

37 - 41 CROTON DAM ROAD

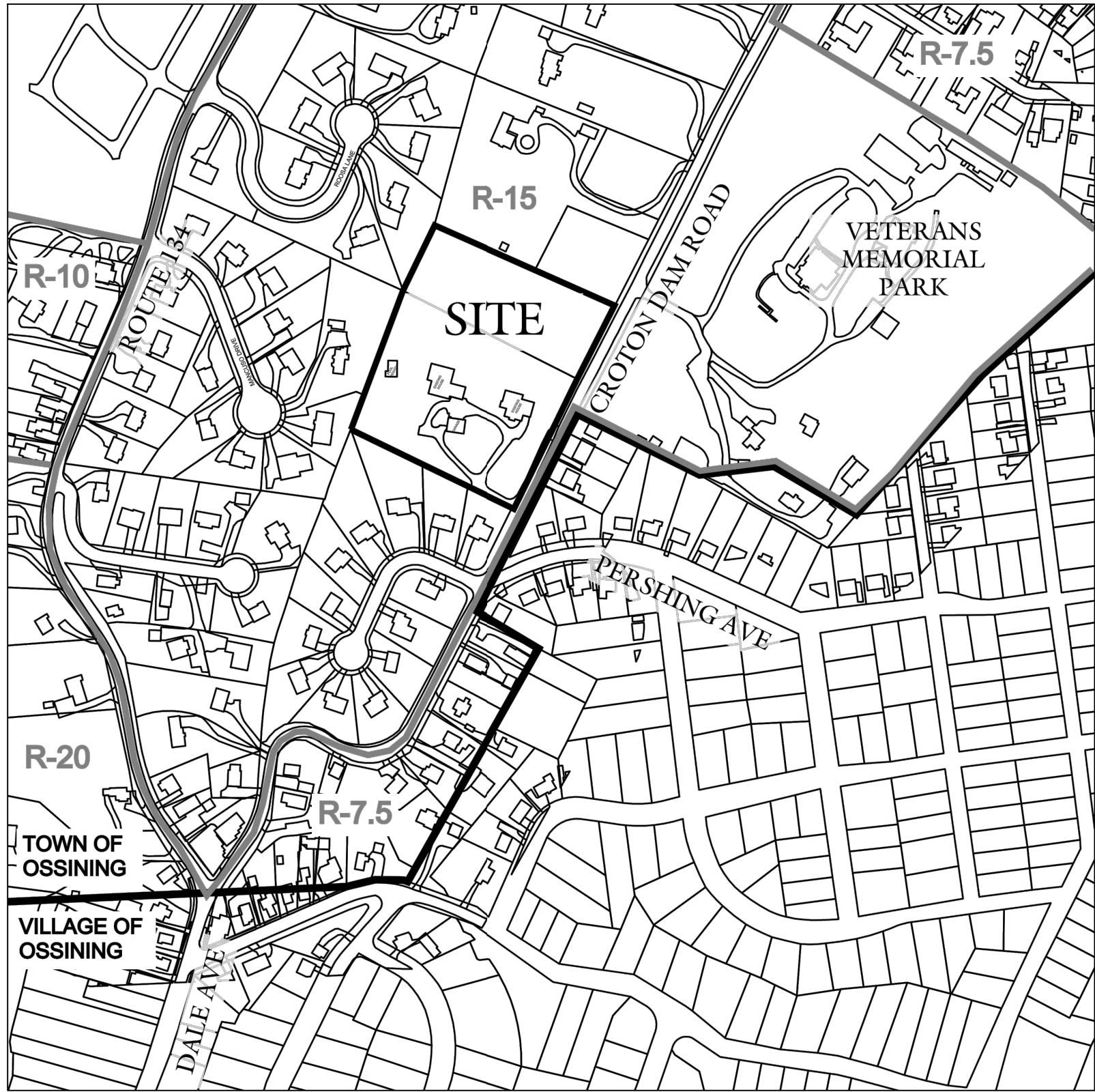
TOWN OF OSSINING, NEW YORK

APPLICATION FOR SUBDIVISION APPROVAL

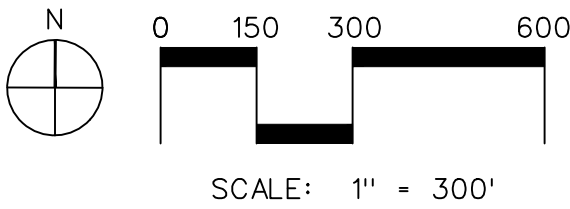
MAY 29, 2018

REVISED: SEPTEMBER 24, 2018

LOCATION MAP



BASE MAP SOURCE: WESTCHESTER GIS



ZONING COMPLIANCE TABLE

R-15 DISTRICT	REQUIRED/ PERMITTED	EXISTING		PROPOSED			
		37 Croton Dam Rd	41 Croton Dam Rd	Lot 1	Lot 2	Lot 3	Lot 4
		Section 89.08, Block 1 - Lot 82	Section 89.08, Block 1 - Lot 81				
CHAPTER 200 - ZONING							
Attachment 2 - Bulk Regulations							
Lot Area (sf)	15,000	140,611	79,279	91,070	34,189	60,509	36,819
Lot Width (feet)	90	335	187	273	205	166	124
Lot Depth (feet)	120	415	450	236	141	168	269
Required Yards							
Front (feet)	30	57	N/A	42	57	67	127
1 Side (feet)	14	97	N/A	58	56	26	27
Both Sides (feet)	30	257	N/A	217	134	138	75
Rear (feet)	32	134	N/A	122	45	32	79
Max Building Height							
Stories	2.5	2	N/A	1	2	< 2.5	< 2.5
Feet	35	No Change	N/A	No Change	No Change	< 35	< 35
Max Building Coverage (percent)	25	4.7	N/A	6%	8%	5%	8%
CHAPTER 176 - SUBDIVISION REGULATIONS							
Section 176-18f(1) - Lots							
Area Exclusive of Extremely Steep Slopes ² (sf)							
