGE (%) 25	6.09 %	8.22 %	25 %	25 %



Total Area = 222,587.26 Sq. Ft.
= 5.109 Acres

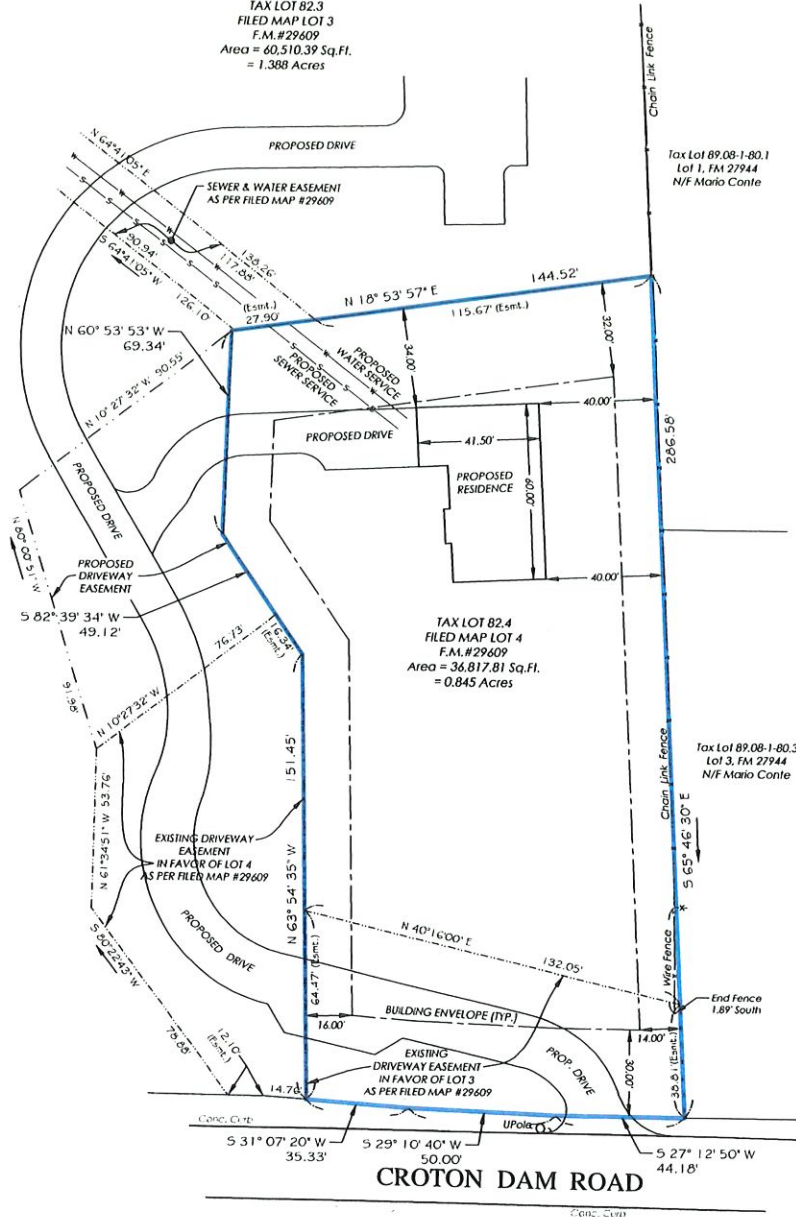
Unauthorized alteration or addition to a survey map by a licensed
Land Surveyor and is a violation of Section 7000, Subdivision 2 of the
New York State Education Law.
Provision only where indicated.
Adjacent property lines and easements not surveyed or certified
Access to adjacent rights of way, easements and public or private lands
not guaranteed or implied.
Underground utilities shown herein are approximate and should be
verified before excavating.
Additional underground utilities are not shown or certified.
Improvements and structures below grade, if any, not shown or
certified.
Subject to covenants, easements, restrictions, conditions and agreements
of record.
Approved by Resolution of the Planning Board of the Town of Ossining,
NY on the 7th day of November, 2018, subject to all
requirements and conditions of said Resolution. Any change, amend,
modification or extension of the plan after the above date shall void this
approval.
Signed this 4th day of December, 2021
Valerie A. Schemmer
Chairman, Planning Board
Town of Ossining
All taxes due to date have been paid.
10-7-2021
Date
Town of Ossining
Receiver of Taxes
The undersigned owner(s) do hereby consent to the filing of this map
David T. Merritts
117 Albany Street, Suite 100, Albany, NY 12204
62691
Owner: Val Schemmer
Address: 37 Crown Dam Road, Ossining, NY 10561

