

37 - 41 CROTON DAM ROAD

TOWN OF OSSINING, NEW YORK

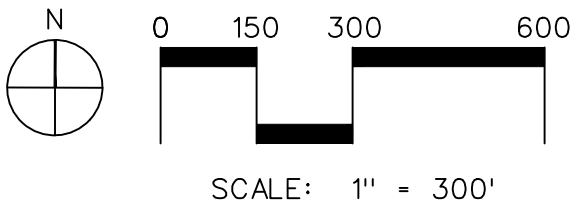
APPLICATION FOR SUBDIVISION APPROVAL

MAY 29, 2018

LOCATION MAP



BASE MAP SOURCE: WESTCHESTER GIS



ZONING COMPLIANCE TABLE

R-15 DISTRICT	REQUIRED/ PERMITTED	EXISTING		PROPOSED			
		37 Croton Dam Rd - Section 89.08 - Block 1 - Lot B2	41 Croton Dam Rd - Section 89.08 - Block 1 - Lot B1	Lot 1	Lot 2	Lot 3	Lot 4
CHAPTER 200 - ZONING							
Attachment 2 - Bulk Regulations							
Lot Area (sf)	15,000	140,611	79,279	91,070	34,189	60,509	36,819
Lot Width (feet)	90	335	187	91	206	96	130
Lot Depth (feet)	120	415	450	264	148	168	284
Required Yards							
Front (feet)	30	57	N/A	42	57	57	127
1 Side (feet)	14	97	N/A	58	56	26	27
Both Sides (feet)	30	257	N/A	217	134	138	75
Rear (feet)	32	134	N/A	122	45	32	79
Max Building Height							
Stories	2.5	2	N/A	1	2	<2.5	<2.5
Feet	35	No Change	N/A	No Change	No Change	<35	<35
Max Building Coverage (percent)	25	4.7	N/A	6%	8%	5%	8%
CHAPTER 175 - SUBDIVISION REGULATIONS							
Section 175-189(1) - Lots							
Area Exclusive of Extremely Steep Slopes ² (sf)							
Required	75% of lot area	105,458	59,459	68,303	25,642	45,382	27,514
Provided		123,111	65,779	82,570	25,939	48,009	27,519

¹Per subdivision code section 175-189(1), "... at least 75% of the minimum lot area requirement of a proposed lot shall consist of neither "wetland" nor "extremely steep slope". "

²Per Chapter 167 of the Steep Slope Protection code, an extremely steep slope is defined as a slope with a topographical gradient equal to or greater than 35%.

LIST OF DRAWINGS

COVER SHEET

SP-0.0	PRELIMINARY SUBDIVISION PLAN	1" = 30'
SP-1.0	SITE LAYOUT PLAN	1" = 30'
SP-2.0	SITE ENGINEERING PLAN	1" = 30'
SP-3.1	LANDSCAPE PLAN	1" = 30'
SP-4.1 - 4.2	SITE DETAILS	AS NOTED
SP-5.0	TREE REMOVAL PLAN	1" = 30'
SP-5.1	EROSION AND SEDIMENT CONTROL PLAN & DETAILS	1" = 30'
SP-6.0	STEEP SLOPES	1" = 40'
SP-7.0	ROAD PROFILES	AS NOTED
	SURVEY	1" = 30'

SCALE

OWNER/APPLICANT:

PAUL SCHEMMER, VALERIE SCHEMMER
 37 Croton Dam Road
 Ossining, NY 10562

VAL SANTUCCI, MICHELLA SANTUCCI

37 Croton Dam Road
 Ossining, NY 10562

PLANNER, CIVIL ENGINEER,
 LANDSCAPE ARCHITECT:

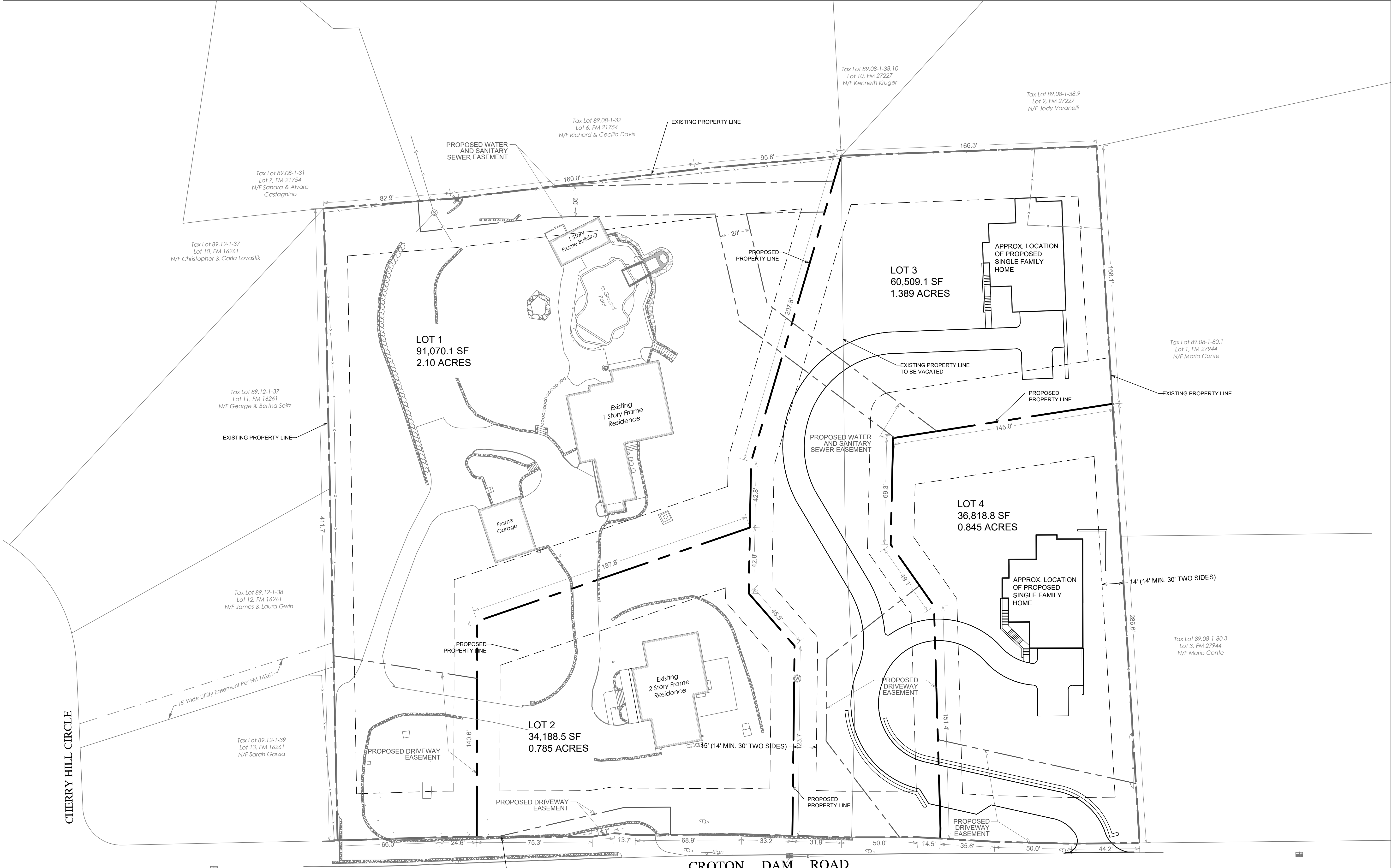
DIVNEY • TUNG • SCHWALBE
 Intelligent Land Use

Divney Tung Schwabe, LLP
 One North Broadway
 White Plains, NY 10601

P: 914.428.0010
 F: 914.428.0017

SURVEYOR:

THOMAS C. MERRITTS
 Land Surveyors, P.C.
 394 Bedford Road
 Pleasantville, NY 10507



37-41 CROTON DAM
ROAD - SUBDIVISION
TOWN OF OSSINING, New York

OWNER / APPLICANT
PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE
ARCHITECT
DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

SURVEYOR
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-8003

SCALE: 1" = 30'