Required	75% of lot area	11,250	11,250	11,250	11,250	11,250	11,250
Provided							
Total Lot Area		140,611	79,279	91,070	34,189	60,509	36,819
Less Extremely Steep Slopes		17,500	13,500	8,500	8,250	12,500	9,200
Provided Net Lot Area		123,111	65,779	82,570	25,939	48,009	27,619

¹Per subdivision code section 176-18f(1), "... at least 75% of the minimum lot area requirement of a proposed lot shall consist of neither 'wetland' nor 'extremely steep slope'..."

²Per Chapter 167 of the Slope Slope Protection code, an extremely steep slope is defined as a slope with a topographical gradient equal to or greater than 35%.

LIST OF DRAWINGS

COVER SHEET

SP-0.0	PRELIMINARY SUBDIVISION PLAN	1" = 30'
SP-1.0	SITE LAYOUT PLAN	1" = 30'
SP-2.0	SITE ENGINEERING PLAN	1" = 30'
SP-3.1	LANDSCAPE PLAN	1" = 30'
SP-4.1 - 4.2	SITE DETAILS	AS NOTED
SP-5.0	TREE REMOVAL PLAN	1" = 30'
SP-5.1	EROSION AND SEDIMENT CONTROL PLAN & DETAILS	1" = 30'
SP-6.0	STEEP SLOPES	1" = 40'
SP-7.0	ROAD PROFILES	AS NOTED
	SURVEY	1" = 30'

SCALE

OWNER/APPLICANT:
 PAUL SCHEMMER, VALERIE SCHEMMER
 37 Croton Dam Road
 Ossining, NY 10562

VAL SANTUCCI, MICHELLA SANTUCCI
 37 Croton Dam Road
 Ossining, NY 10562

PLANNER, CIVIL ENGINEER,
 LANDSCAPE ARCHITECT:

