

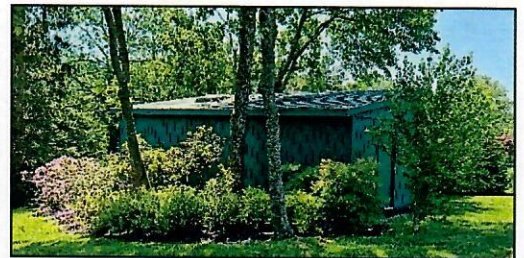
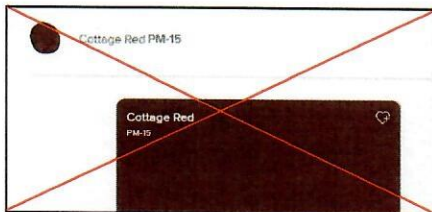
Seiden, 49 Croton Dam Road, Ossining
Requested Amendments to Previous ARB Approvals
7/21/2021

Garage Addition

1. 2nd floor onto hallway: Add from main house to 2nd floor recreation room structure.
2. Windows: Add five windows (All five windows to be reused/repurposed windows from current home and from previous detached garage):
 - a. One into first floor hallway in exact viewing location of current family room window.
 - b. One into new 2nd floor hallway in exact viewing location of current bedroom window.
 - c. One into 2nd floor hallway over the 1st floor double glass doors overlooking driveway area.
 - d. One into 2nd floor hallway over the 1st floor double glass doors overlooking patio area.
 - e. One into unfinished storage area to give extra light/ventilation.
3. Rear elevation:
 - a. Change already approved rear window in 1st floor unfinished storage to a door and add a "wagon ramp" for easy gardening access.
 - b. Create larger steps for already approved rear door.
 - c. Relocate already approved window to another 1st. floor location on rear of structure
4. Change from "Barn Style Vertical Siding" to:
 - a. **Brick** on (garage) front and (patio) left elevations of home. These are the areas in full view every day. **Took 3 months** but found identical brick color and mortar.
 - b. **"Horizontal Clapboard"** on rear and right elevations. Color to be **red-earth-tone** as to the current **red-earth-tone** brick color of main structure. Final exact color not yet established. Brick accents on top of gables. These elevations are rarely in view.
5. Garage doors: Change from "Barn Style" to "Carriage Style."

Shed Bar-Barn Style vertical siding eliminated. Install **"Horizontal Clapboard"** to match garage siding

1. Change siding color from Benjamin Moore, Cottage Red, PM-15 as originally approved to Benjamin Moore, Yukon Green, 2051-10, which is the same color of another "out building" that is already on our property, our Generator Shed.



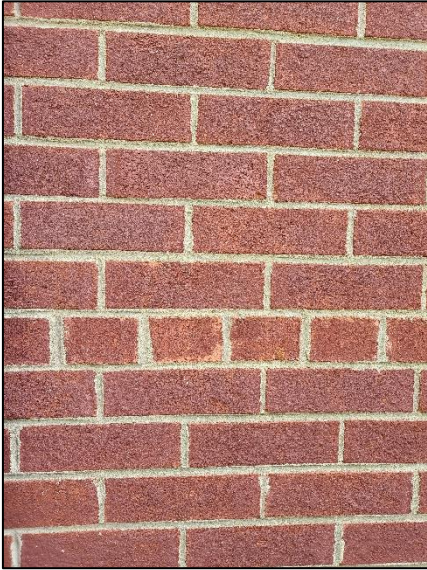
2. Have option to change roof on Shed Bar from a standard "Asphalt tile" roof to a "Thatched Roof." At this point, not sure which roof we want to do but we want an option to do one of the two.



Thatched Roof

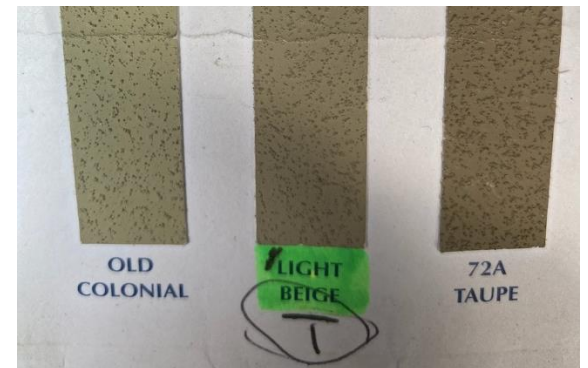
Seiden, 49 Croton Dam Road, Ossining, NY 10562

Current Brick Façade



Original Brick

New Brick



Matching Mortar

Seiden, 49 Croton Dam Road

Request for 2nd floor over hallway to garage recreation room



Seiden, 49 Croton Dam Road, Ossining

Second Floor Hallway Request w/Window Views

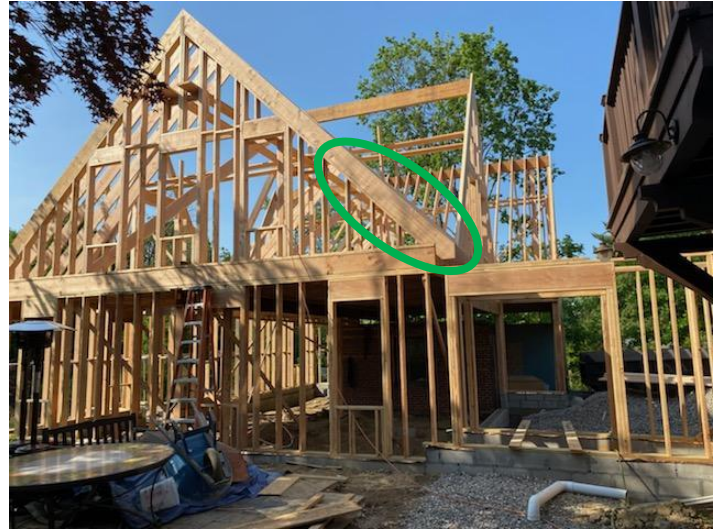
Requesting to add 2nd floor onto hallway from main house to garage/recreation room structure



One story hallway from driveway view

*Windows circled will be relocated to exact areas onto hallways.

*Window on 2nd floor area opened up as doorway to create access to 2nd floor hallway.



One story hallway from Patio view

Roof area circled will be where 2nd floor hallway will connect to garage structure.



Roof area circled will be where 2nd floor hallway will connect to 2nd floor garage structure.

Seiden, 49 Croton Dam Road, Ossining

Second Floor Hallway Request w/Window Views

Requesting to add 2nd floor onto hallway from main house to garage/recreation room structure

(All views taken from exact location of newly proposed window locations. Plywood set on top of first floor hallway whereby new window locations exactly measured and located.)



2nd floor: Current view from pre-existing window towards neighbor Picucci, 51 Croton Dam Rd. This window will be relocated from “bedroom to hallway” to exact same viewing area.



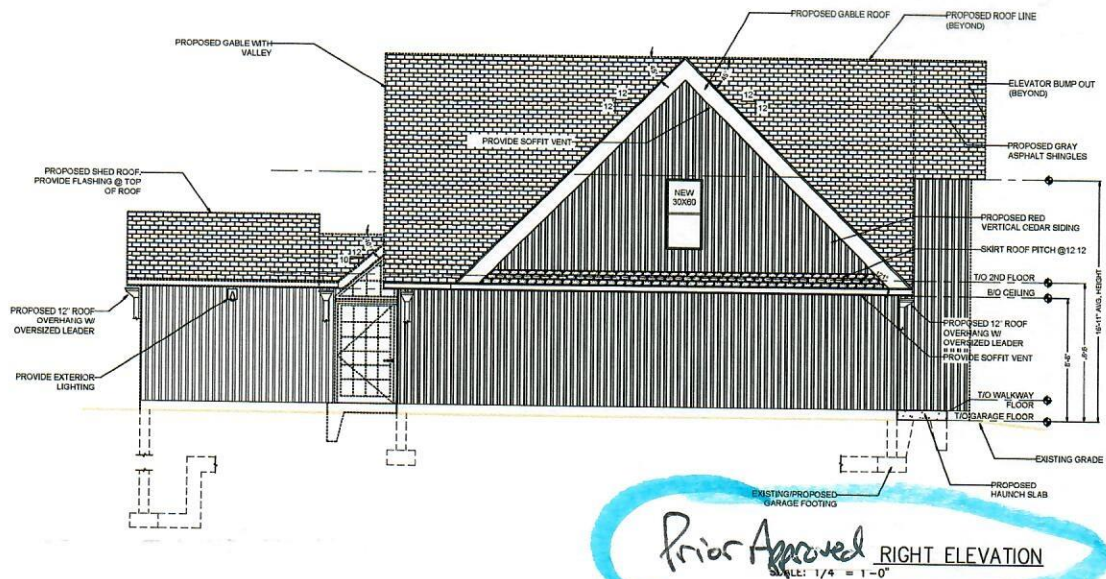
2nd floor: New view from New window towards neighbor Rinaldi, 45 Croton Dam Rd. Totally obstructed view, overlooking at own property's Shed Bar and trees.

