

- ALL TREES ARE TO BE REGULATED BY CHAPTER 183 : TREE PROTECTION, OF THE TOWN OF OSSINING CODE.
- ALL INDICATED TREES REMOVED DUE TO STORM DAMAGE.

TOWN OF OSSINING (EXISTING LOT)

* VARIANCES REQUIRED

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.

SY-101

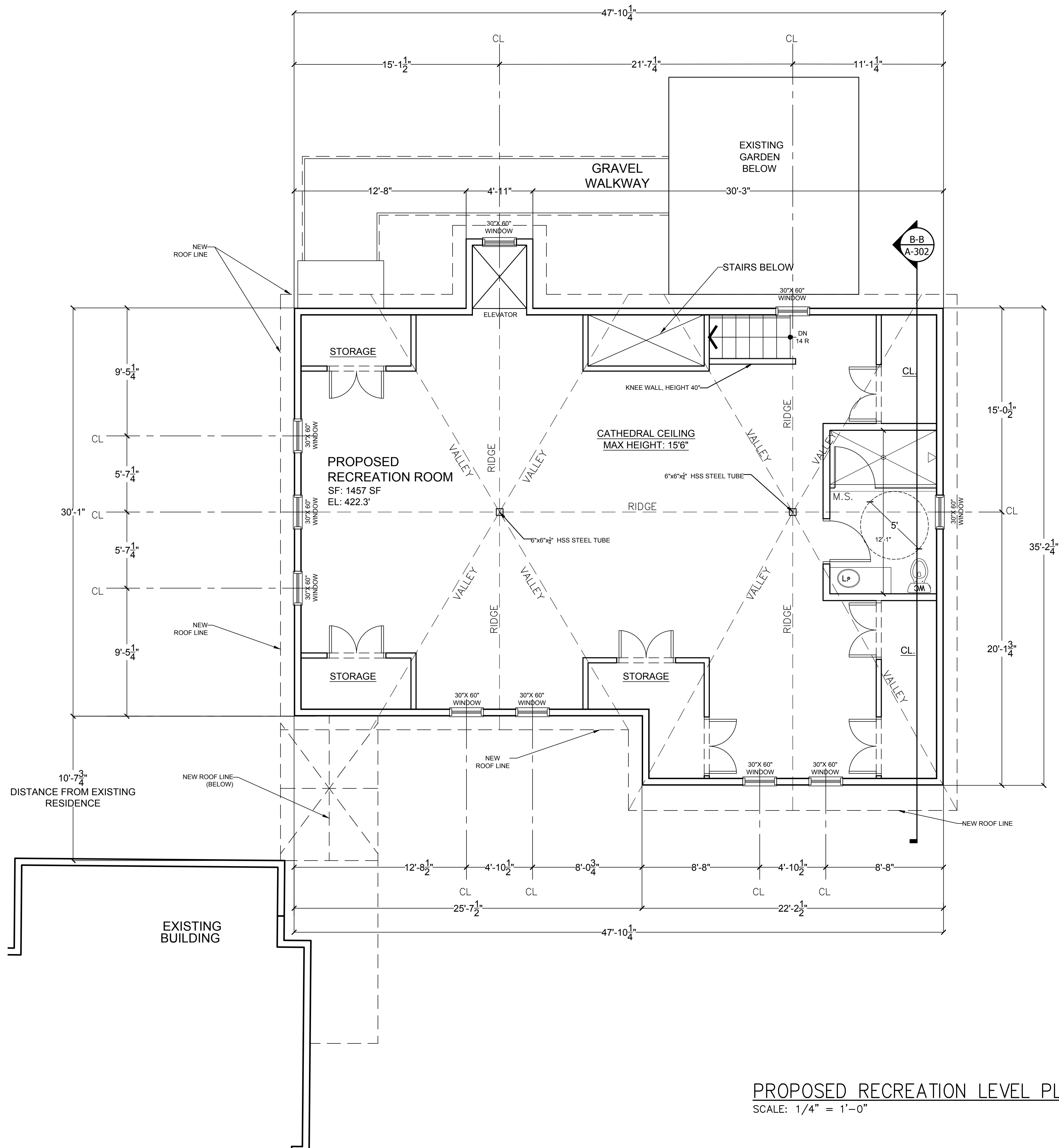
- ALL OUTDOOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES
- THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN
- THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK TILL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED
- THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3000 DEGREES KELVIN