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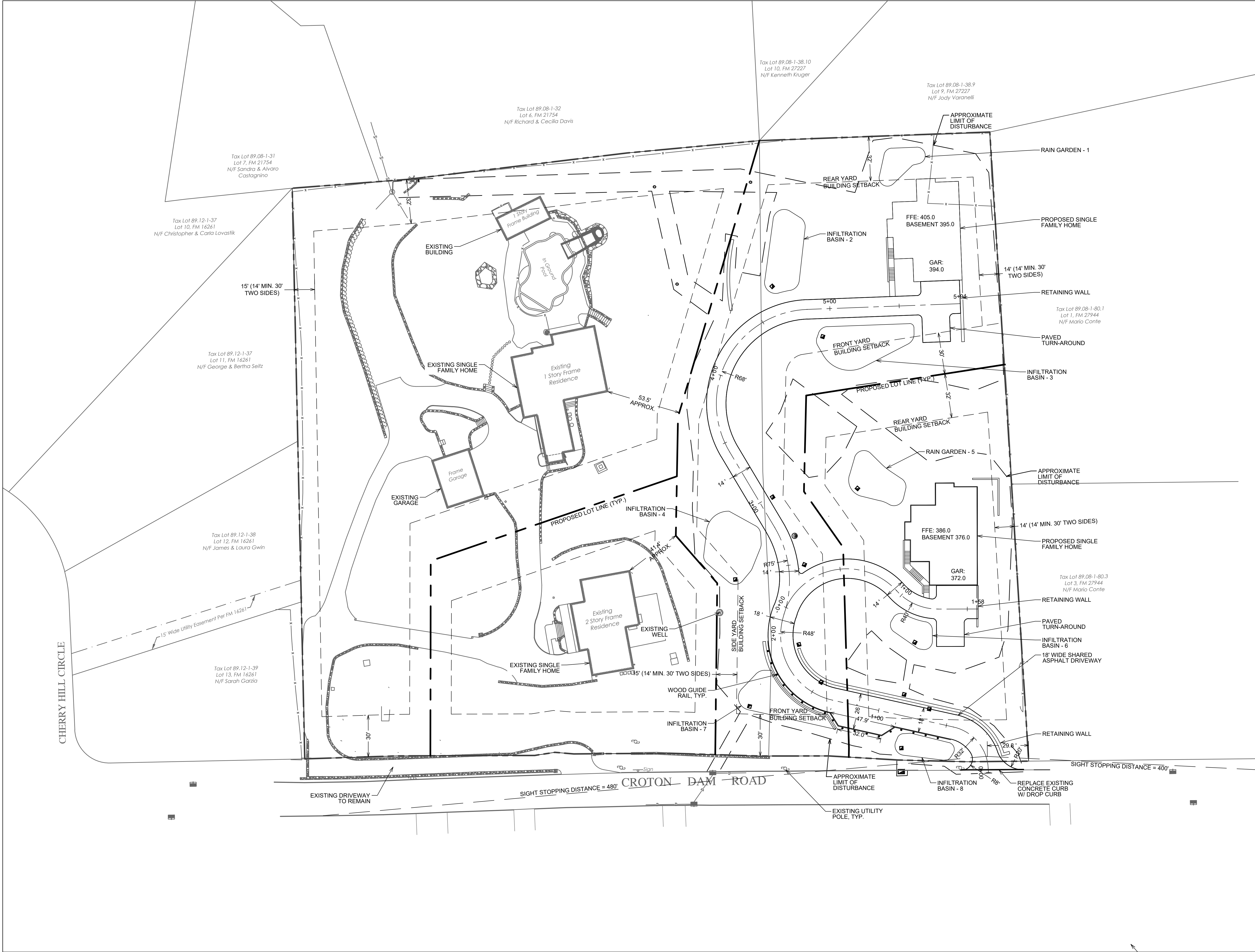
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DRAWING TITLE:

**PRELIMINARY SUBDIVISION
PLAN**

DRAWN BY: MJS	CHECKED BY: GMS
PROJECT NO. 818	DATE: 5/29/18
DRAWING NO.	

SP-0.0



37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

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NO.	DATE	ISSUE

DRAWING TITLE:

SITE LAYOUT PLAN

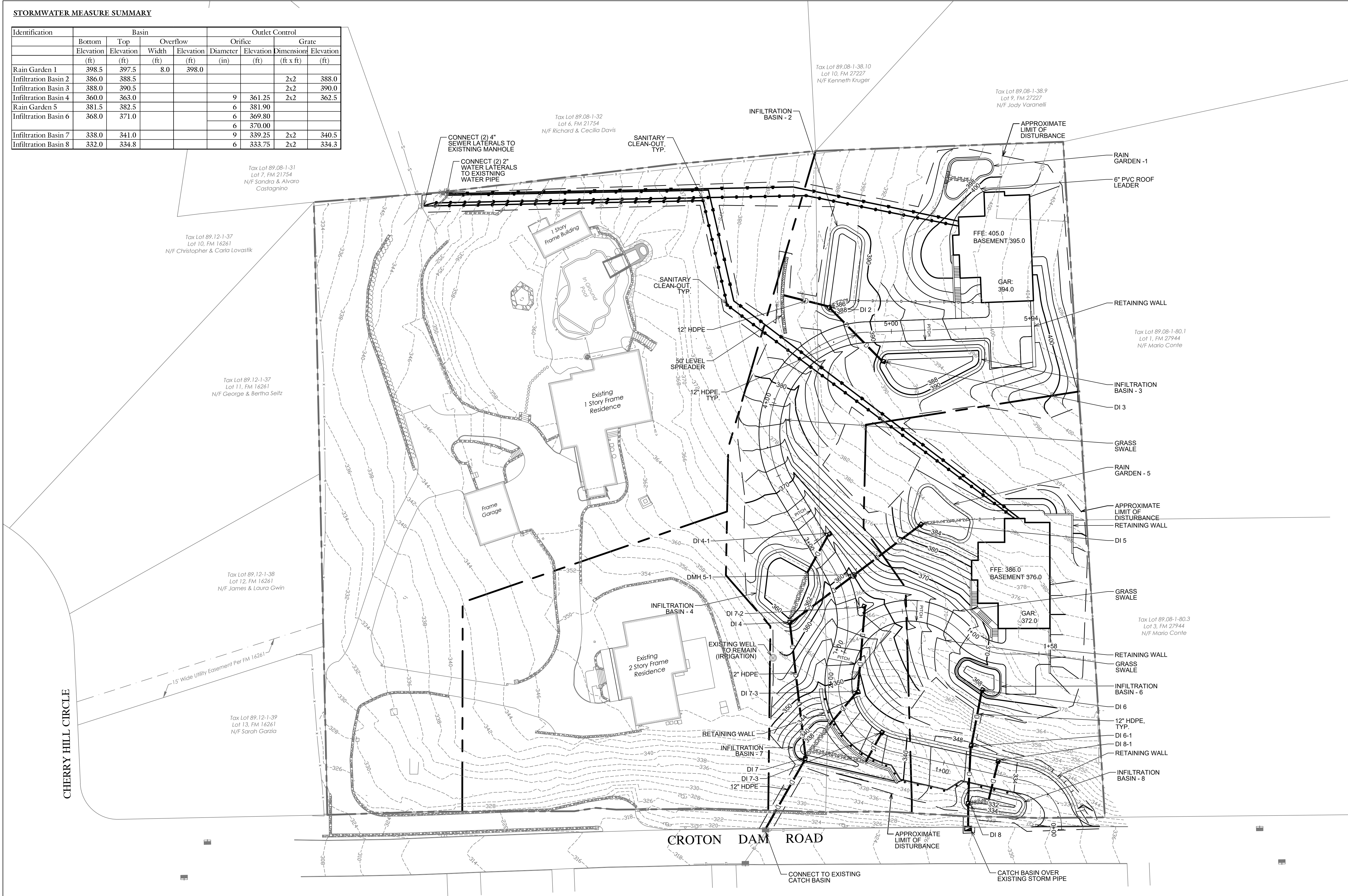
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PROJECT NO: 818
DRAWING NO:

CHECKED BY: GMS
DATE: 5/29/18

SP-1.0

STORMWATER MEASURE SUMMARY

Identification	Basin				Outlet Control			
	Bottom Elevation (ft)	Top Elevation (ft)	Overflow Width (ft)	Overflow Elevation (ft)	Orifice Diameter (in)	Orifice Elevation (ft)	Grate Dimension (ft x ft)	Grate Elevation (ft)
Rain Garden 1	398.5	397.5	8.0	398.0				
Infiltration Basin 2	386.0	388.5					2x2	388.0
Infiltration Basin 3	388.0	390.5					2x2	390.0
Infiltration Basin 4	360.0	363.0			9	361.25	2x2	362.5
Rain Garden 5	381.5	382.5			6	381.90		
Infiltration Basin 6	368.0	371.0			6	369.80		
					6	370.00		
Infiltration Basin 7	338.0	341.0			9	339.25	2x2	340.5
Infiltration Basin 8	332.0	334.8			6	333.75	2x2	334.3



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 OSSINING, NEW YORK

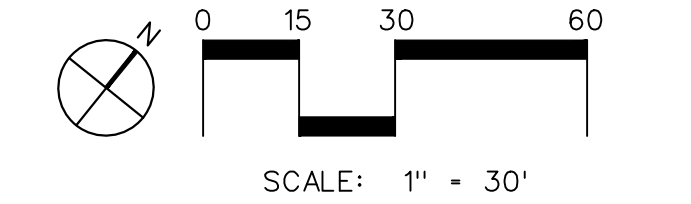
PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