Adding
TWO
window
locations

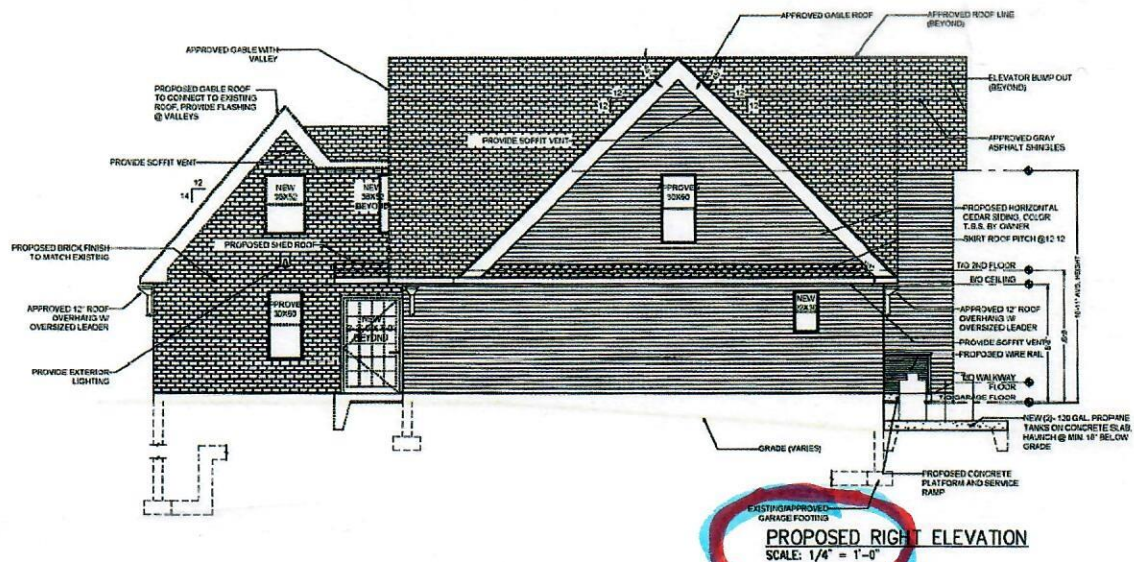


2nd floor: New view from New window towards neighbor Picucci, 51 Croton Dam Rd. Obstructed view, partially looking at own new garage, partially overlooking neighbor's detached garage.

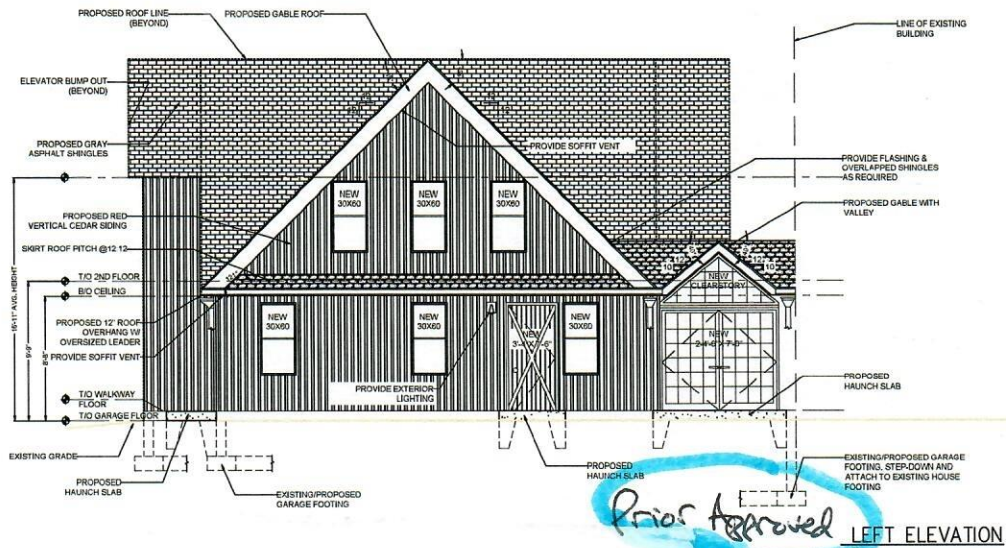
Seiden, 49 Croton Dam Road, Ossining
Requested Amendments to Previous ARB Approvals
7/21/2021



Patio Side Elevation



Seiden, 49 Croton Dam Road, Ossining
Requested Amendments to Previous ARB Approvals
7/21/2021



Driveway Side Elevation



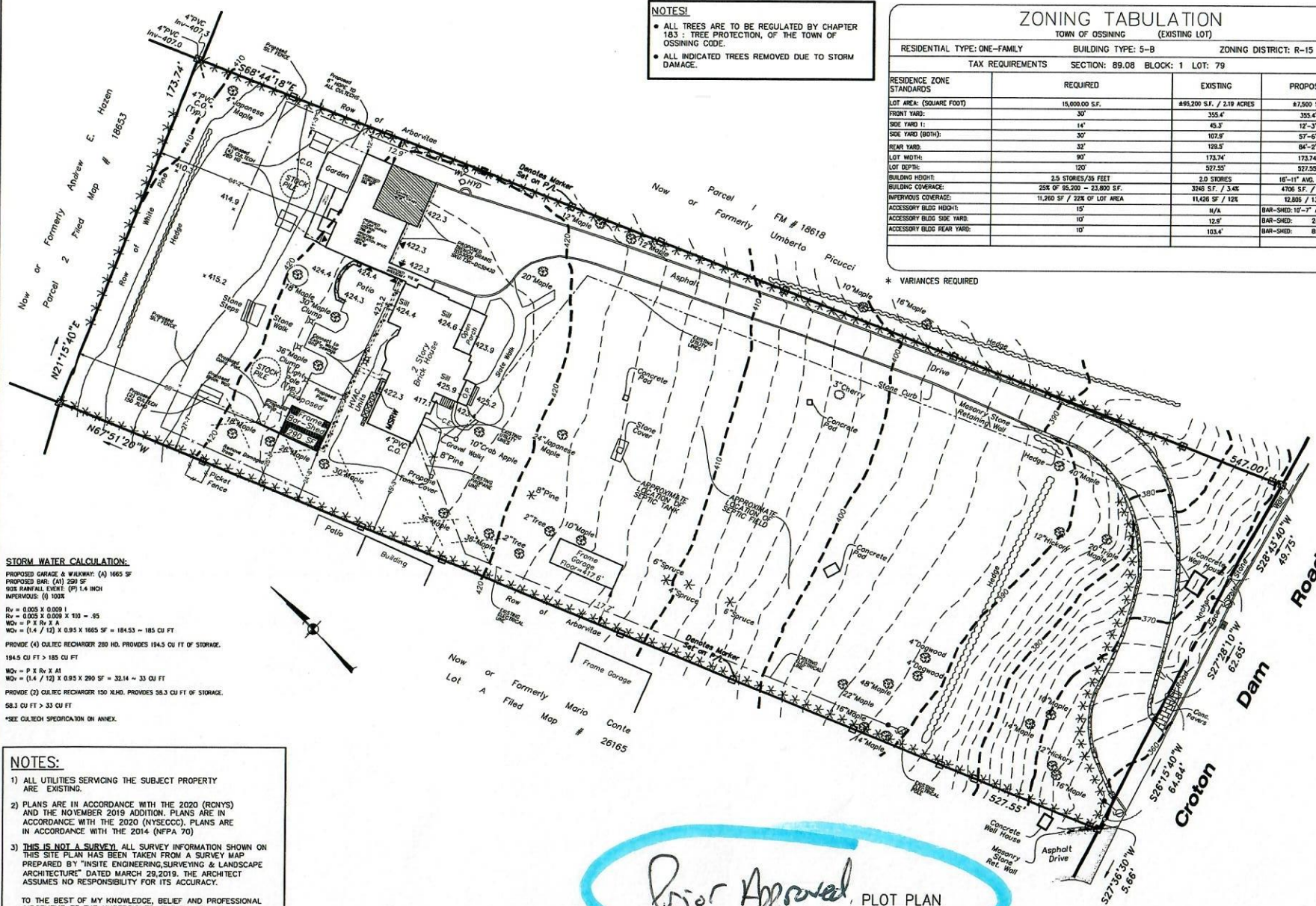
- NOTES:**
- ALL TREES ARE TO BE REGULATED BY CHAPTER 183: TREE PROTECTION, OF THE TOWN OF OSSING CODE.
 - ALL INDICATED TREES REMOVED DUE TO STORM DAMAGE.