SPECIAL NOTES

drawing no

A-101

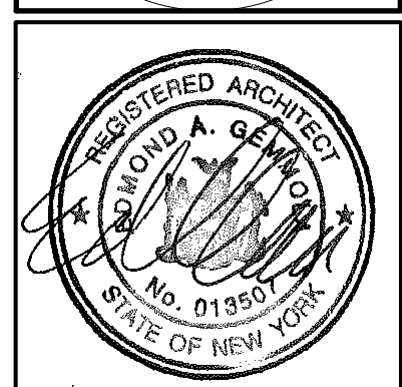
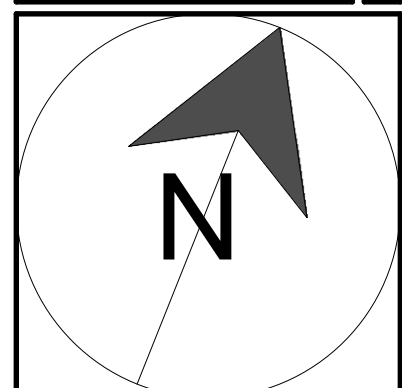


PROPOSED RECREATION LEVEL PLAN
SCALE: 1/4" = 1'-0"

- These plans are not valid for a building permit unless properly signed and sealed by the architect.
- These plans are the property of Gernimo & Associates Architects/Planners. Any use or reproduction in whole or part without the written authorization of Gernimo & Associates Architects/Planners is prohibited.
- The contractor shall be responsible for obtaining all necessary permits and for the proper installation and maintenance of the building systems.
- The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
- The Architect is not responsible for Construction Phase. Administration of the construction is the responsibility of the Owner.
- The information shown on this drawing is for informational purposes only and is not guaranteed.
- Existing conditions (if applicable) should be verified in the field.