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 Intelligent Land Use

Divney Tung Schwalbe, LLP
 One North Broadway
 White Plains, NY 10601
 P: 914.428.0010
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SURVEYOR

TC MERRITTS LAND SURVEYORS
 394 BEDFORD ROAD
 PLEASANTVILLE, NY 10570
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 SITE ENGINEERING PLAN

DRAWN BY:
 MJS

PROJECT NO:
 818

DRAWING NO.:

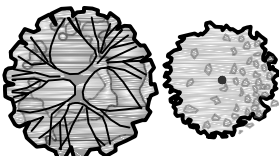


CHECKED BY:
 GMS

DATE:
 5/29/18

SP-2.0



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME
	30	ACER SACCHARUM / SUGAR MAPLE BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH CELTIS OCCIDENTALIS / COMMON HACKBERRY GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEET GUM ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME
	56	PICEA GLAUCA / WHITE SPRUCE PICEA OMORIKA / SERBIAN SPRUCE PICEA PUNGENS / COLORADO SPRUCE
FLOWERING TREES	QTY	BOTANICAL NAME / COMMON NAME
	47	AMELANCHIER 'AUTUMN BRILLIANCE' MS / 'AUTUMN BRILLIANCE' SERVICEBERRY MS CERCIS CANADENSIS MS / EASTERN REDBUD MS MALUS X 'ADIRONDACK' / ADIRONDACK CRABAPPLE

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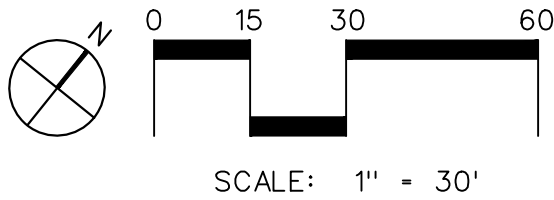
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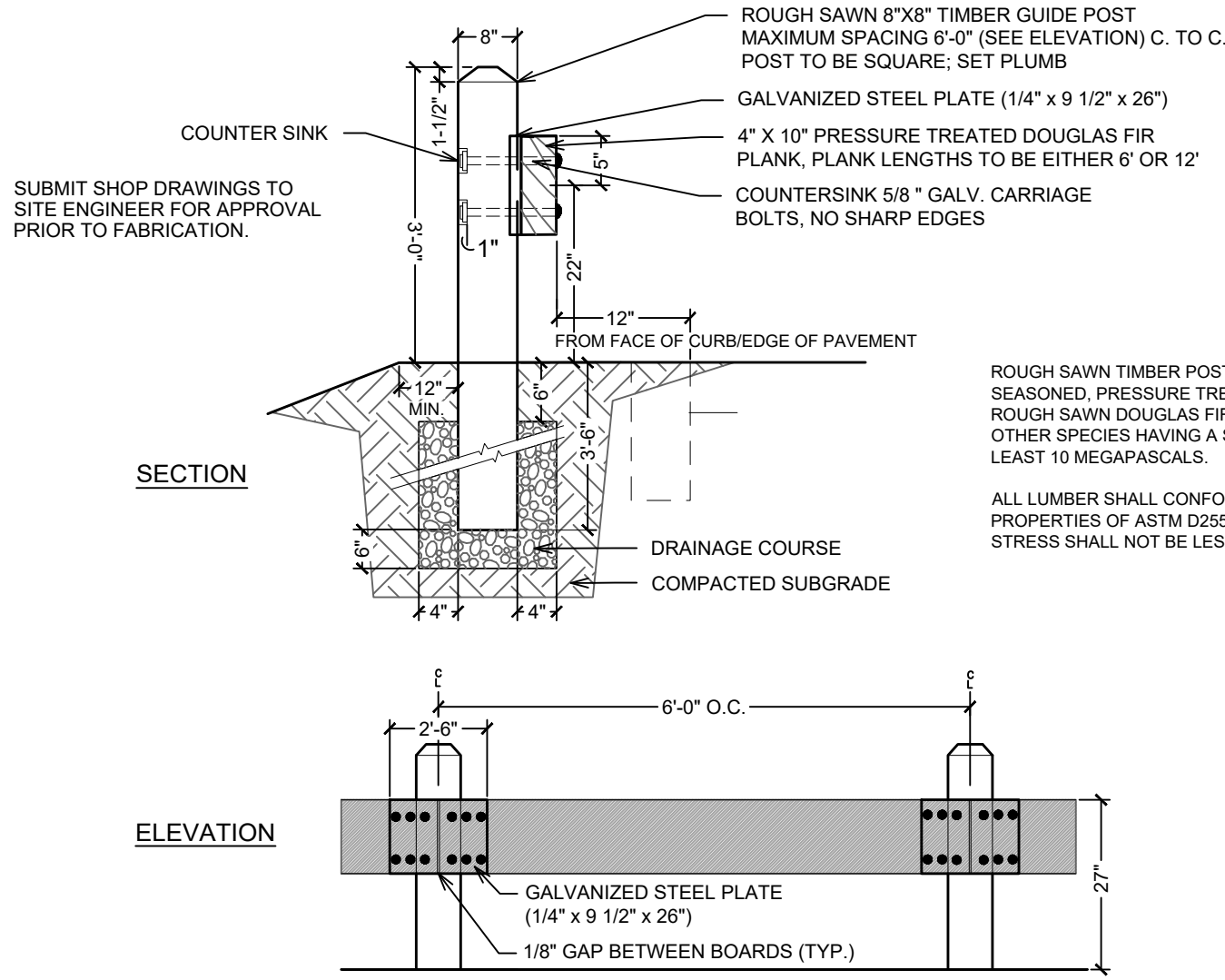
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LANDSCAPE PLAN



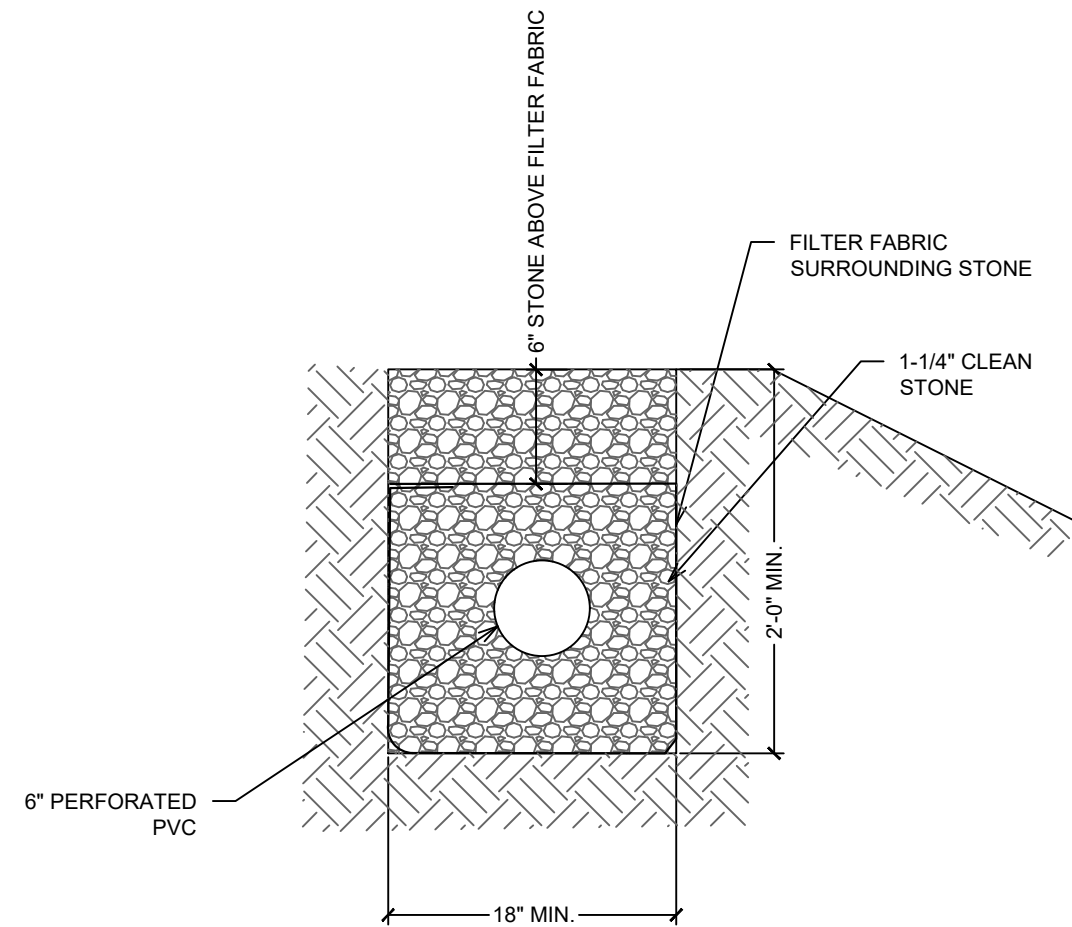
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SP-3.1