FINAL
SUBDIVISION PLAT
PREPARED FOR
VALERIE A. SCHEMMER
SITING
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK
SCALE: 1" = 30'
GRAPHIC SCALE
1" = 30' FEET
1" = 30' FEET
Westchester County Index System: Sheet 140, Block 9135

Project: 1801 Field Survey By: ANPT
Drawn By: CMF/RC Checked By: SBC/DM



TAX LOT 82.3
FILED MAP LOT 3
F.M.#29609
Area = 60,510.39 Sq.Ft.
= 1.388 Acres



Tax Lot 89.08-1-80.1
Lot 1, FM 27944
N/F Mario Conte

Tax Lot 89.08-1-80.3
Lot 3, FM 27944
N/F Mario Conte

Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Premises hereon being Lot 4 as shown on a certain map entitled, "Final Subdivision Plat Prepared for Valerie A. Schemmer, situate in the Town of Ossining, Westchester County, New York." Said map filed in the Westchester County Clerk's Office, Division of Land Records January 13, 2022 as map number 29609.

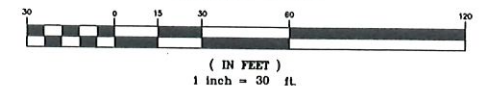
Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 82.4.

Property Address: 43 Croton Dam Road
Ossining, NY 10562

PROPOSED HOUSE AND DRIVEWAY LOCATION SHOWN
HEREON AS PER OWNER / CONTRACTOR DELINEATION,
NOT AS PER ENGINEERS SITE PLAN.

**PLOT PLAN
PREPARED FOR
LOT 4**
SITUATE IN THE
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'
GRAPHIC SCALE



**ZONING REQUIREMENTS
R-15 ZONE**

	REQUIRED
MIN. PRINCIPAL BUILDING SETBACKS	
FRONT YARD	30'
SIDE YARD (LEAST/TOTAL)	14' / 30'
REAR YARD	32'
MAX. HEIGHT (PRINCIPAL) (FEET/STORIES)	35' / 2.5 STORY
MAX. BUILDING COVERAGE (%)	25 %

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ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
IS A VIOLATION OF APPLICABLE LAW.



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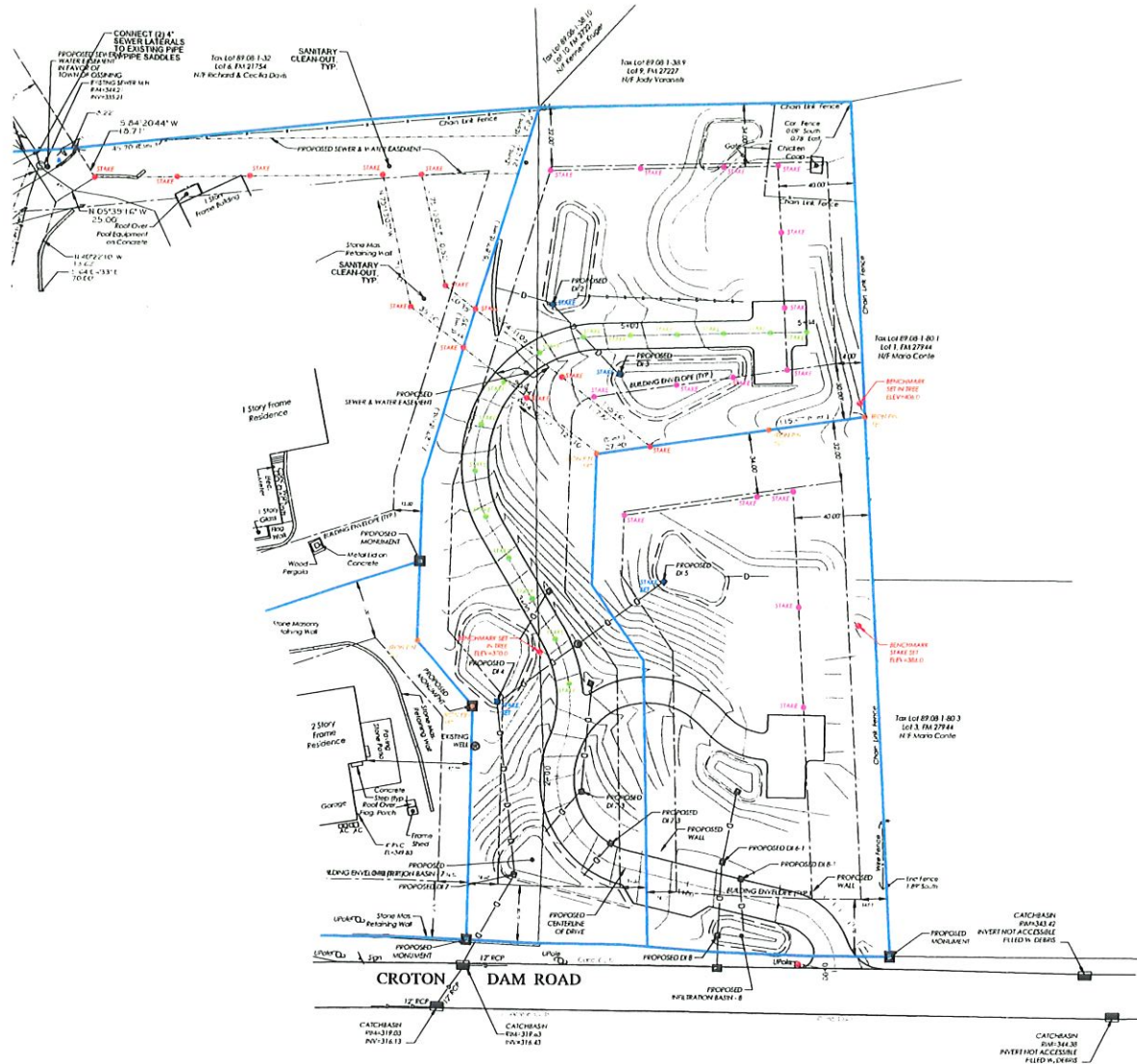
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • survey@tcmeritts.com