SPECIAL NOTES

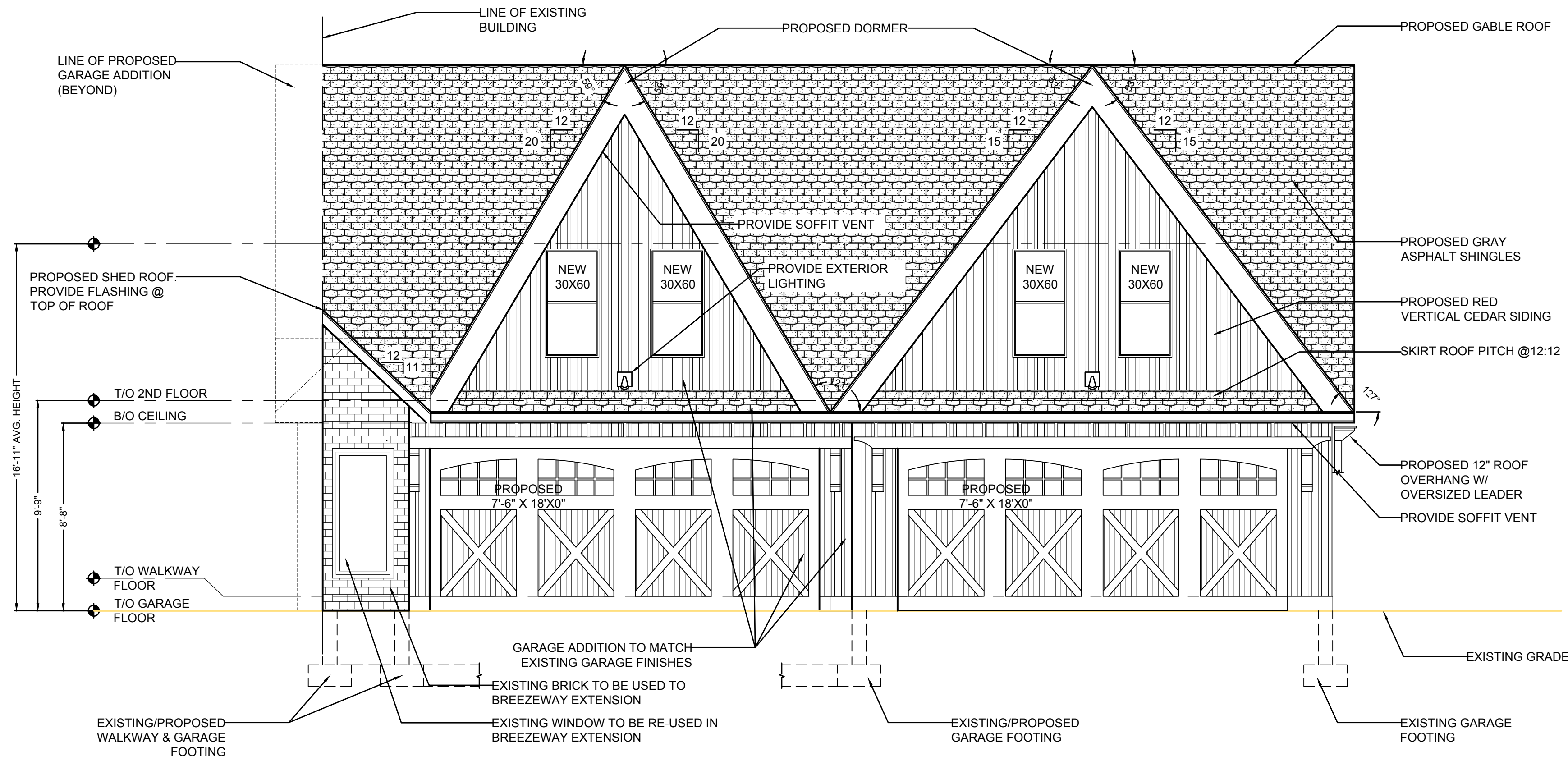
Rev. No.	By	Date	Description
8	ML	04/12/21	revisions as per client request
7	ML	12/22/20	general revision
6	ML	12/01/20	general revision
5	ML	11/18/20	general revision
4	ML	10/20/20	general revision
3	ML	10/29/20	general revision
2	ML	07/14/20	general revision
1	ML	07/10/20	revisions made as per meeting with owner