ZONING TABULATION

TOWN OF OSSING (EXISTING LOT)
RESIDENTIAL TYPE: ONE-FAMILY BUILDING TYPE: 5-B ZONING DISTRICT: R-15
TAX REQUIREMENTS SECTION: 89.08 BLOCK: 1 LOT: 79

RESIDENCE ZONE STANDARDS	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQUARE FOOT)	15,000.00 S.F.	469,200 S.F. / 2.19 ACRES	47,500 S.F.
FRONT YARD:	30'	355.4'	355.4'
SIDE YARD 1:	14'	45.3'	12'-3" *
SIDE YARD (BOTH):	30'	107.5'	57'-6" *
REAR YARD:	32'	128.5'	94'-2" *
LOT WIDTH:	90'	173.74'	173.74'
LOT DEPTH:	120'	527.55'	527.55'
BUILDING HEIGHT:	2.5 STORES/25 FEET	2.0 STORES	18'-11" AVG. HEIGHT
BUILDING COVERAGE:	25% OF 50,000 = 12,500 S.F.	3948 S.F. / 3.4%	4709 S.F. / 4.3%
IMPERVIOUS COVERAGE:	11,250 S.F. / 22% OF LOT AREA	11,426 S.F. / 12%	12,805 / 13.4%
ACCESSORY BLDG HEIGHT:	10'	N/A	BAR-SHD: 10'-7" AVG. HEIGHT
ACCESSORY BLDG SIDE YARD:	10'	12.8'	BAR-SHD: 24'-8"
ACCESSORY BLDG REAR YARD:	10'	103.4'	BAR-SHD: 88'-0"

* VARIANCES REQUIRED



STORM WATER CALCULATION:

PROPOSED GARAGE & WALKWAY: (A) 1665 SF
PROPOSED DR: (A) 250 SF
GDS RAINFALL EVENT: (P) 1.4 INCH
IMPERVIOUS: (I) 100%

$R_v = 0.003 \times 0.009$
 $R_v = 0.003 \times 0.009 \times 100 = .95$
 $WQ_v = P \times R_v \times A$
 $WQ_v = (1.4 / 12) \times 0.95 \times 1665 \text{ SF} = 184.53 \sim 185 \text{ CU FT}$

PROVIDE (4) OUTLET RECHARGER 280 NO. PROVIDES 184.5 CU FT OF STORAGE.
 184.5 CU FT > 185 CU FT

$WQ_v = P \times R_v \times A$
 $WQ_v = (1.4 / 12) \times 0.95 \times 290 \text{ SF} = 32.14 \sim 33 \text{ CU FT}$

PROVIDE (2) OUTLET RECHARGER 150 NO. PROVIDES 32.3 CU FT OF STORAGE.
 58.3 CU FT > 33 CU FT

*SEE CATCH SPECIFICATION ON ANNEX.

NOTES:

- 1) ALL UTILITIES SERVING THE SUBJECT PROPERTY ARE EXISTING.
- 2) PLANS ARE IN ACCORDANCE WITH THE 2020 (RCNYS) AND THE NOVEMBER 2019 ADDITION. PLANS ARE IN ACCORDANCE WITH THE 2020 (NYSDEC). PLANS ARE IN ACCORDANCE WITH THE 2014 (NYPEA 70)
- 3) THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS SITE PLAN HAS BEEN TAKEN FROM A SURVEY MAP PREPARED BY "INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE" DATED MARCH 29, 2019. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.

Prior Approval

SCALE: 1" = 20'-0"

SPECIAL NOTES

1. The owner shall be responsible for obtaining all necessary permits from the appropriate authorities for the construction of the proposed improvements.

2. The owner shall be responsible for obtaining all necessary permits from the appropriate authorities for the construction of the proposed improvements.

3. The owner shall be responsible for obtaining all necessary permits from the appropriate authorities for the construction of the proposed improvements.

4. The owner shall be responsible for obtaining all necessary permits from the appropriate authorities for the construction of the proposed improvements.

5. The owner shall be responsible for obtaining all necessary permits from the appropriate authorities for the construction of the proposed improvements.

PROPOSED IMPROVEMENTS

1. New Garage & Walkway (A) 1665 SF

2. New Driveway (A) 250 SF

3. New Landscaping (A) 1000 SF

4. New Stormwater Management (A) 1000 SF

5. New Stormwater Management (A) 1000 SF

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NOTES:

- ALL TREES ARE TO BE REGULATED BY CHAPTER 163: TREE PROTECTION, OF THE TOWN OF OSSINGING CODE.
- ALL INDICATED TREES REMOVED DUE TO STORM DAMAGE.

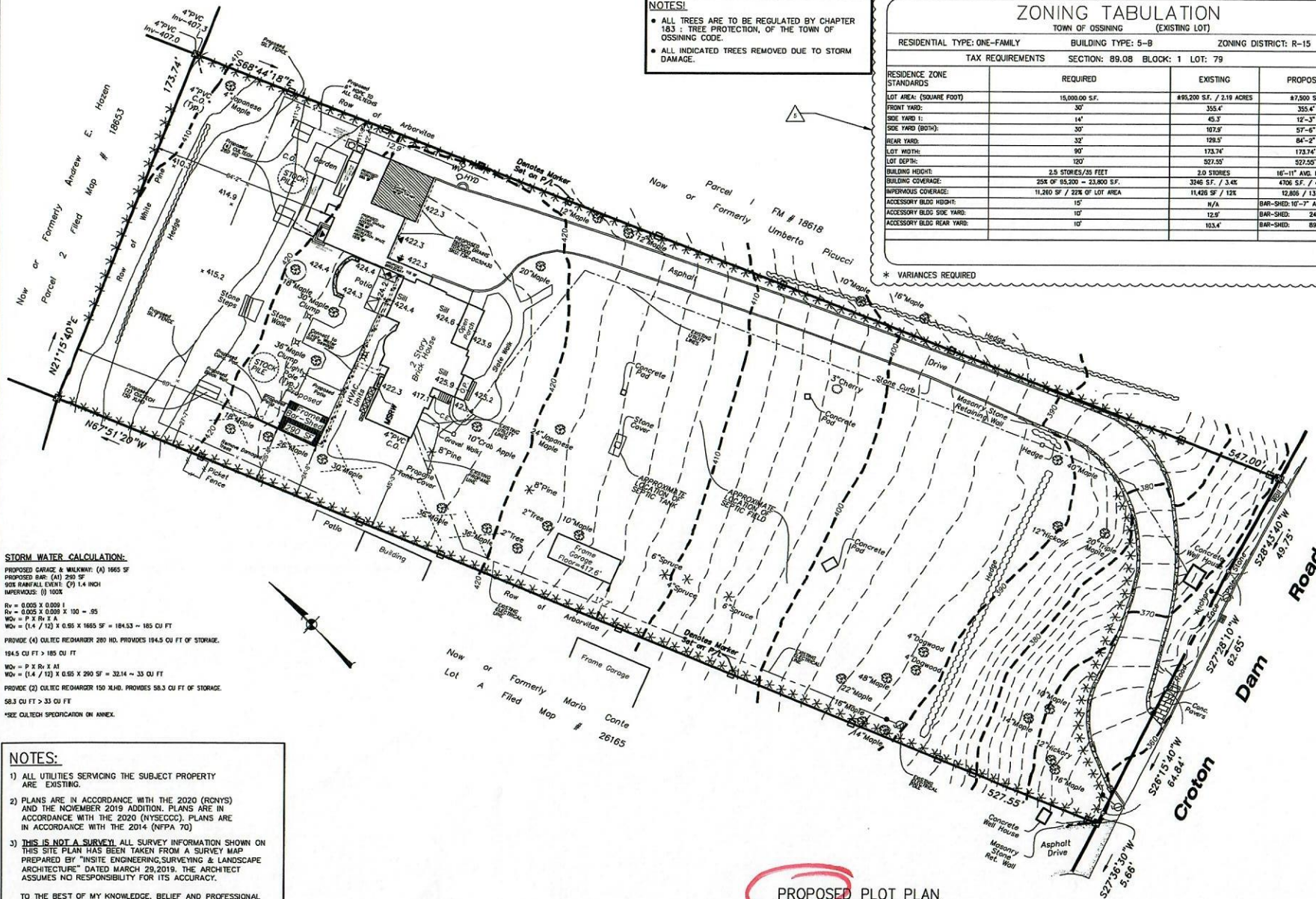
ZONING TABULATION

TOWN OF OSSINGING (EXISTING LOT)
RESIDENTIAL TYPE: ONE-FAMILY BUILDING TYPE: 5-B ZONING DISTRICT: R-15

TAX REQUIREMENTS SECTION: 89.08 BLOCK: 1 LOT: 79

RESIDENCE ZONE STANDARDS	REQUIRED	EXISTING	PROPOSED
LOT AREA (SQUARE FOOT)	16,000.00 S.F.	495,200 S.F. / 2.19 ACRES	47,500 S.F.
FRONT YARD:	30'	355.4'	355.4'
SIDE YARD 1:	14'	45.3'	12'-3" *
SIDE YARD (BOTH):	30'	107.6'	57'-6" *
REAR YARD:	32'	129.5'	84'-2" *
LOT WIDTH:	90'	173.74'	173.74'
LOT DEPTH:	120'	527.55'	527.55'
BUILDING HEIGHT:	2.5 STORES/25 FEET	2.0 STORES	16'-11" AVG. HEIGHT
BUILDING COVERAGE:	25% OF 55,200 = 13,800 S.F.	2348 S.F. / 3.4%	4706 S.F. / 4.5%
IMPERVIOUS COVERAGE:	11,260 S.F. / 21% OF LOT AREA	11,426 S.F. / 12%	12,805 / 13.4%
ACCESSORY BLDG HEIGHT:	15'	N/A	BAR-SHED: 10'-7" AVG. HEIGHT
ACCESSORY BLDG SIDE YARD:	10'	12.9'	BAR-SHED: 24'-8"
ACCESSORY BLDG REAR YARD:	10'	103.4'	BAR-SHED: 89'-0"