Surveyed: February 8, 2018
Map Prepared: February 14, 2018
Map Revised: November 7, 2019
Map Revised: November 13, 2019
Map Revised: September 8, 2023 to show Lot 4 Plot Plan

By: *Daniel T. Merritt*
New York State Licensed Land Surveyor No. 050604

Project:	18-011 - LOT4	Reference:	NA
Field Survey By:	AN/IT	Drawn By:	DA
Project Manager:	DA	Checked By:	DA



- POINT SET LEGEND - RIBBON COLORS
- ORANGE RIBBON - PROPERTY LINES
 - PINK RIBBON - SETBACK LINES
 - GREEN RIBBON - CENTERLINE DRIVEWAY
 - RED RIBBON - EASEMENT LINES
 - BLUE RIBBON - DRAINAGE STRUCTURES

MAP SHOWING
POINTS SET IN FIELD
SITUATE IN THE
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft

THIS MAP WAS PREPARED TO SHOW POINTS SET IN FIELD ONLY.
NOT TO BE USED FOR ANY OTHER PURPOSE.

Project:	Reference:
18-011	N/A
Field Survey By:	Drawn By:
ANIRM	DA
Project Manager:	Checked By:
DA	DA

41 Croton Dam Road



② FRONT ELEVATION
1/4" = 1'-0"



① 3D View 1



③ 3D View 2

43 Croton Dam Road



② FRONT ELEVATION
1/4" = 1'-0"



① 3D View 1



③ 3D View 2



Similar Home in Briarcliff



U.S. LUMBER

an SBP brand



James Hardie™

CHEAT SHEET

Lap Siding Coverage Chart

Lap Siding

Siding Size (Reveal)

Area (sq.ft)	5-1/4" (5")	6-1/4" (6")	7-1/4" (7")	8-1/4" (8")
100	25	20	17	15
200	50	40	34	30
300	75	60	51	43
400	100	80	67	58
500	125	100	84	72
600	150	120	101	86
700	175	140	117	101
800	200	160	134	115
900	225	180	151	129
1000	250	200	167	143
1500	375	300	250	215
2000	500	400	333	286
2500	625	500	418	358
3000	750	600	500	428
3500	875	700	585	501
4000	1000	800	668	572
4500	1125	900	752	644
5000	1250	1000	825	715

JAMES HARDIE "STATEMENT COLLECTION"



Aged Pewter



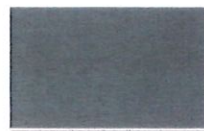
Artic White



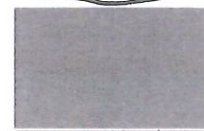
Boothbay Blue



Cobblestone



Evening Blue



Gray Slate



Iron Gray



Khaki Brown



Light Mist



Monteray Taupe



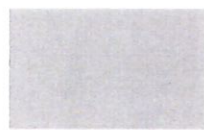
Mountain Sage



Navajo Beige



Night Gray



Pearl Gray



Timber Bark



Retaining Wall