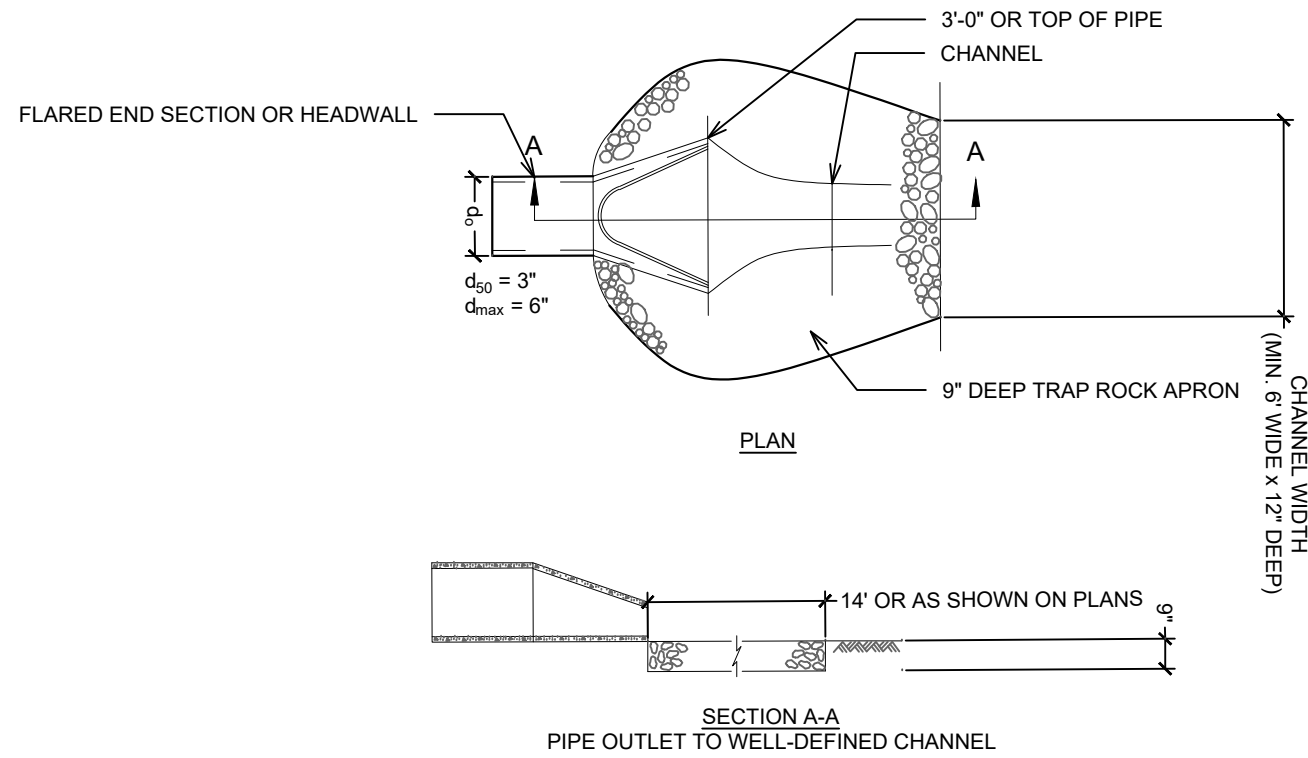
WOOD GUIDE RAIL
SCALE: N.T.S.

1



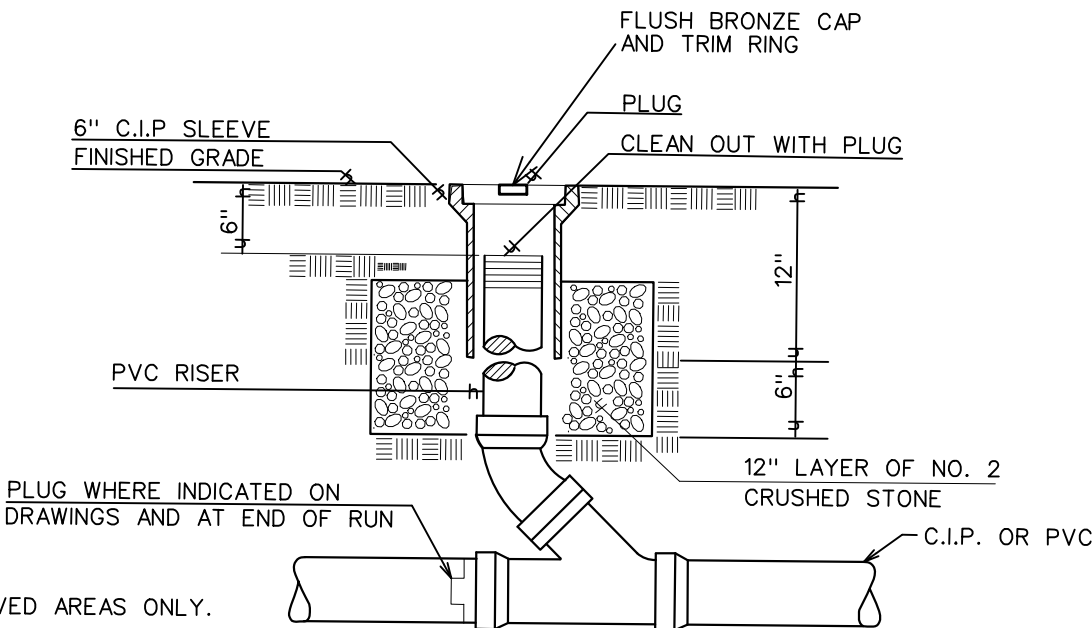
LEVEL SPREADER
SCALE: N.T.S.

2



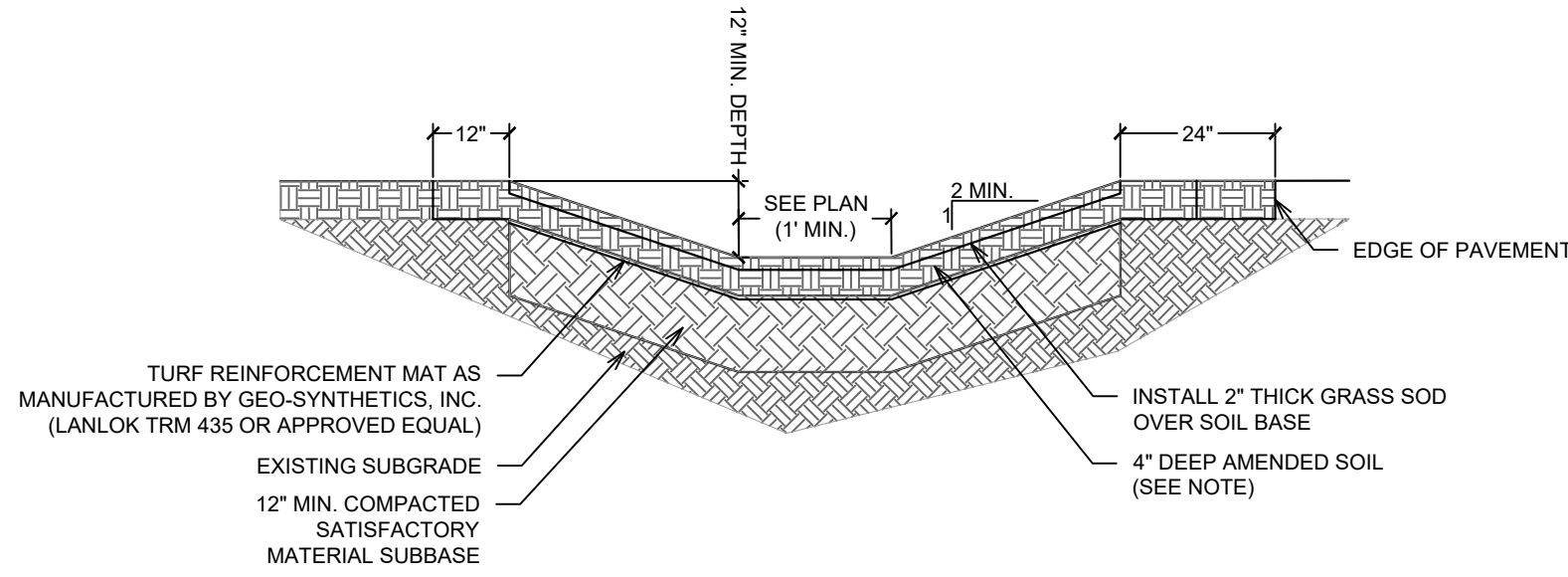
END SECTION ENERGY DISSIPATOR
SCALE: N.T.S.

3



SEWER CLEAN-OUT
SCALE: N.T.S.