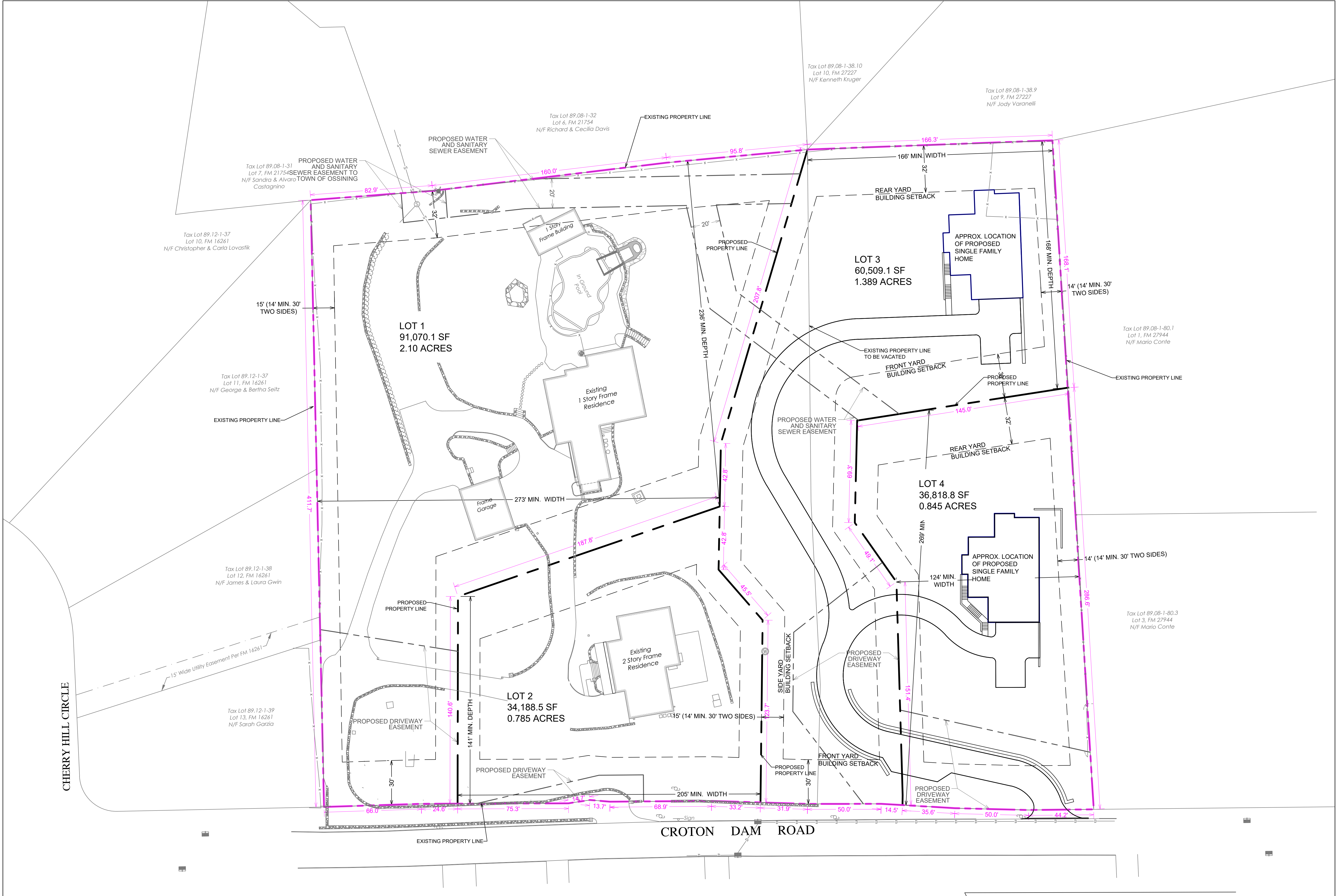
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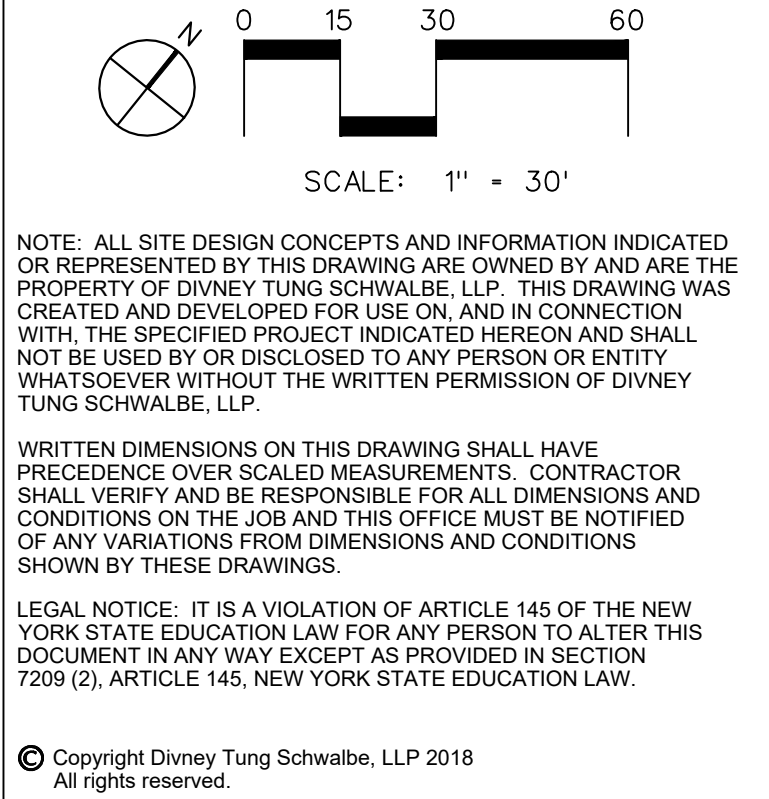
SURVEYOR:

THOMAS C. MERRITTS
 Land Surveyors, P.C.
 394 Bedford Road
 Pleasantville, NY 10507