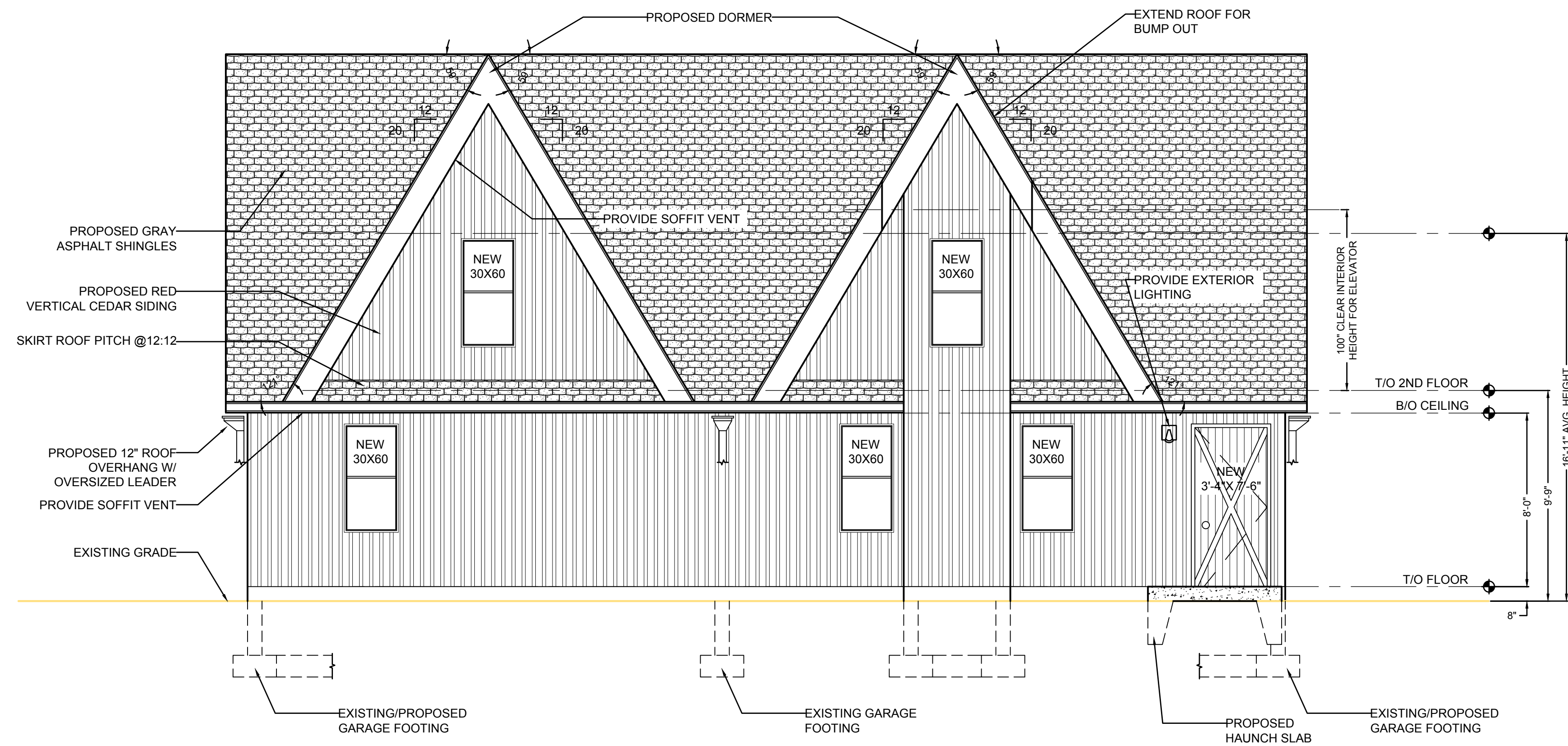
drawing title:	proposed recreation room plan
project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
date:	04/12/21
scale:	as noted
drawn by:	ml/rog
project no.:	19-033
architects/planners:	germola & associates
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

A-102



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

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- The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
- The Architect is not responsible for Construction Phase. Administration of the construction of the project is the responsibility of the Owner.
- The information shown on this drawing is purposed to be accurate but not guaranteed.
- Existing conditions (if applicable) should be verified in the field.