4



(MAXIMUM SLOPE SHALL NOT EXCEED 5%)

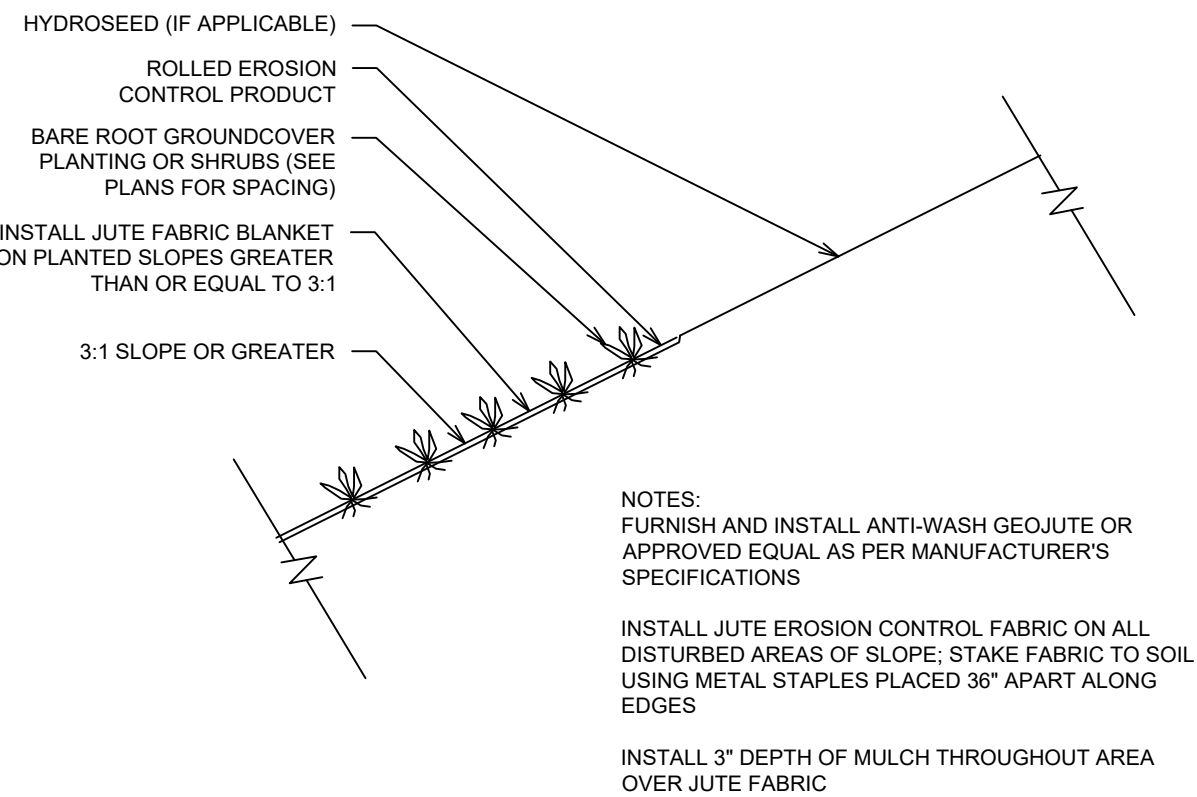
NOTE:
AMENDED SOIL COMPOSITION (CLEAN AND WEED SEED FREE):
50% SAND
20-30% TOPSOIL WITH <5% CLAY CONTENT
20-30% LEAF COMPOST

GRASS SWALE
SCALE: N.T.S.

5

DETAIL
SCALE: N.T.S.

6



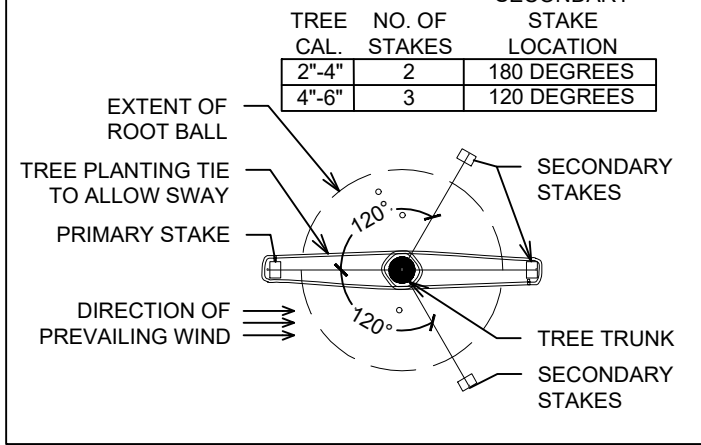
SLOPE STABILIZATION
SCALE: N.T.S.

7

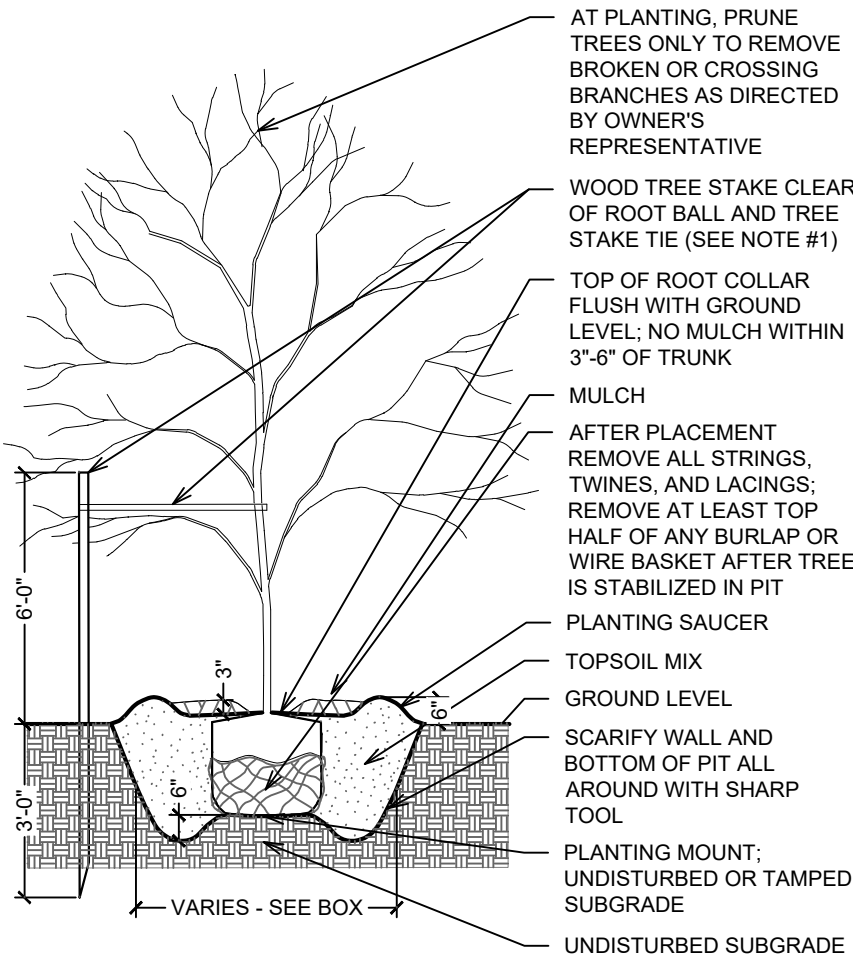
TREE PIT DIAMETER		
BALL DIA.	MIN. PIT WIDTH	
UP TO 48"	BALL DIA. +2"	
48" UP	1 3/4 x BALL DIA.	

PIT DIAMETER IN COMPACTED SOIL		
BALL DIA.	MIN. PIT WIDTH	
UP TO 48"	BALL DIA. +5"	
48" UP	2 x BALL DIA.	

STAKING DIAGRAM



- NOTE:
- STAKE ONLY WHERE TREES ARE EXPOSED TO STRONG WINDS. PLANTED SLOPE IS GREATER THAN OR EQUAL TO 3:1 OR AS DIRECTED BY OWNER'S REPRESENTATIVE. SEE STAKING DIAGRAM.
 - SCARIFY ROOT BALL OF CONTAINER STOCK ALL AROUND W/SHARP TOOL.



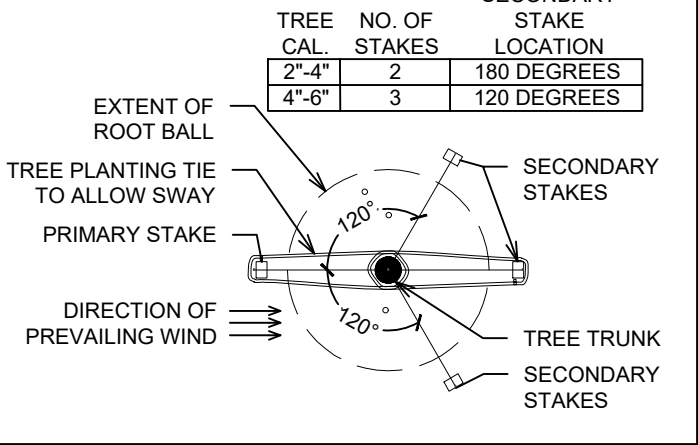
DECIDUOUS TREE AND SHRUB PLANTING
SCALE: N.T.S.