37-41 CROTON DAM ROAD - SUBDIVISION
 TOWN OF OSSINING, New York

OWNER / APPLICANT
 PAUL SCHEMMER
 VALERIE SCHEMMER
 37-41 CROTON DAM ROAD
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 SURVEYOR
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REVISIONS	NO.	DATE	ISSUE
	1	9/24/18	SUBDIVISION APPLICATION

PRELIMINARY SUBDIVISION PLAN

DRAWN BY: MJS
 PROJECT NO: 818
 DRAWING NO:

CHECKED BY: GMS
 DATE: 5/29/18

SP-0.0

SP-1.0

STORMWATER MEASURE SUMMARY

Identification	Basin			Outlet Control			
	Bottom Elevation (ft)	Top Elevation (ft)	Overflow Width (ft)	Orifice Diameter (in)	Orifice Elevation (ft)	Grate Dimension (ft x ft)	Grate Elevation (ft)
Rain Garden 1	398.5	397.5	8.0		398.0		
Infiltration Basin 2	386.0	388.5				2x2	388.0
Infiltration Basin 3	388.0	390.5				2x2	390.0
Infiltration Basin 4	360.0	363.0		9	361.25	2x2	362.5
Rain Garden 5	383.5	384.5		6	383.90		
Infiltration Basin 6	368.0	371.0		6	369.80		
				6	370.00		
Infiltration Basin 7	338.0	341.0		9	339.25	2x2	340.5
Infiltration Basin 8	332.0	334.8		6	333.75	2x2	334.3



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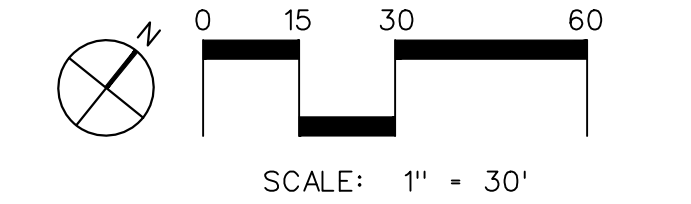
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DRAWING TITLE:

SITE ENGINEERING PLAN

DRAWN BY:
MJS

PROJECT NO:
818

DRAWING NO.:

CHECKED BY:
GMS

DATE:
5/29/18

SP-2.0



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME
	30	2.5"-3.0" CAL ACER SACCHARUM / SUGAR MAPLE BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH CELTIS OCCIDENTALIS / COMMON HACKBERRY GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEET GUM ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME
	56	10'-12' HGT (2.5" CAL) PICEA GLAUCA / WHITE SPRUCE PICEA OMORIKA / SERBIAN SPRUCE PICEA PUNGENS / COLORADO SPRUCE
FLOWERING TREES	QTY	BOTANICAL NAME / COMMON NAME
	47	8'-10' HGT (2.5" CAL) AMELANCHIER 'AUTUMN BRILLIANCE' MS / 'AUTUMN BRILLIANCE' SERVICEBERRY MS CERIS CANADENSIS MS / EASTERN REDBUD MS MALUS X 'ADIRONDACK' / ADIRONDACK CRABAPPLE

NOTE:
 ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.

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 TOWN OF OSSINING, New York

OWNER / APPLICANT

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 OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