* VARIANCES REQUIRED



STORM WATER CALCULATION:

PROPOSED GARAGE & WALKWAY: (A) 1665 SF
PROPOSED BAR: (A) 250 SF
SIDE RAINFALL EVENT: (C) 1.4 INCH
IMPERVIOUS: (I) 100%

$$R_v = 0.003 \times 0.0091$$

$$R_v = 0.003 \times 0.0091 \times 100 = .95$$

$$WQ = P \times R_v \times A$$

$$WQ = (1.4 / 12) \times 0.95 \times 1665 \text{ SF} = 184.33 \sim 185 \text{ CU FT}$$

PROVIDE (4) CULTEC RECHARGER 280 HD. PROVIDES 194.5 CU FT OF STORAGE.

$$194.5 \text{ CU FT} > 185 \text{ CU FT}$$

$$WQ = P \times R_v \times A$$

$$WQ = (1.4 / 12) \times 0.95 \times 250 \text{ SF} = 32.14 \sim 33 \text{ CU FT}$$

PROVIDE (2) CULTEC RECHARGER 150 XLHD. PROVIDES 58.3 CU FT OF STORAGE.

$$58.3 \text{ CU FT} > 33 \text{ CU FT}$$

*SEE CULTECH SPECIFICATION ON ANNEX.

NOTES:

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PROPOSED PLOT PLAN

SCALE: 1" = 20'-0"

UN MARKED

SPECIAL NOTES

1. The owner shall be responsible for obtaining all necessary permits from the appropriate authorities.

2. The owner shall be responsible for obtaining all necessary easements from the appropriate authorities.

3. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

4. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

5. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

6. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

7. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

8. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

9. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

10. The owner shall be responsible for obtaining all necessary approvals from the appropriate authorities.

DATE	BY	REVISION
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid
08/27/21	mark seiden	on solid

proposed plot plan
residence for
mark seiden
48 cotten dam road, croton, ny 10502

gemino & associates architects/planners
11000 CROTON DAM ROAD, CROTON, NY 10502
TEL: 914.882.0020 FAX: 914.882.0021

drawing no.
SY-101

NOTES:

- ALL TREES ARE TO BE REGULATED BY CHAPTER 183 - TREE PROTECTION, OF THE TOWN OF OSSINING CODE.
- ALL INDICATED TREES REMOVED DUE TO STORM DAMAGE.

ZONING TABULATION

TOWN OF OSSINING (EXISTING LOT)

RESIDENTIAL TYPE: ONE-FAMILY BUILDING TYPE: 5-B ZONING DISTRICT: R-15
TAX REQUIREMENTS SECTION: 89.08 BLOCK: 1 LOT: 79

RESIDENCE ZONE STANDARDS	REQUIRED	EXISTING	PROPOSED
LOT AREA: (SQUARE FOOT)	15,000.00 S.F.	495,300 S.F. / 2.19 ACRES	47,500 S.F.
FRONT YARD:	30'	355.4'	355.4'
SIDE YARD 1:	14'	45.3'	12'-3"
SIDE YARD (BOT):	30'	107.9'	57'-6"
REAR YARD:	33'	128.5'	84'-2"
LOT WIDTH:	90'	173.74'	173.74'
LOT DEPTH:	100'	527.25'	527.25'
BUILDING HEIGHT:	2.5 STORIES/25 FEET	20 STORIES	16'-11" AVG. HEIGHT
BUILDING COVERAGE:	25% OF 55,200 = 13,800 S.F.	3246 S.F. / 3.4%	4708 S.F. / 4.9%
IMPERVIOUS COVERAGE:	11,200 S.F. / 23% OF LOT AREA	11,428 S.F. / 13%	12,806 S.F. / 13.4%
ACCESSORY BLDG HEIGHT:	15'	N/A	BAR-SHD: 10'-3" AVG. HEIGHT
ACCESSORY BLDG SIDE YARD:	10'	125'	BAR-SHD: 24'-5"
ACCESSORY BLDG REAR YARD:	10'	103.4'	BAR-SHD: 85'-0"

* VARIANCES REQUIRED

SPECIAL NOTES

1. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS PREPARED.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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STORM WATER CALCULATION:

PROPOSED SURFACE & VOLUMES: (A) 1665 SF
PROPOSED BAR: (H) 290 SF
SITE RAINFALL EVENT: (P) 1.4 INCH
RAINFALL: (I) 10.8
Rv = 0.005 X 0.009 I
Rv = 0.005 X 0.009 X 100 = .55
Wd = P X Rv X A
Wd = (0.4 / 12) X 0.55 X 1665 SF = 194.53 ~ 195 CU FT
PROVIDE (4) CULIC RECHARGER 280 NO. PROVIDES 194.5 CU FT OF STORAGE.
194.5 CU FT > 195 CU FT
Wd = P X Rv X A
Wd = (0.4 / 12) X 0.55 X 290 SF = 32.14 ~ 33 CU FT
PROVIDE (2) CULIC RECHARGER 150 NO. PROVIDES 58.3 CU FT OF STORAGE.
58.3 CU FT > 33 CU FT
*SEE CALCULATIONS ON ANNEX.

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PROPOSED PLOT PLAN

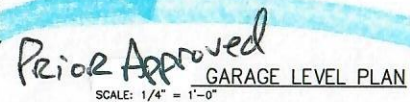
SCALE: 1" = 20'-0"

proposed plot plan
mark seiden
gemmola & associates architects/planners

drawing no.

SY-101

- ALL OUTDOOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES
- THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN
- THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK TILL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED
- THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3000 DEGREES KELVIN



drawing no.

A-101

- ALL OUTDOOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES
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UNMARKET

- *These plans are not used for building permit review approval and issued by the architect.*
- *The construction of the building may utilize some portions on the plans.*
- *These drawings are not intended to be used for the construction of the building.*
- *Transmission in whole or part without the written authorization of Genscape & Associates Inc. is prohibited. It is not part of the contract for construction of the building.*
- *These drawings are not intended to be used for the construction of the building.*
- *The construction documents are not intended to be used for the construction of the building.*
- *The CONTRACTOR is to discuss/verify the scope of the work with the Owner.*
- *The ARCHITECT is not responsible for Construction Plans. Administration of the Construction Plans is the responsibility of the Owner.*
- *The information shown on this drawing is not intended to be accurate but, not guaranteed.*
- *Existing conditions (if applicable) should be verified in the field.*
- *Do not copy drawings.*

	no.	by	date	description
revisions as per client request	1	ME	07/07/20	general revisions
revisions as per client request	2	ME	07/07/20	general revisions
revisions as per client request	3	ME	07/07/20	general revisions
revisions as per client request	4	ME	07/07/20	general revisions
revisions as per client request	5	ME	07/07/20	general revisions
revisions as per client request	6	ME	07/07/20	general revisions
revisions as per client request	7	ME	07/07/20	general revisions
revisions as per client request	8	ME	07/07/20	general revisions
revisions as per client request	9	ME	07/07/20	general revisions
revisions as per client request	10	ME	07/07/20	general revisions