8

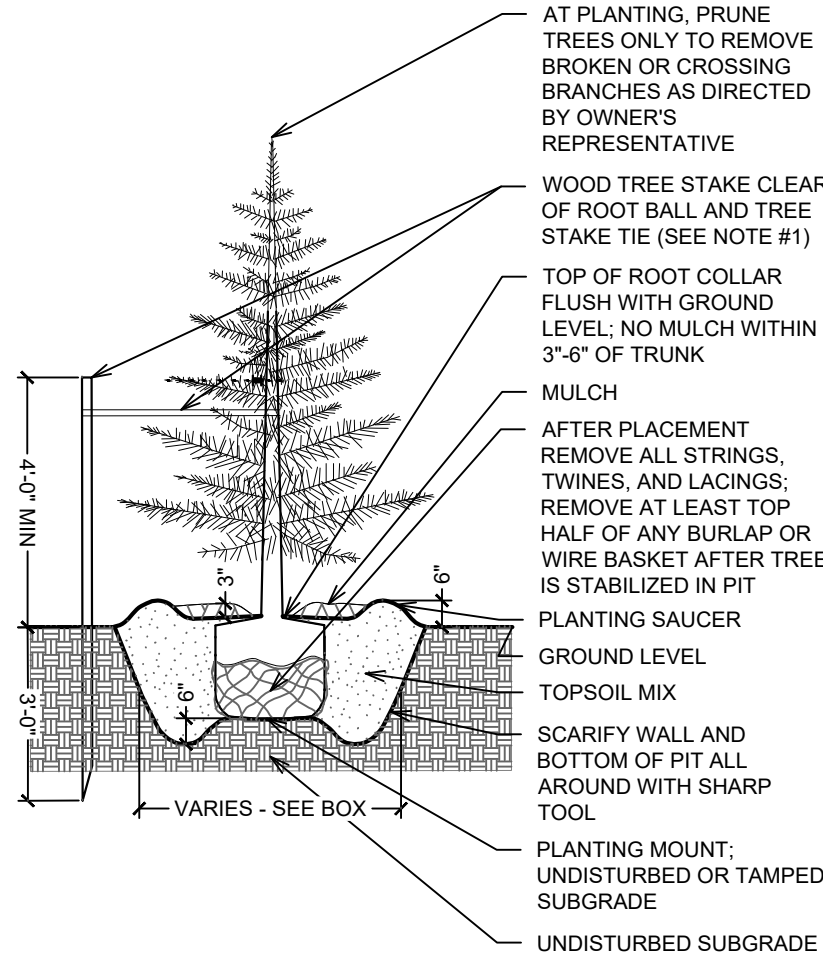
TREE PIT DIAMETER		
BALL DIA.	MIN. PIT WIDTH	
UP TO 48"	BALL DIA. +2"	
48" UP	1 3/4 x BALL DIA.	

PIT DIAMETER IN COMPACTED SOIL		
BALL DIA.	MIN. PIT WIDTH	
UP TO 48"	BALL DIA. +5"	
48" UP	2 x BALL DIA.	

STAKING DIAGRAM



- NOTE:
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 - SCARIFY ROOT BALL OF CONTAINER STOCK ALL AROUND W/ SHARP TOOL.



TYPICAL CONIFEROUS TREE PLANTING
NOT TO SCALE

EVERGREEN TREE PLANTING
SCALE: N.T.S.

9

37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
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SITE DETAILS

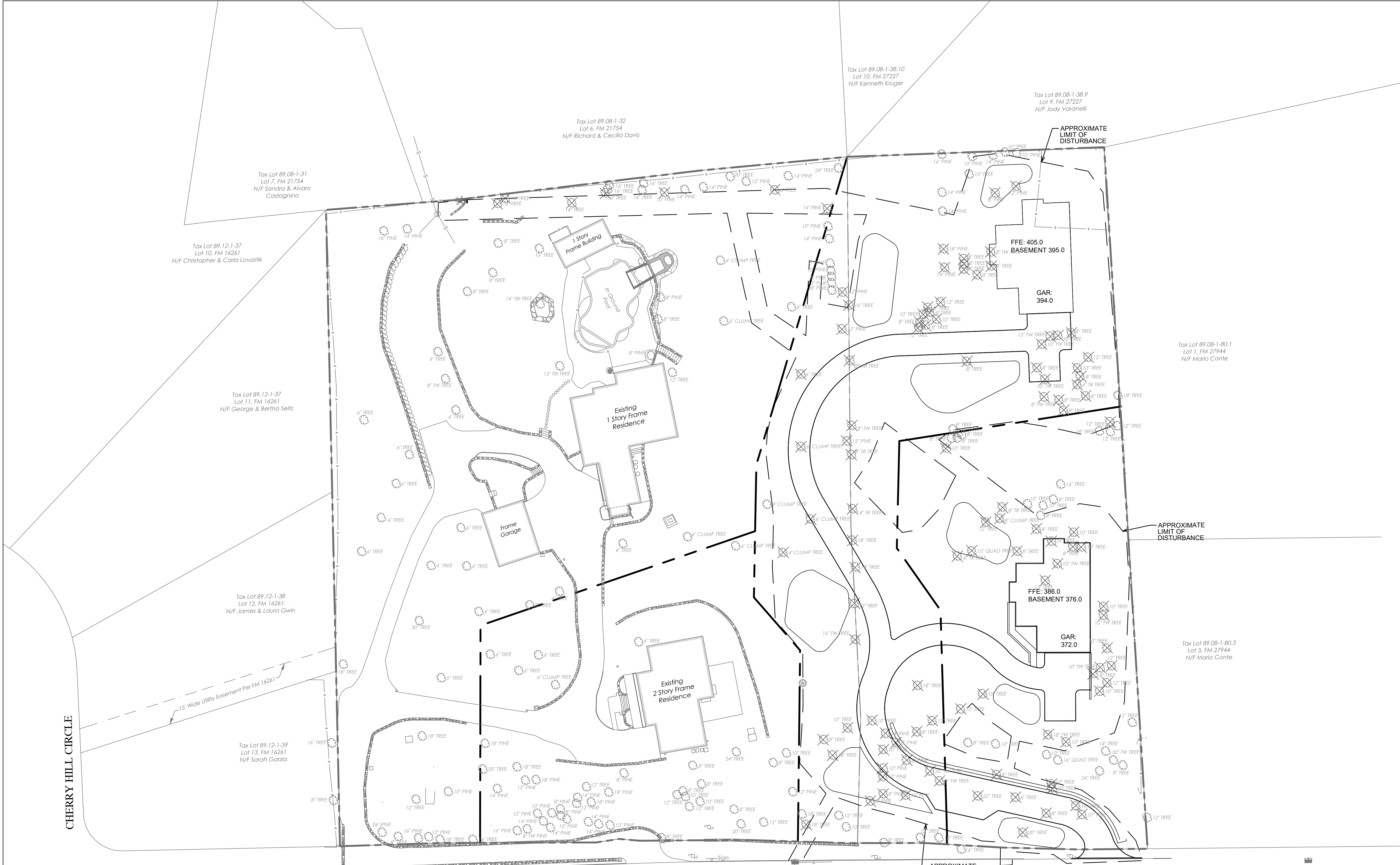


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DRAWING NO.