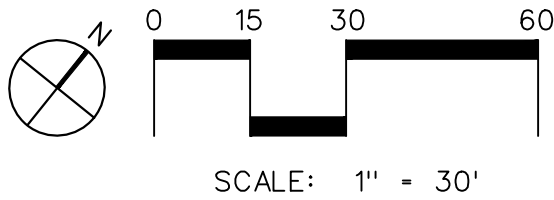
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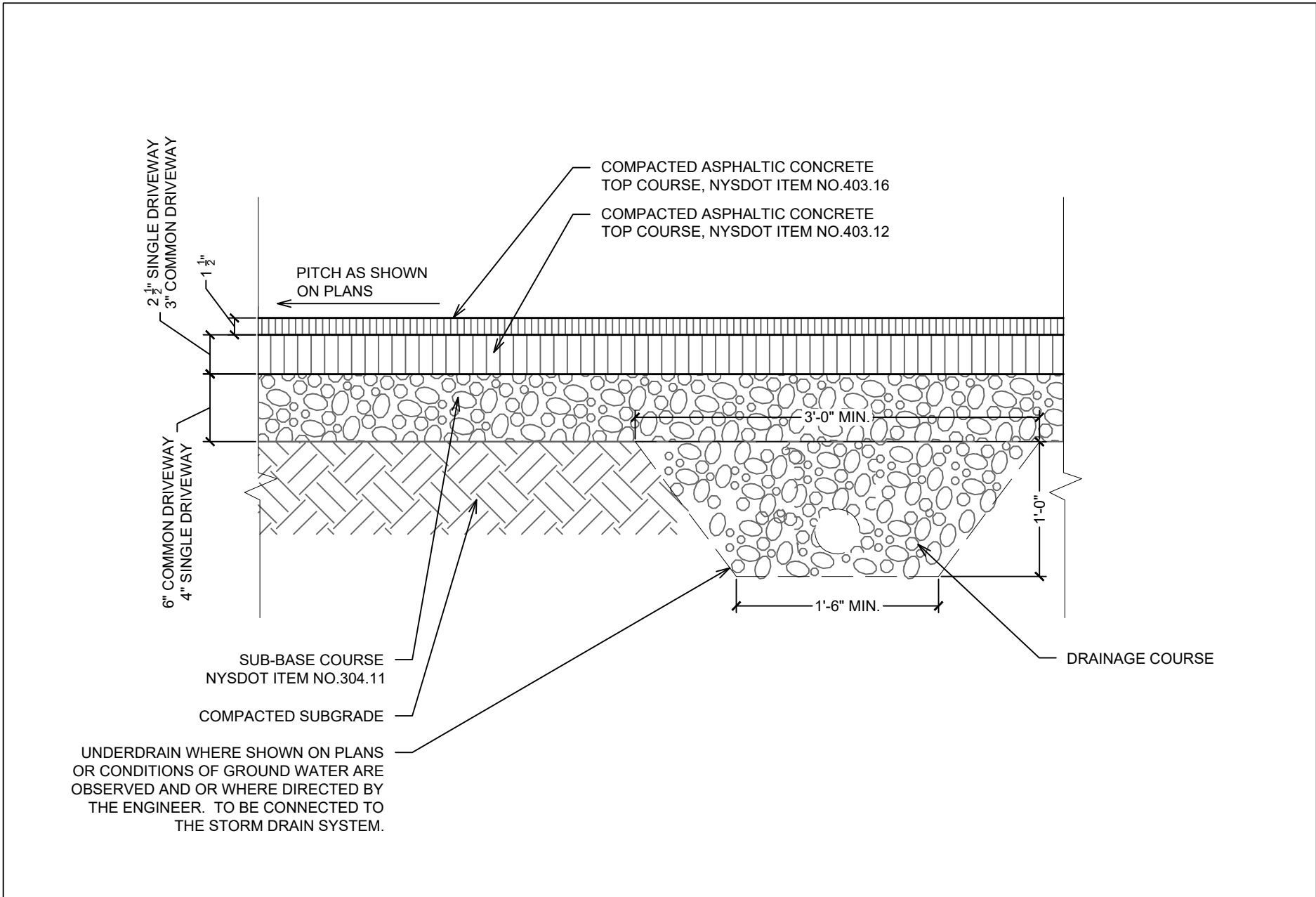
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LANDSCAPE PLAN