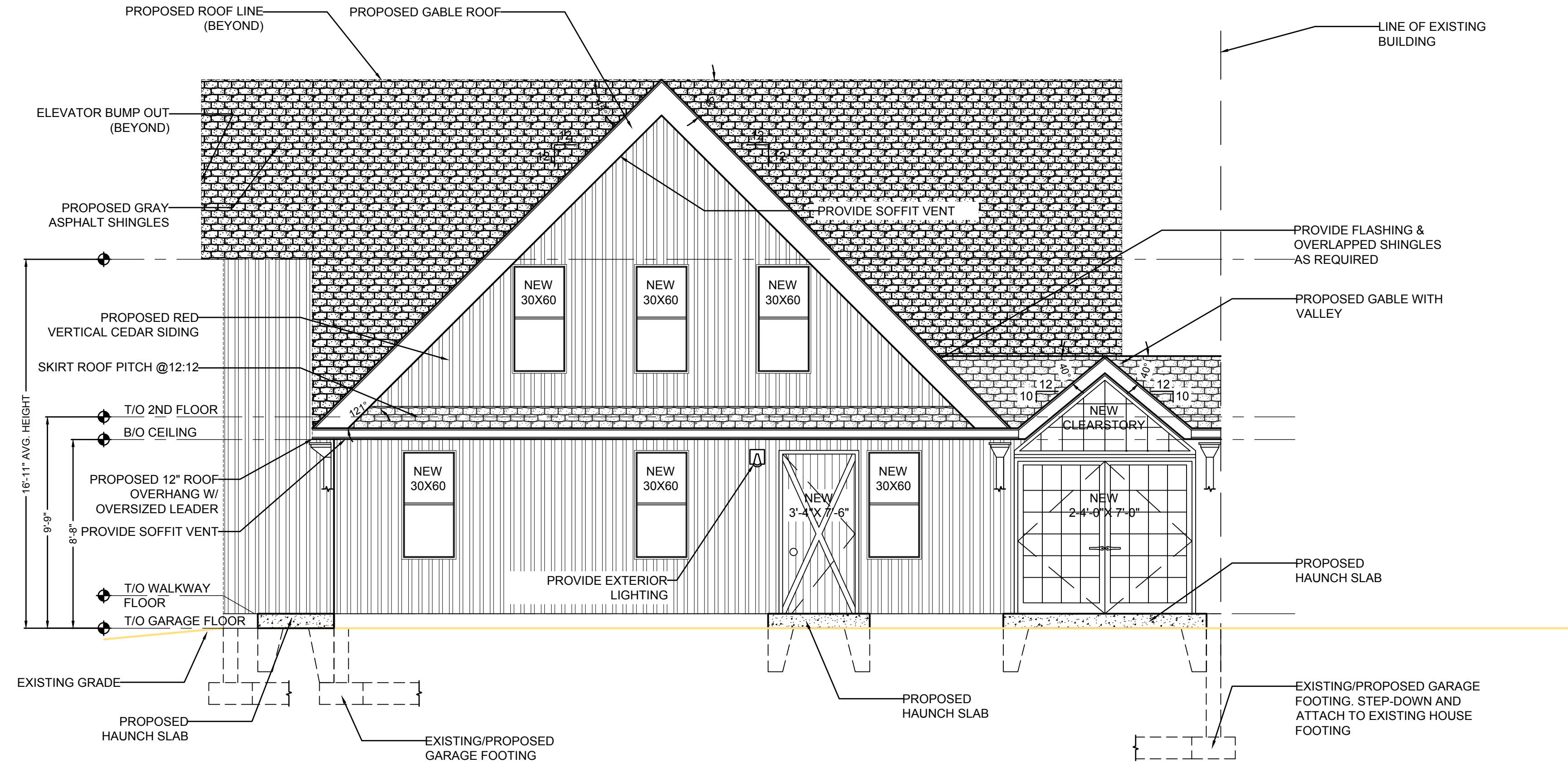
SPECIAL NOTES

REV. NO.	BY	DATE	DESCRIPTION
7	ML	04/12/21	general revision
6	ML	11/18/20	general revision
5	ML	11/18/20	general revision
4	ML	10/29/20	general revision
3	ML	10/29/20	general revision
2	ML	07/14/20	general revision
1	ML	07/10/20	revisions made as per meeting with owner