SP-4.2



CHERRY HILL CIRCLE

CROTON DAM ROAD

APPROXIMATE
LIMIT OF
DISTURBANCE

APPROXIMATE
LIMIT OF
DISTURBANCE

APPROXIMATE
LIMIT OF
DISTURBANCE

Tax Lot 89.08-1-31
Lot 7, FM 21754
N/F Sandra & Alvaro
Castagnino

Tax Lot 89.12-1-37
Lot 10, FM 16261
N/F Christopher & Carla Lovastik

Tax Lot 89.12-1-37
Lot 11, FM 16261
N/F George & Bertha Seitz

Tax Lot 89.12-1-38
Lot 12, FM 16261
N/F James & Laura Gwin

Tax Lot 89.12-1-39
Lot 13, FM 16261
N/F Sarah Garza

Tax Lot 89.08-1-32
Lot 6, FM 21754
N/F Richard & Cecilia Davis

Tax Lot 89.08-1-38.10
Lot 10, FM 27227
N/F Kenneth Kruger



Tax Lot 89.08-1-38.9
Lot 9, FM 27227
N/F Jody Varanelli

Tax Lot 89.08-1-80.1
Lot 1, FM 27944
N/F Mario Conte

Tax Lot 89.08-1-80.3
Lot 3, FM 27944
N/F Mario Conte




FFE: 405.0
BASEMENT 395.0
GAR:
394.0

FFE: 386.0
BASEMENT 376.0
GAR:
372.0

CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%		67,500
VERY STEEP SLOPE	25.00%	35.00%		21,500
EXTREMELY STEEP SLOPE	35.00%	-		31,000

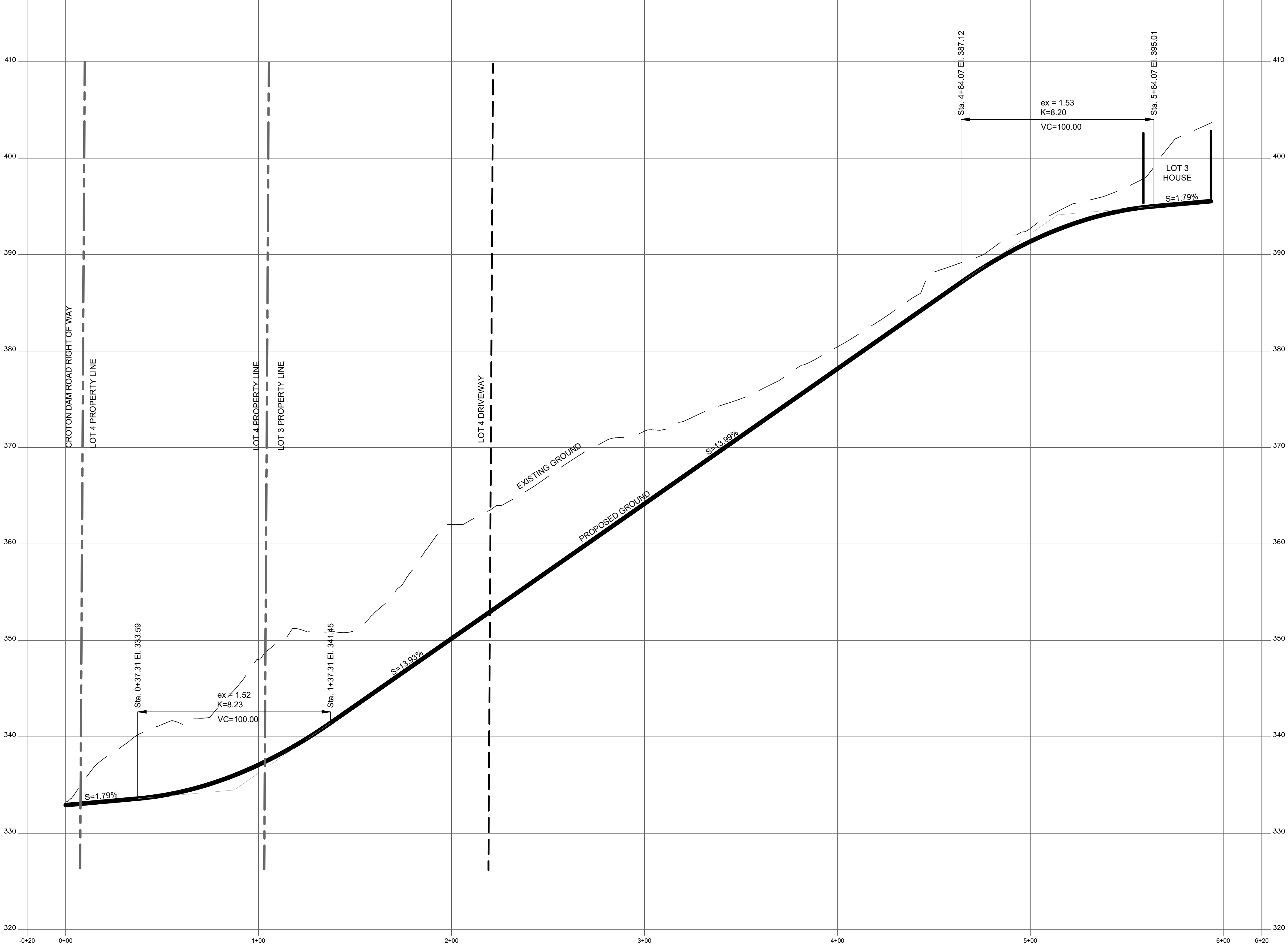
This is a detailed topographic map of a property, likely for a subdivision or development project. The map features several key elements:

- Labels:**
 - 1 Story Frame Building:** Located in the upper left quadrant.
 - Existing 1 Story Frame Residence:** Located in the center-left area.
 - Frame Garage:** Located below the existing residence.
 - Existing 2 Story Frame Residence:** Located in the lower center area.
- Topography:** The map is covered with contour lines indicating elevation. Shaded relief is used to show the terrain's slope and depressions.
- Infrastructure:**
 - CROTON DAM ROAD:** Labeled at the bottom of the map.
 - Proposed Roads:** Several new road layouts are shown with dashed lines and centerlines, including a winding road on the right side.
 - Utility Lines:** Various lines representing utilities (water, sewer, gas) are shown across the property.
- Elevation Points:** Numerous numerical values are scattered throughout the map, representing specific spot elevations (e.g., 348, 346, 344, 342, 340, 338, 336, 334, 332, 330, 328, 326, 324, 322, 320, 318, 316, 314, 312, 310, 308, 306, 304, 302, 300, 298, 296, 294, 292, 290, 288, 286, 284, 282, 280, 278, 276, 274, 272, 270, 268, 266, 264, 262, 260, 258, 256, 254, 252, 250, 248, 246, 244, 242, 240, 238, 236, 234, 232, 230, 228, 226, 224, 222, 220, 218, 216, 214, 212, 210, 208, 206, 204, 202, 200, 198, 196, 194, 192, 190, 188, 186, 184, 182, 180, 178, 176, 174, 172, 170, 168, 166, 164, 162, 160, 158, 156, 154, 152, 150, 148, 146, 144, 142, 140, 138, 136, 134, 132, 130, 128, 126, 124, 122, 120, 118, 116, 114, 112, 110, 108, 106, 104, 102, 100, 98, 96, 94, 92, 90, 88, 86, 84, 82, 80, 78, 76, 74, 72, 70, 68, 66, 64, 62, 60, 58, 56, 54, 52, 50, 48, 46, 44, 42, 40, 38, 36, 34, 32, 30, 28, 26, 24, 22, 20, 18, 16, 14, 12, 10, 8, 6, 4, 2, 0).

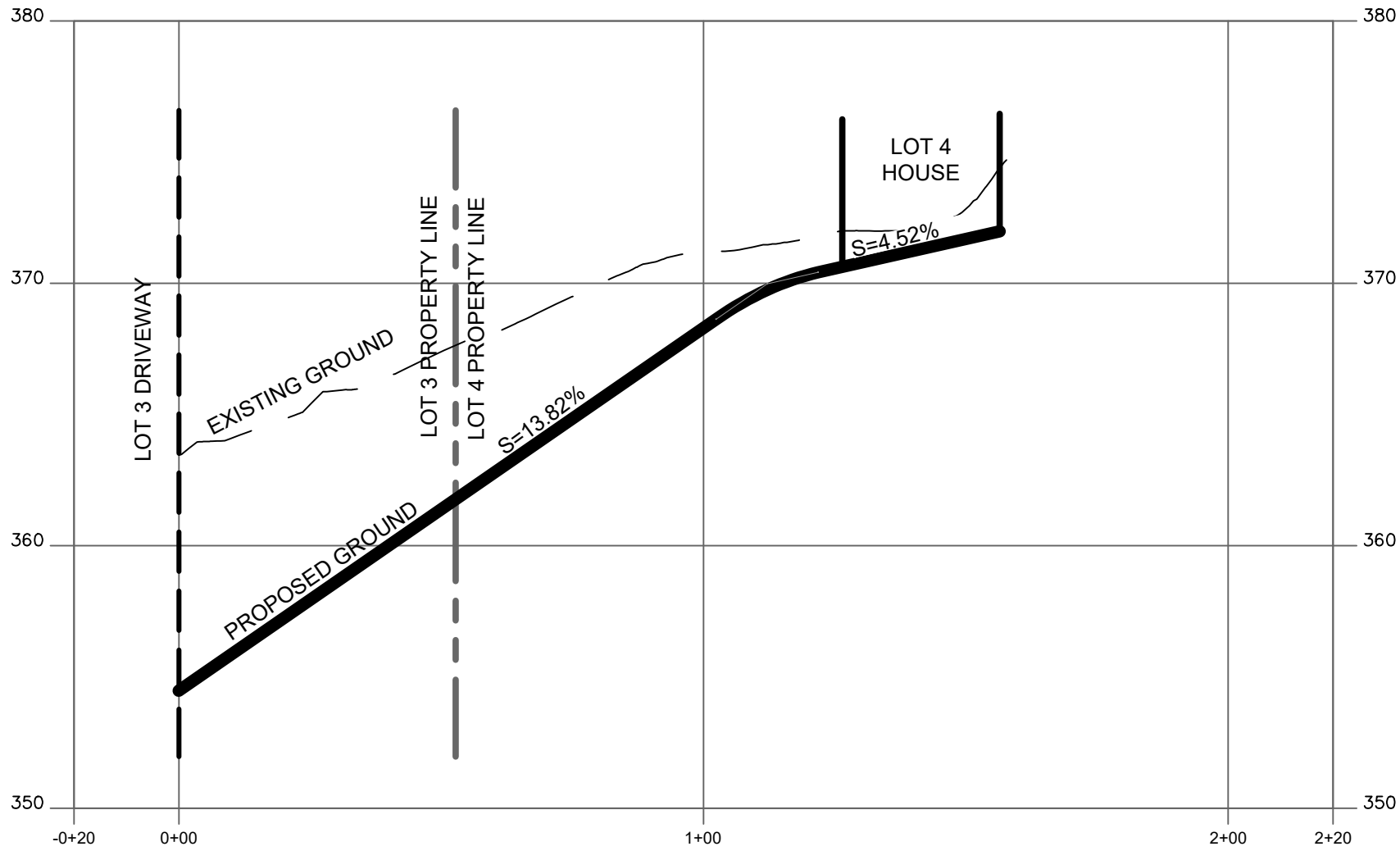
CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%		54,000
VERY STEEP SLOPE	25.00%	35.00%		20,500
EXTREMELY STEEP SLOPE	35.00%	-		40,000