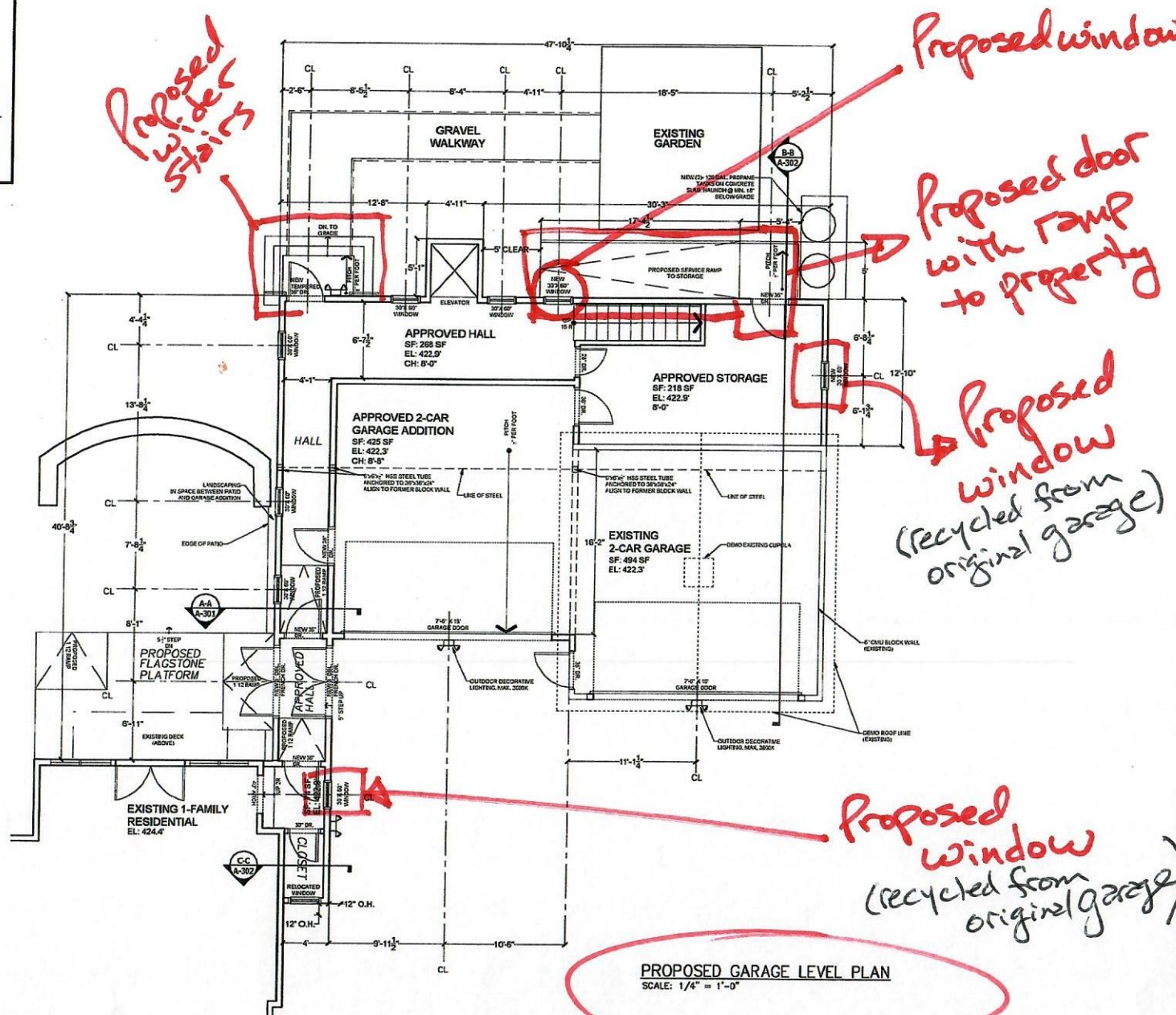


drawing title proposed garage plan	code note drawn by project no.	12-03 10-03 10-03
proposed residence for: mark seiden 48 cristen court, oyster bay, ny 11662	germola & associates architects/planners 317 second street, hawthorne, new york 10531 tel. (914) 882-2002 fax (914) 882-2004	

drawing no.

A-101

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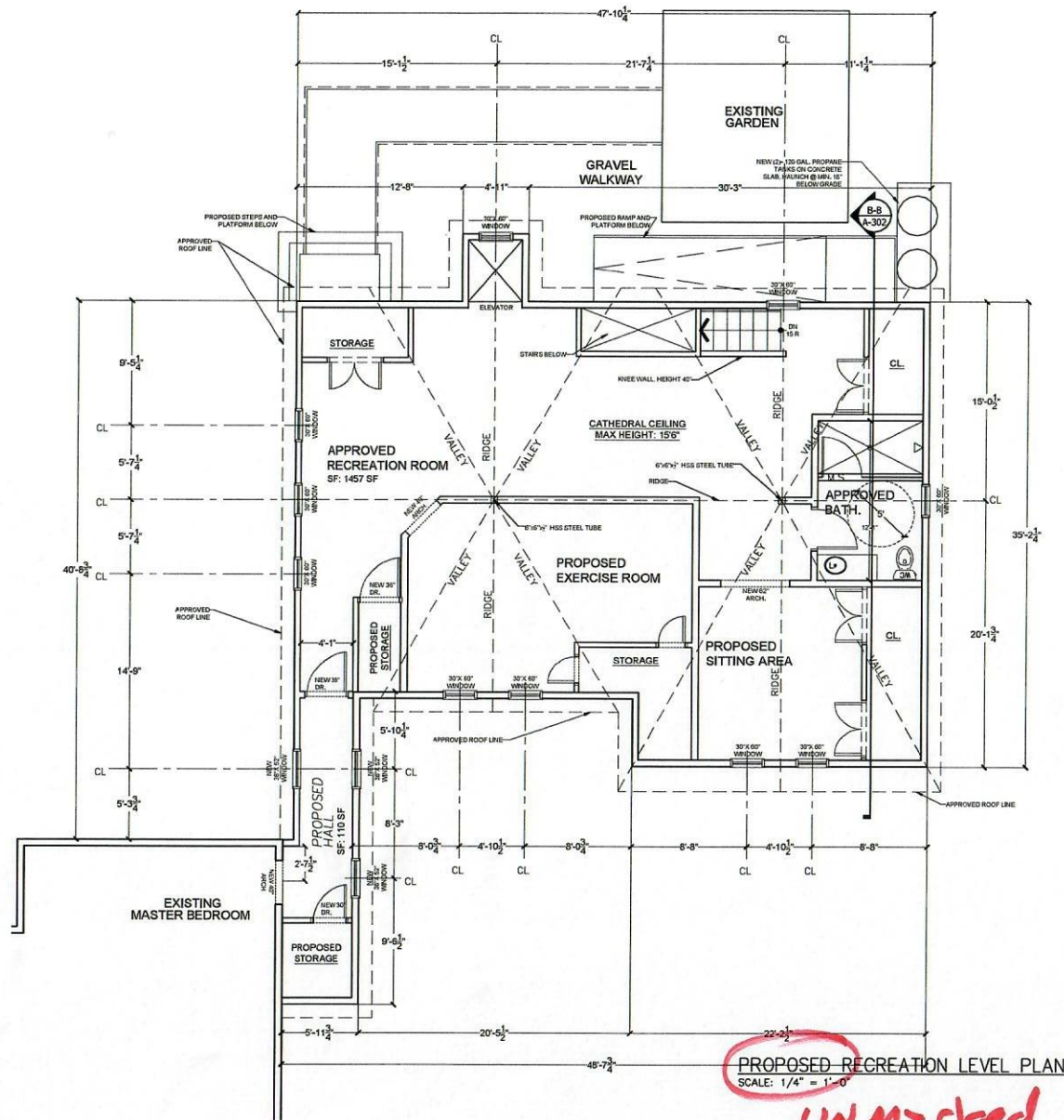
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10	NA	01-01-21	revisions as per client request
9	NA	06-01-21	revisions as per client request
8	NA	05/22/21	revisions as per client request
7	NA	01/11/21	revisions as per client request
6	NA	10/26/20	general revisions
5	NA	10/26/20	general revisions
4	NA	10/26/20	general revisions
3	NA	10/26/20	general revisions
2	NA	07/14/20	general revisions



<p>proposed garage plan</p> <p>proposed residence for: mark seiden 48 cedar den road, easton, ny 10822</p>	<p>gemmold & associates architects/planners 375 east 65th street, new york 10022 ny (212) 865-0022 fax (212) 865-0024</p>
<p>drawing title</p>	<p>date: 01-01-79</p> <p>scale: as noted</p> <p>drawn by: m/eng</p> <p>project no. 18-033</p>