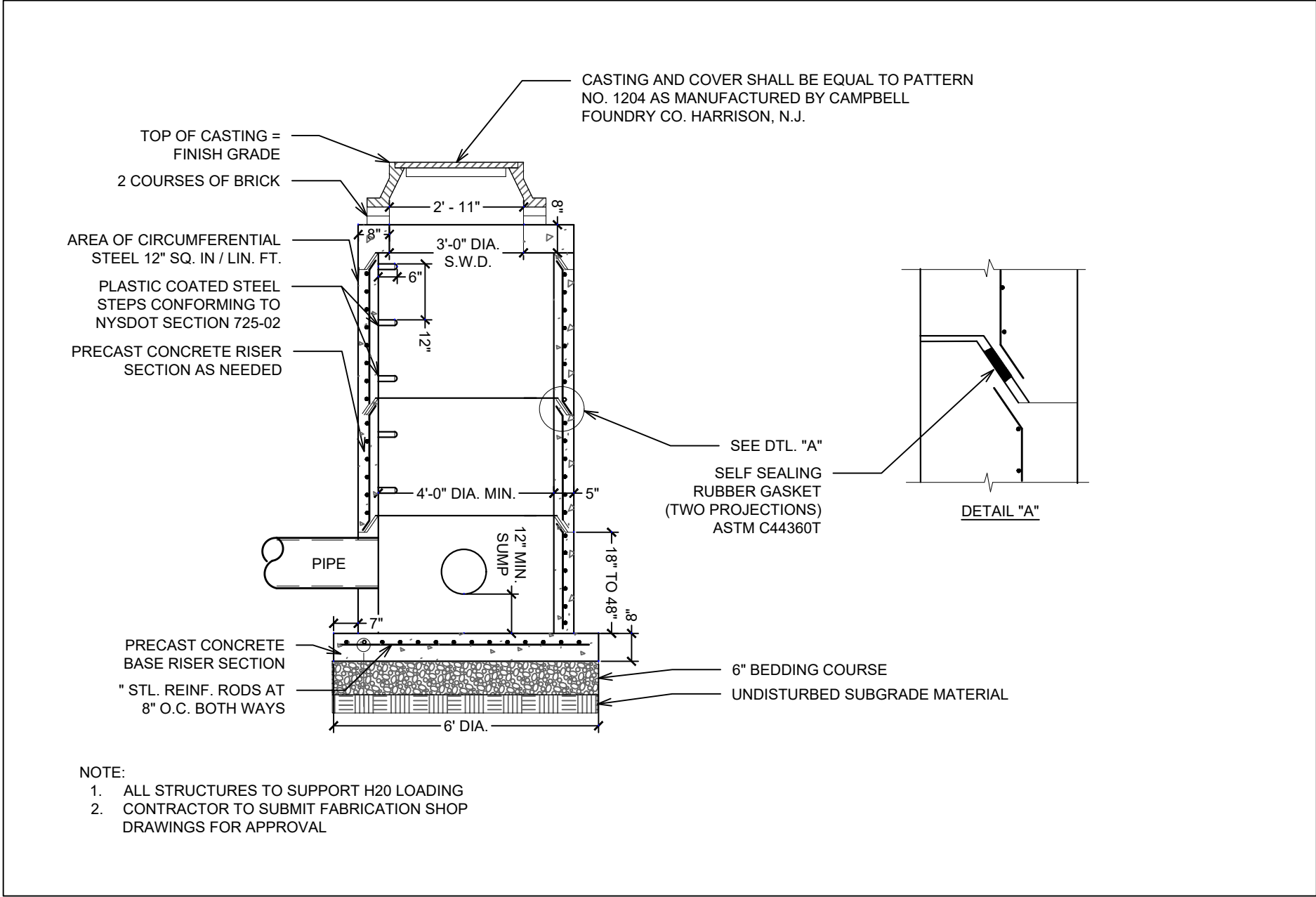
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SP-3.1