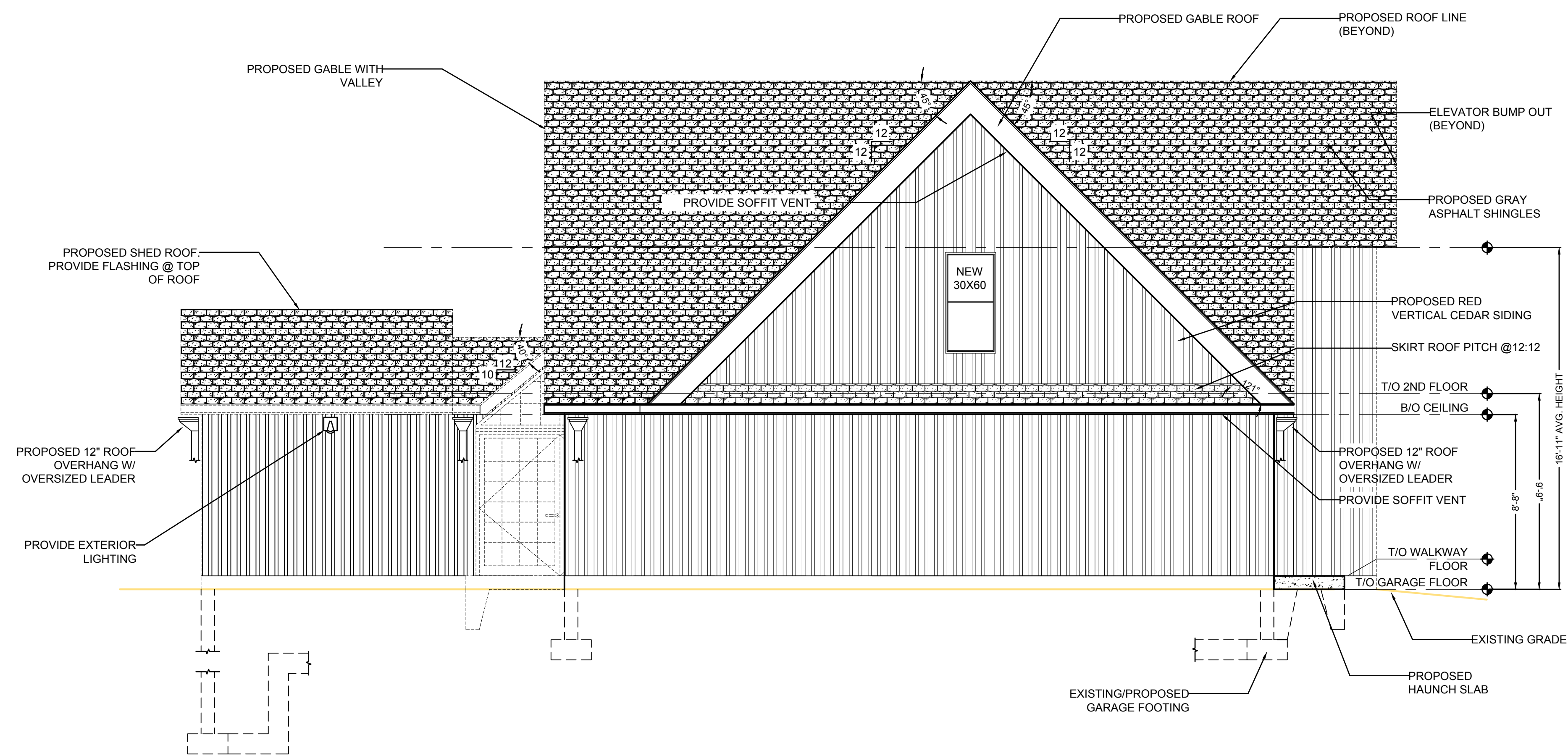


drawing title: **proposed elevations**
 project: **proposed residence for: mark seiden**
 49 croton dam road, cossing, ny 10562
 gemmola & associates architects/planners
 377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **A-201**



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
The Architect is not responsible for Construction Phase. Administration of the construction documents is the responsibility of the Contractor. The information shown in this drawing is for informational purposes only and is not to be used for construction without the written consent of the architect.
Existing conditions (if applicable) should be verified in the field.
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SPECIAL NOTES

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drawing title: **proposed elevations**
project: **proposed residence for: mark seiden**
149 croton dam road, cossing, ny 10562
gemmola & associates architects/planners
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204
date: 04/12/21
scale: as noted
drawn by: ml/agg
project no. 19-033

drawing no.

A-202