A-101



SPECIAL NOTES

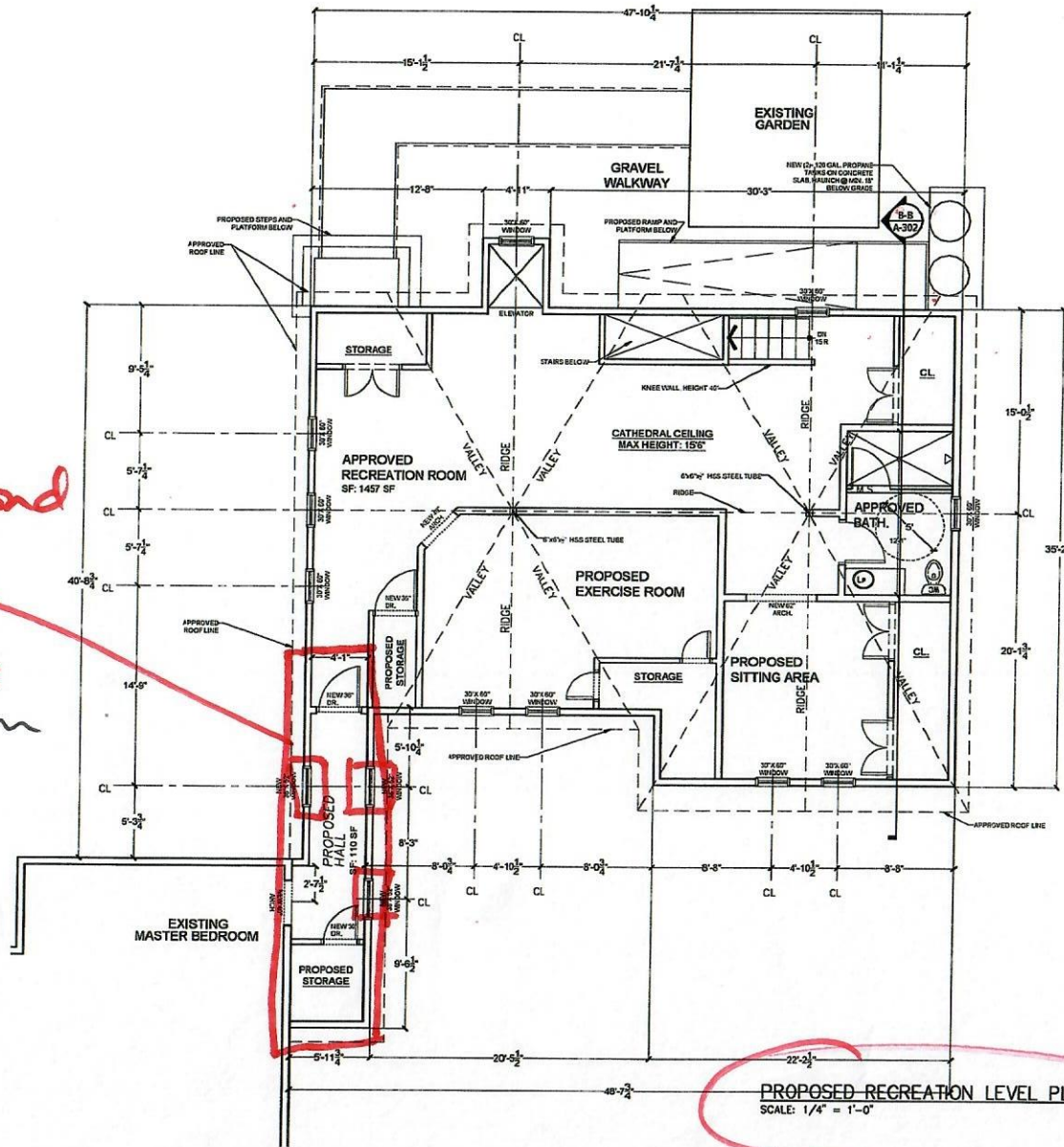
1. All work shall be in accordance with the latest edition of the Uniform Building Code, as amended by the applicable local ordinances, and the latest edition of the International Building Code, as amended by the applicable local ordinances.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The contractor shall be responsible for protecting all existing structures and utilities that may be affected by the proposed work.
4. The contractor shall be responsible for maintaining access to all adjacent properties and public areas throughout the construction process.
5. The contractor shall be responsible for the safe handling, storage, and disposal of all materials and waste.
6. The contractor shall be responsible for the safety of all workers and the public during the construction process.
7. The contractor shall be responsible for the completion of all work within the specified time frame.
8. The contractor shall be responsible for the maintenance of all records and documents related to the project.
9. The contractor shall be responsible for the payment of all bills and invoices related to the project.
10. The contractor shall be responsible for the coordination of all work with the other trades and subcontractors.
11. The contractor shall be responsible for the protection of all property and interests of the owner and the public.
12. The contractor shall be responsible for the completion of all work in accordance with the approved plans and specifications.
13. The contractor shall be responsible for the maintenance of all records and documents related to the project.
14. The contractor shall be responsible for the payment of all bills and invoices related to the project.
15. The contractor shall be responsible for the coordination of all work with the other trades and subcontractors.
16. The contractor shall be responsible for the protection of all property and interests of the owner and the public.
17. The contractor shall be responsible for the completion of all work in accordance with the approved plans and specifications.
18. The contractor shall be responsible for the maintenance of all records and documents related to the project.
19. The contractor shall be responsible for the payment of all bills and invoices related to the project.
20. The contractor shall be responsible for the coordination of all work with the other trades and subcontractors.

PROPOSED RECREATION ROOM PLAN

DATE: 07-20-21
 DRAWN BY: [Signature]
 PROJECT NO.: 11-003
 ARCHITECTS/PLANNERS: GEMINO & ASSOCIATES
 48 CROWN CEM ROAD, COASTAL CT 06032
 87 DEPOD AVENUE, HARTFORD, CT 06103 TEL: (860) 865-0002 FAX: (860) 865-0004

A-102

Proposed Second floor hallway
 ① Proposed 3 windows
 (recycled from current home and original garage)



PROPOSED RECREATION LEVEL PLAN
 SCALE: 1/4" = 1'-0"

SPECIAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK (IMPC).

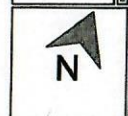
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/20/20	MM	MM
2	REVISIONS AS PER CLIENT REQUEST	09/01/20	MM	MM
3	GENERAL REVISION	09/01/20	MM	MM
4	GENERAL REVISION	09/01/20	MM	MM
5	GENERAL REVISION	09/01/20	MM	MM
6	GENERAL REVISION	09/01/20	MM	MM
7	GENERAL REVISION	09/01/20	MM	MM
8	GENERAL REVISION	09/01/20	MM	MM
9	GENERAL REVISION	09/01/20	MM	MM
10	GENERAL REVISION	09/01/20	MM	MM



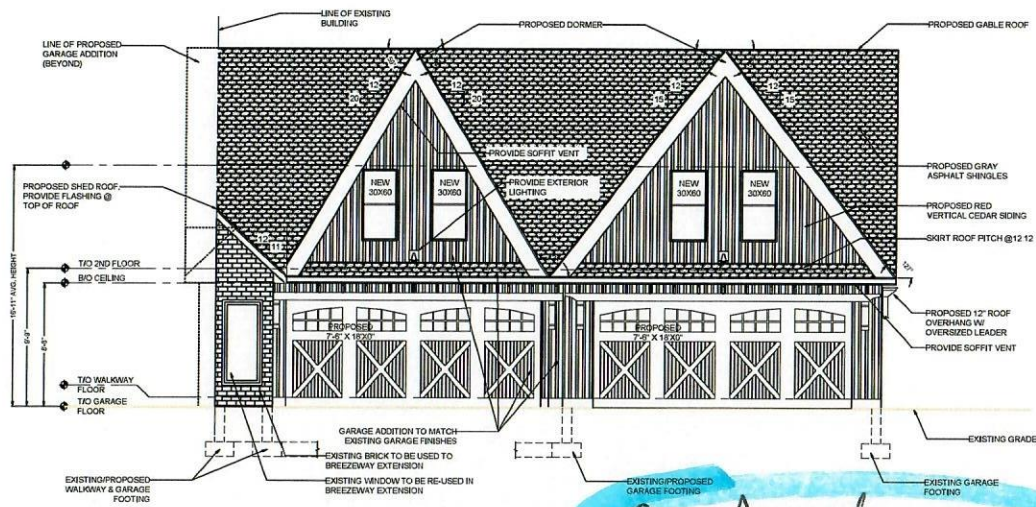
proposed recreation room plan

proposed residence for:
mark seiden

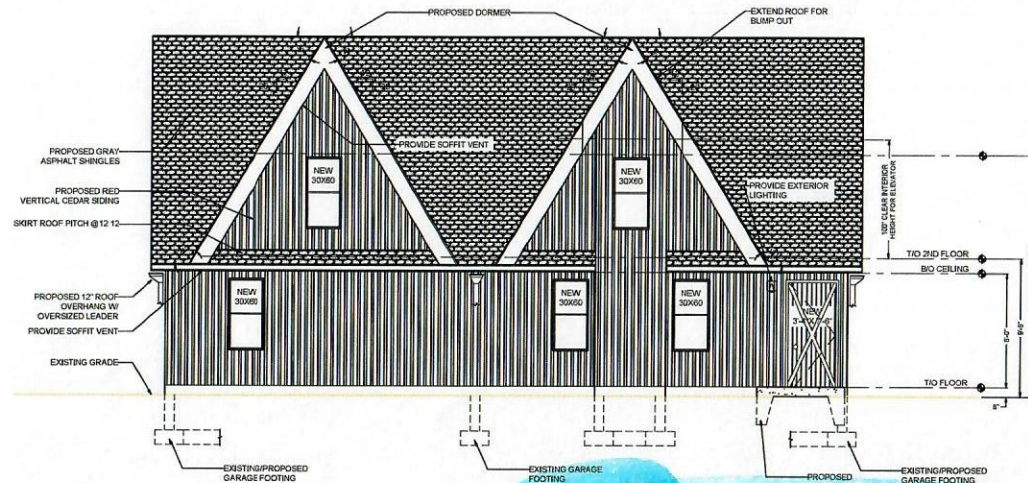
gemmola & associates architects/planners
 511 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202-1000
 TEL: 303.733.1000 FAX: 303.733.1001

DATE: 08-20-20
 DRAWN BY: MM
 CHECKED BY: MM
 SCALE: AS SHOWN
 SHEET NO: 10-001

A-102



Prior Approved FRONT ELEVATION
SCALE: 1/4" = 1'-0"



Prior Approved REAR ELEVATION
SCALE: 1/4" = 1'-0"

SPECIAL NOTES

- 1. All work shall be in accordance with the latest edition of the Uniform Building Code (UBC) and the International Residential Code (IRC).
- 2. The owner shall be responsible for obtaining all necessary permits from the local building department.
- 3. The architect is not responsible for construction means or methods, or for the construction of the foundation.
- 4. The architect is not responsible for the design of the foundation.
- 5. The architect is not responsible for the design of the foundation.
- 6. The architect is not responsible for the design of the foundation.
- 7. The architect is not responsible for the design of the foundation.
- 8. The architect is not responsible for the design of the foundation.
- 9. The architect is not responsible for the design of the foundation.
- 10. The architect is not responsible for the design of the foundation.