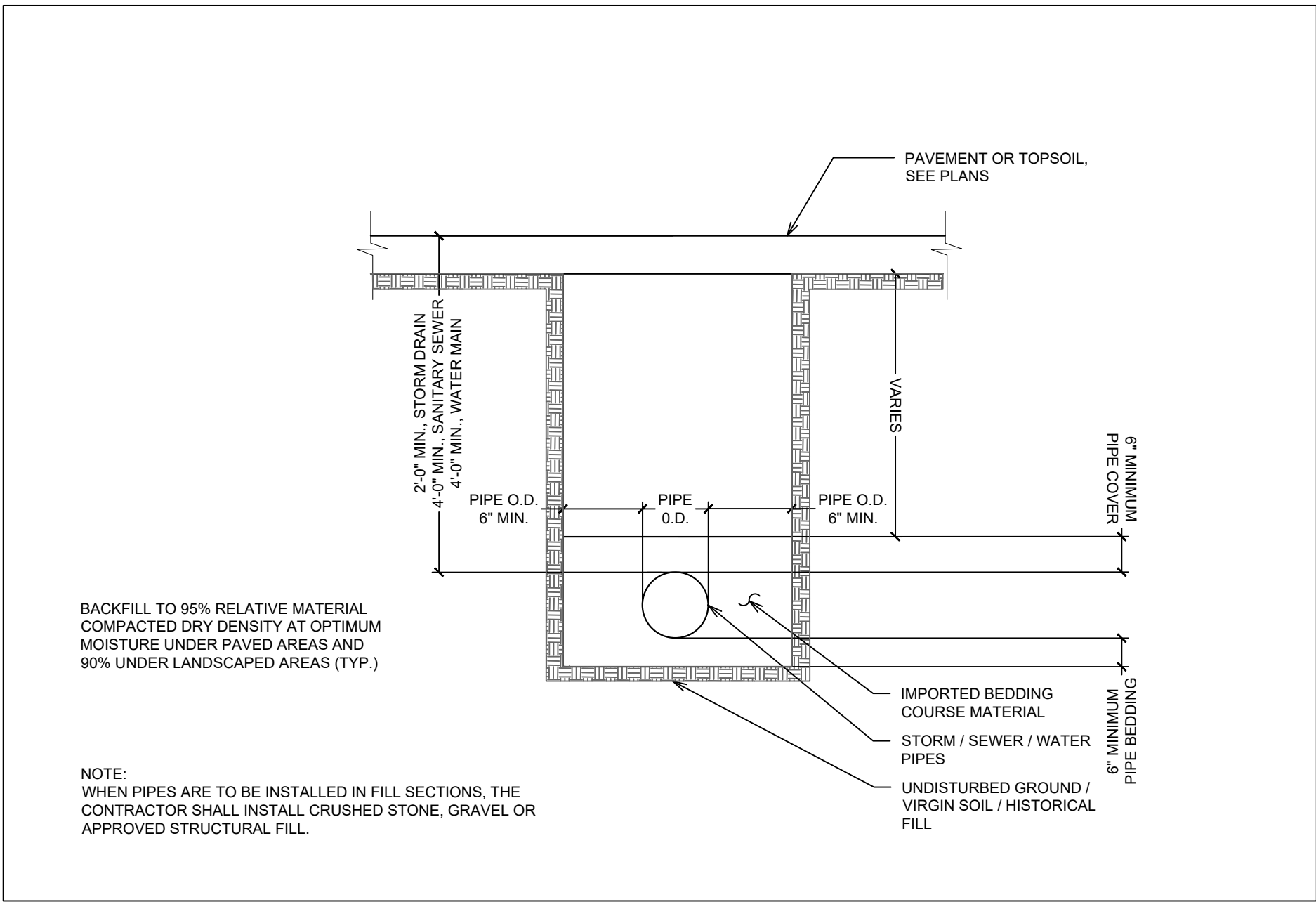
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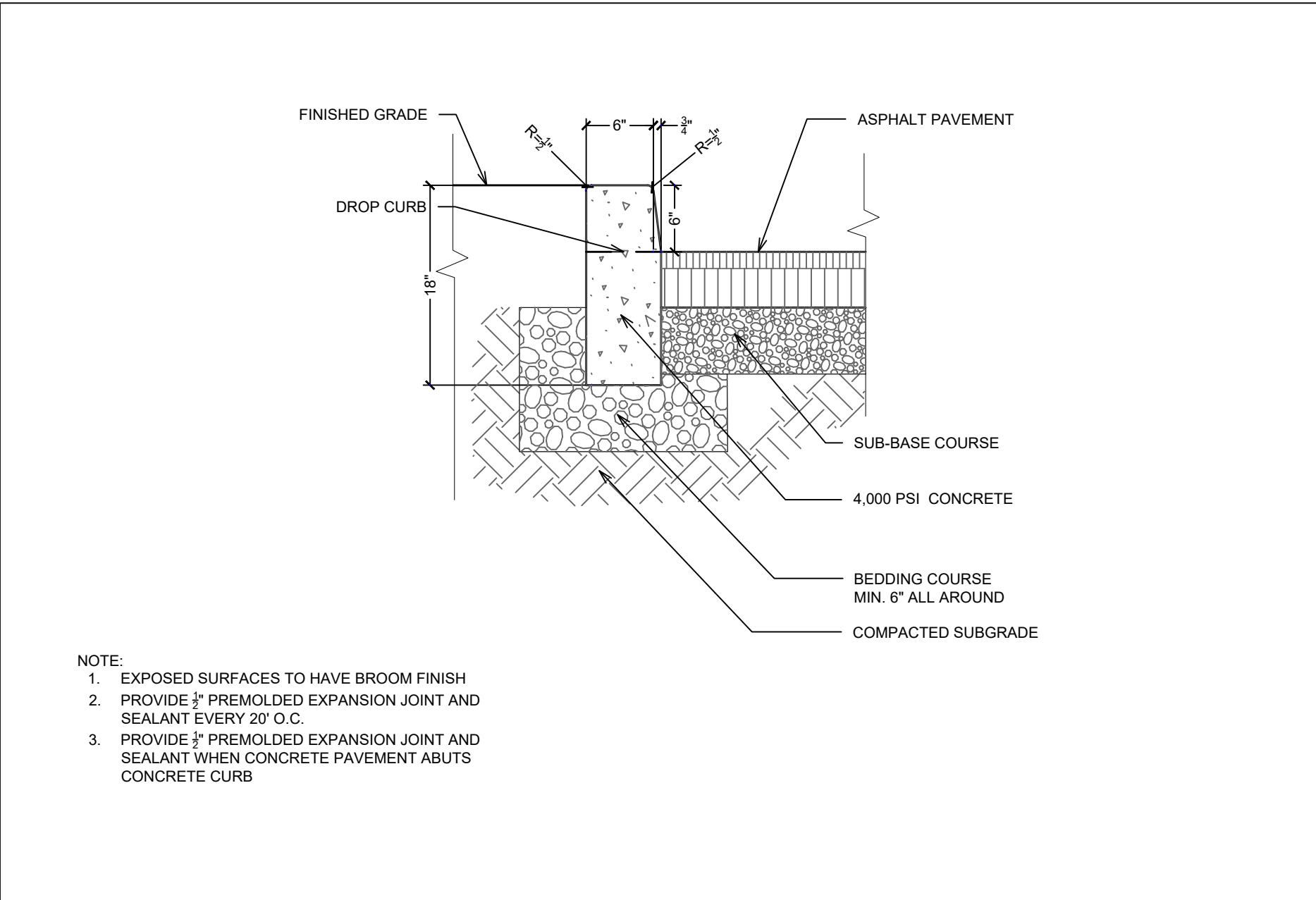