SP-6.0

LOT 3
DRIVEWAY



LOT 4
DRIVEWAY



37-41 CROTON DAM
ROAD - SUBDIVISION
TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE
ARCHITECT

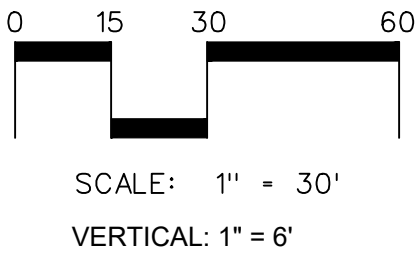
DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601

P: 914.428.0010
F: 914.428.0017

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-8003



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REVISIONS		
NO.	DATE	ISSUE

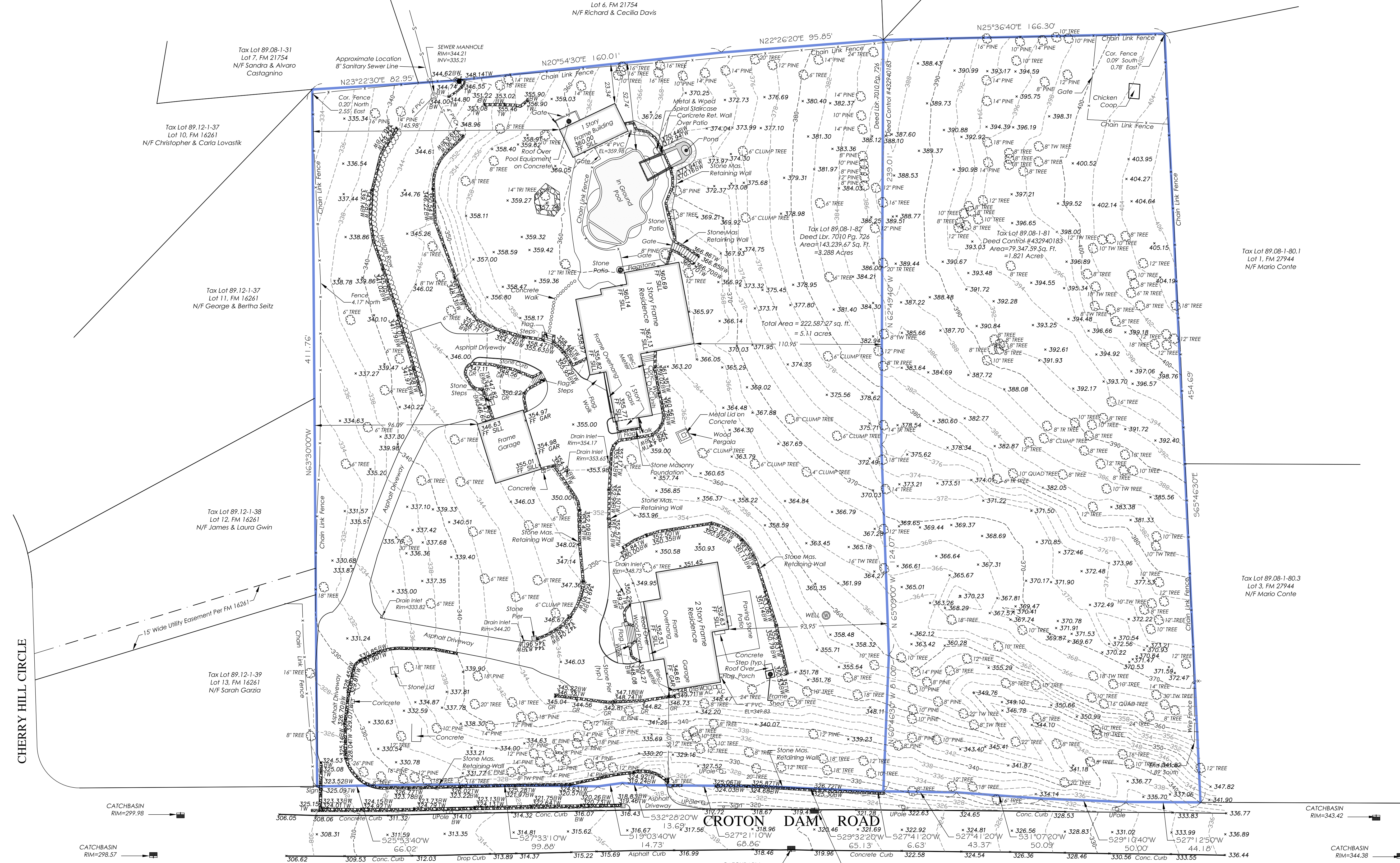
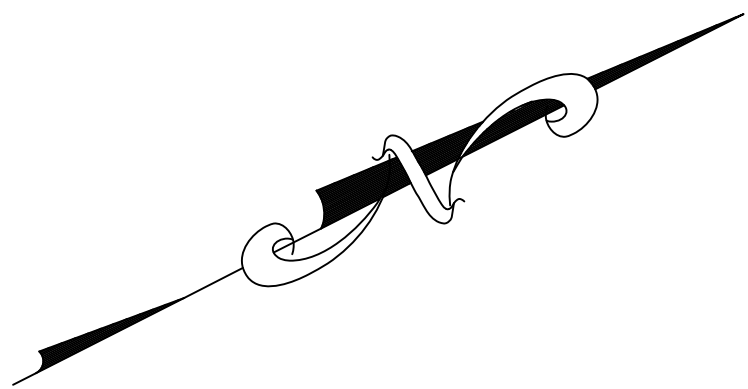
DRAWING TITLE:

DRIVEWAY PROFILES



DRAWN BY:	MJS	CHECKED BY:	GMS
PROJECT NO.	818	DATE:	5/29/18
DRAWING NO.			

SP-7.0



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

AS TO TAX LOT 81:

Surveyed in accordance with Deed Control Number 432940183.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 81.

Property Address:
41 Croton Dam Road
Ossining, NY 10562

AS TO TAX LOT 82:

Surveyed in accordance with Deed Liber 7010, Page 726.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 82.

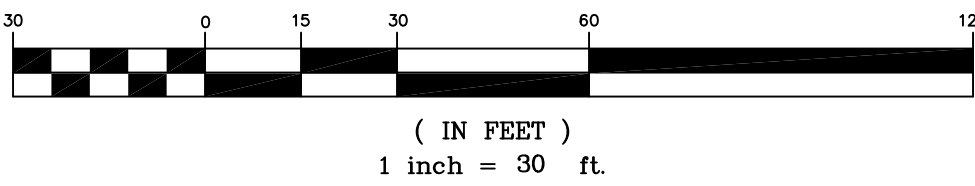
Property Address:
37 Croton Dam Road
Ossining, NY 10562

Total Area of Tax Lot 81 and Tax Lot 82 = 222,587.26 Sq. Ft. = 5.109 Acres

TOPOGRAPHY OF PROPERTY
PREPARED FOR
TAX LOTS 81 AND 82
SITUATE IN THE
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

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TC MERRITTS LAND SURVEYORS

394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

Surveyed: February 8, 2018
Map Prepared: February 14, 2018

By: 
Scott B. Gray New York State Licensed Land Surveyor No.050672

Project: 18-011	Field Survey By: AN/FT
Drawn By: CMP	Checked By: SBG