NO.	DATE	DESCRIPTION
1	10/1/00	PROPOSED ELEVATIONS
2	10/1/00	PROPOSED ELEVATIONS
3	10/1/00	PROPOSED ELEVATIONS
4	10/1/00	PROPOSED ELEVATIONS
5	10/1/00	PROPOSED ELEVATIONS
6	10/1/00	PROPOSED ELEVATIONS
7	10/1/00	PROPOSED ELEVATIONS
8	10/1/00	PROPOSED ELEVATIONS
9	10/1/00	PROPOSED ELEVATIONS
10	10/1/00	PROPOSED ELEVATIONS

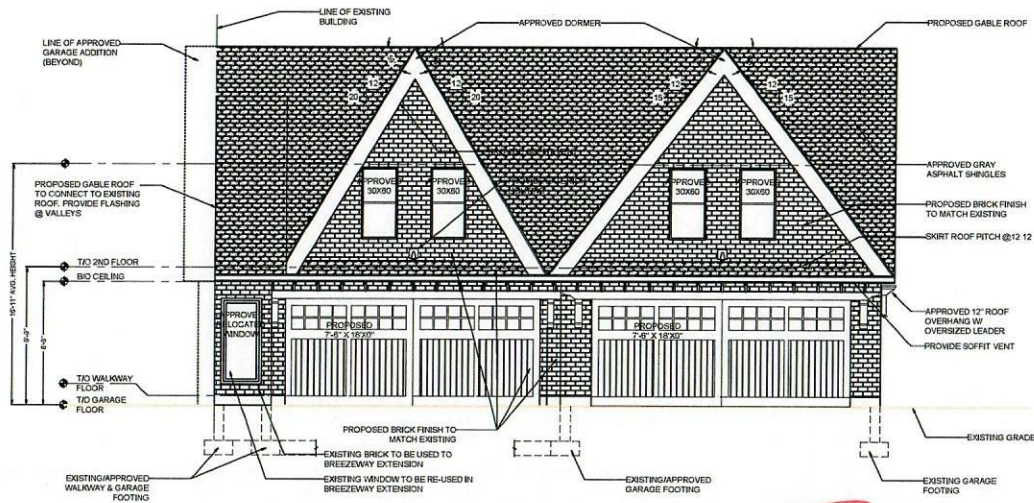


proposed elevations

proposed residence for:
mark seiden
48 cotton can road, columbia, nj 0802

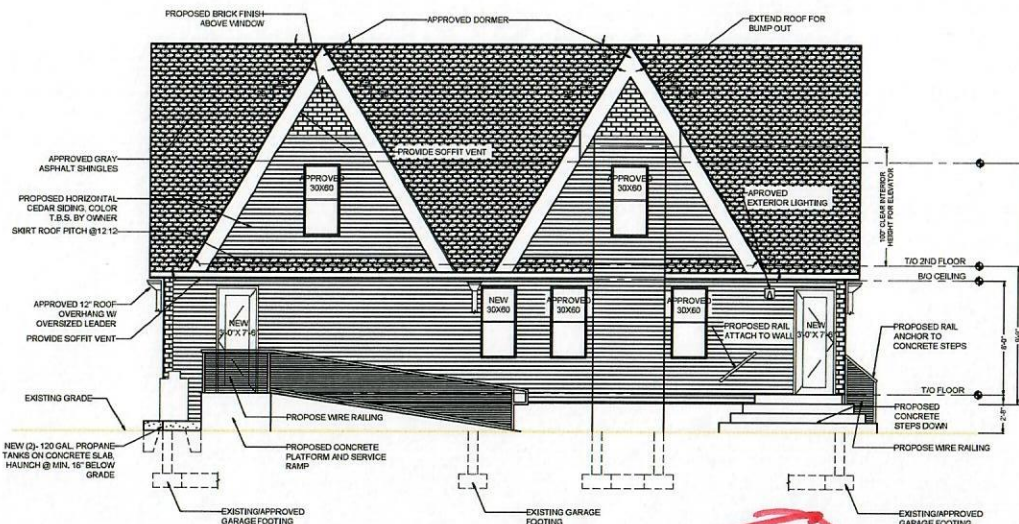
drawn by: **gemma**
project no.: **11-003**

gemma & associates architects/planners
317 broad street, hartford, ct 06102 tel: (860) 865-0002 fax: (860) 865-0004



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

unmarked



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

unmarked

SPECIAL NOTES

- 1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
- 2. The owner shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 3. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 4. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 5. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 6. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 7. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 8. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 9. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.
- 10. The contractor shall be responsible for obtaining all necessary permits and approvals from the local building department.

DATE	REVISION	DESCRIPTION
10/1/21	1	ISSUED FOR PERMITS
10/1/21	2	REVISION: ADD 12\"/>

DATE	REVISION	DESCRIPTION
10/1/21	1	ISSUED FOR PERMITS
10/1/21	2	REVISION: ADD 12\"/>

proposed elevations

proposed residence for:
mark seiden
48 cotton elm road, eastham, ma 01929

drawn by: **gemma & associates**
project no. **18-033**

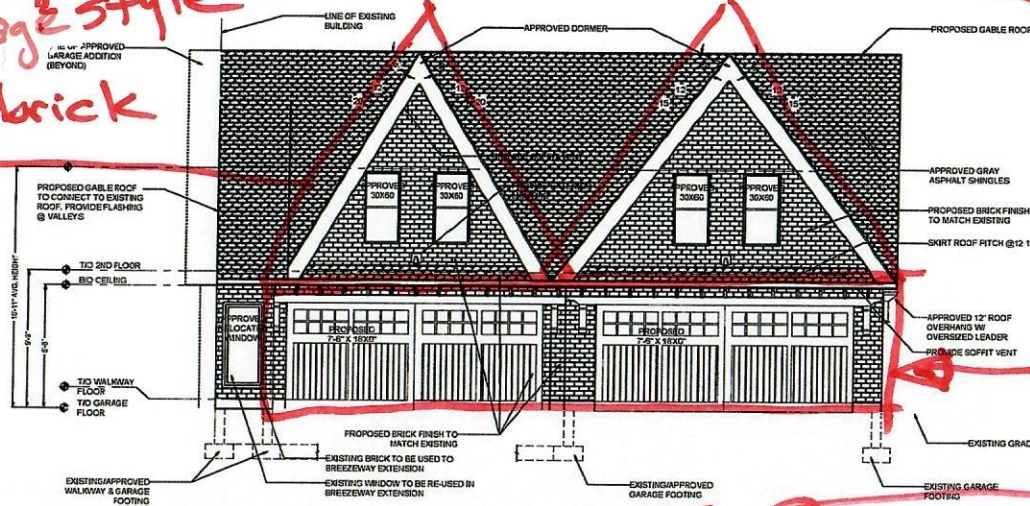
date: **10/1/21**
scale: **as noted**

gemma & associates architects/planners
37 wood street, eastham, ma 01929 tel: (508) 865-0022 fax: (508) 865-0024

A-201

Proposed
 ① Barn style garage doors to carriage style

② Facade to be brick to match brick of current structure

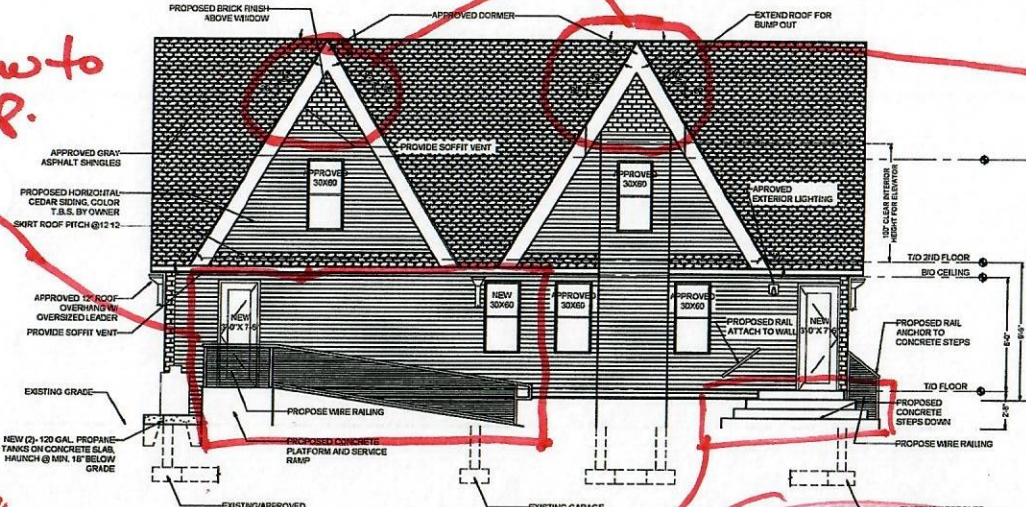


PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

Proposed
 ① changing window to door with ramp.

② Relocating window to be next to approved window

③ wider stairs



PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"

④ Brick over windows in gable - rest of rear facade - horizontal cedar siding

These drawings are prepared for the purpose of obtaining a building permit and are not to be used for any other purpose without the written consent of the architect. The architect assumes no responsibility for the accuracy of the information furnished by the owner or for the construction of the building. The architect's services are limited to the design of the building and the preparation of the drawings. The architect does not warrant the quality of the construction or the materials used. The architect's liability is limited to the amount of the fee. The architect's office is located at 1000 1st St. N. Minneapolis, MN 55401. Tel: 612-338-1000. Fax: 612-338-1001.

SPECIAL NOTES

1. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
2. All materials shall be of the highest quality and shall be installed in accordance with the manufacturer's instructions.
3. All work shall be completed within the specified time frame.
4. The architect shall be responsible for obtaining all necessary permits.
5. The owner shall be responsible for paying all costs associated with the construction.
6. The architect shall be responsible for providing all necessary drawings and specifications.
7. The architect shall be responsible for coordinating with all subcontractors.
8. The architect shall be responsible for ensuring that all work is completed to the satisfaction of the owner.
9. The architect shall be responsible for providing all necessary documentation for the building permit.
10. The architect shall be responsible for providing all necessary information for the building department.

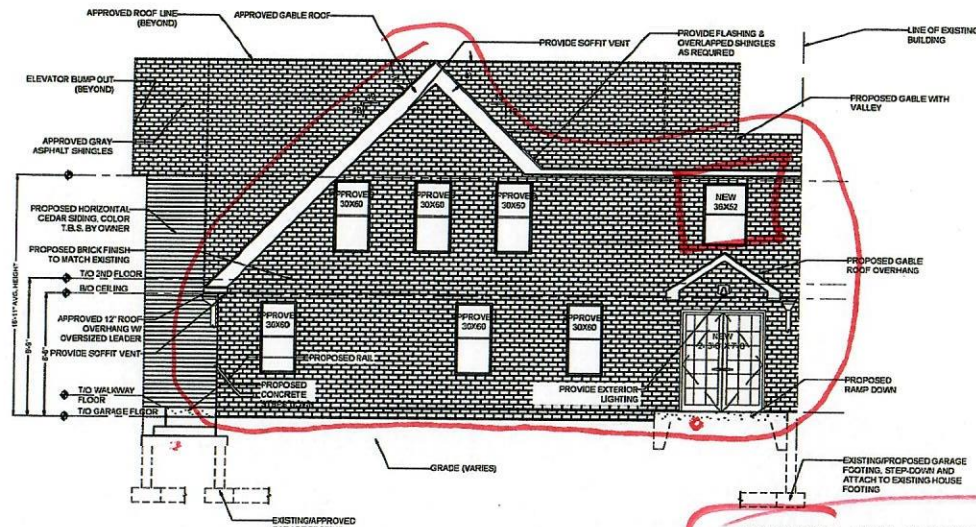
PROPOSED ELEVATIONS

NO.	DATE	DESCRIPTION	BY	CHECKED
1	01-15-21	PROPOSED REAR ELEVATION	mark seiden	mark seiden
2	01-15-21	PROPOSED FRONT ELEVATION	mark seiden	mark seiden
3	01-15-21	PROPOSED SIDE ELEVATION	mark seiden	mark seiden
4	01-15-21	PROPOSED GROUND FLOOR PLAN	mark seiden	mark seiden
5	01-15-21	PROPOSED SECOND FLOOR PLAN	mark seiden	mark seiden
6	01-15-21	PROPOSED SECTION	mark seiden	mark seiden
7	01-15-21	PROPOSED DETAIL	mark seiden	mark seiden
8	01-15-21	PROPOSED ELEVATION	mark seiden	mark seiden
9	01-15-21	PROPOSED ELEVATION	mark seiden	mark seiden
10	01-15-21	PROPOSED ELEVATION	mark seiden	mark seiden

proposed residence for:
 mark seiden
 48 cedar ave road, waltham, ny 10592
 gemmola & associates architects/planners
 117 Reed Street, Waltham, NY 10592 Tel: 518-864-0002 Fax: 518-864-0004

A-201

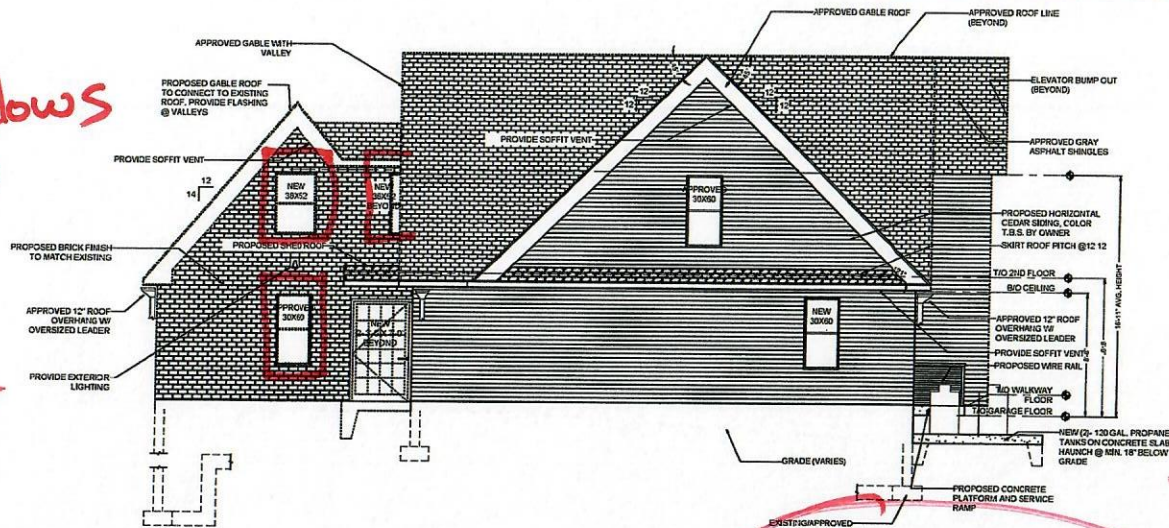
- Proposed
- 1.) Add window
 - 2.) Brick facade to match brick of current structure



PROPOSED LEFT ELEVATION (PATIO SIDE)

SCALE: 1/4" = 1'-0"

- Proposed
- 1.) Add 3 windows
 - 2.) Brick facade of extended original part of house to match current structure



PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

SPECIAL NOTES

1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC) as adopted by the State of Maryland.
2. The contractor shall be responsible for obtaining all necessary permits from the appropriate local authorities.
3. The contractor shall be responsible for ensuring that all work is completed in accordance with the approved plans and specifications.
4. The contractor shall be responsible for ensuring that all materials and workmanship are of high quality and meet the requirements of the applicable codes.
5. The contractor shall be responsible for ensuring that all work is completed in a timely and efficient manner.
6. The contractor shall be responsible for ensuring that all work is completed in a safe and sound manner.
7. The contractor shall be responsible for ensuring that all work is completed in a professional and courteous manner.
8. The contractor shall be responsible for ensuring that all work is completed in a manner that is consistent with the overall appearance and character of the property.
9. The contractor shall be responsible for ensuring that all work is completed in a manner that is consistent with the historic character of the property.
10. The contractor shall be responsible for ensuring that all work is completed in a manner that is consistent with the local historic preservation laws and regulations.

NO.	DATE	DESCRIPTION
1	10/1/20	Initial set of plans
2	10/15/20	Revised set of plans
3	10/20/20	Final set of plans
4	10/25/20	Revised set of plans
5	10/30/20	Final set of plans
6	11/5/20	Revised set of plans
7	11/10/20	Final set of plans
8	11/15/20	Revised set of plans
9	11/20/20	Final set of plans
10	11/25/20	Revised set of plans
11	12/1/20	Final set of plans

PROPOSED ELEVATIONS

PROPOSED RESIDENCE FOR:
MARK SEIDEN

DESIGNED BY:
GERMOLO & ASSOCIATES

ARCHITECTS/PLANNERS
37 ALBANY AVENUE, BOSTON, MA 02118
TEL: 617-552-1000 FAX: 617-552-1001

DATE: 10/1/20
SCALE: 1/4" = 1'-0"
PROJECT NO.: 18-003

DATE: 10/1/20
SCALE: 1/4" = 1'-0"
PROJECT NO.: 18-003

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DATE: 10/1/20
SCALE: 1/4" = 1'-0"
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DATE: 10/1/20
SCALE: 1/4" = 1'-0"
PROJECT NO.: 18-003