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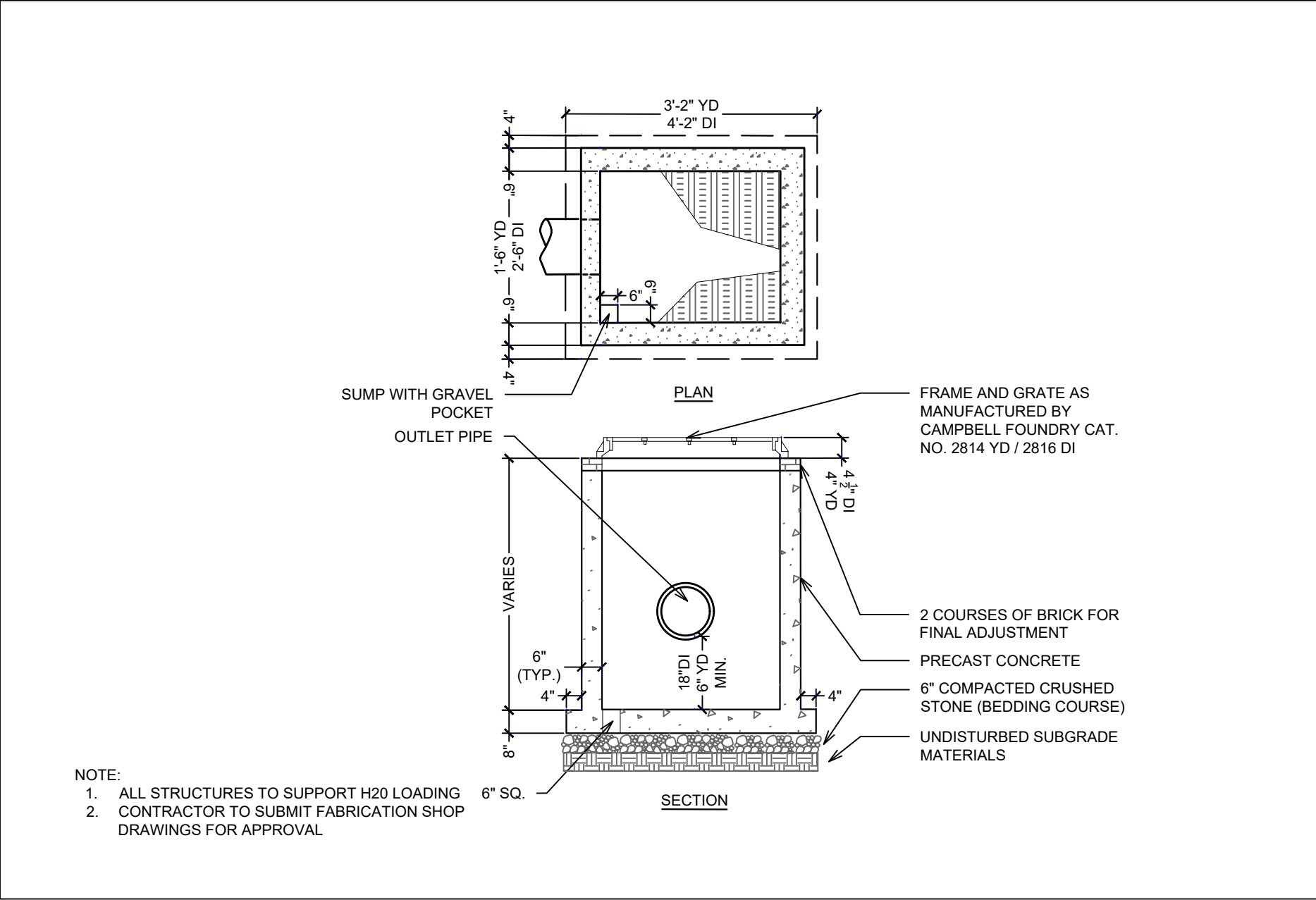
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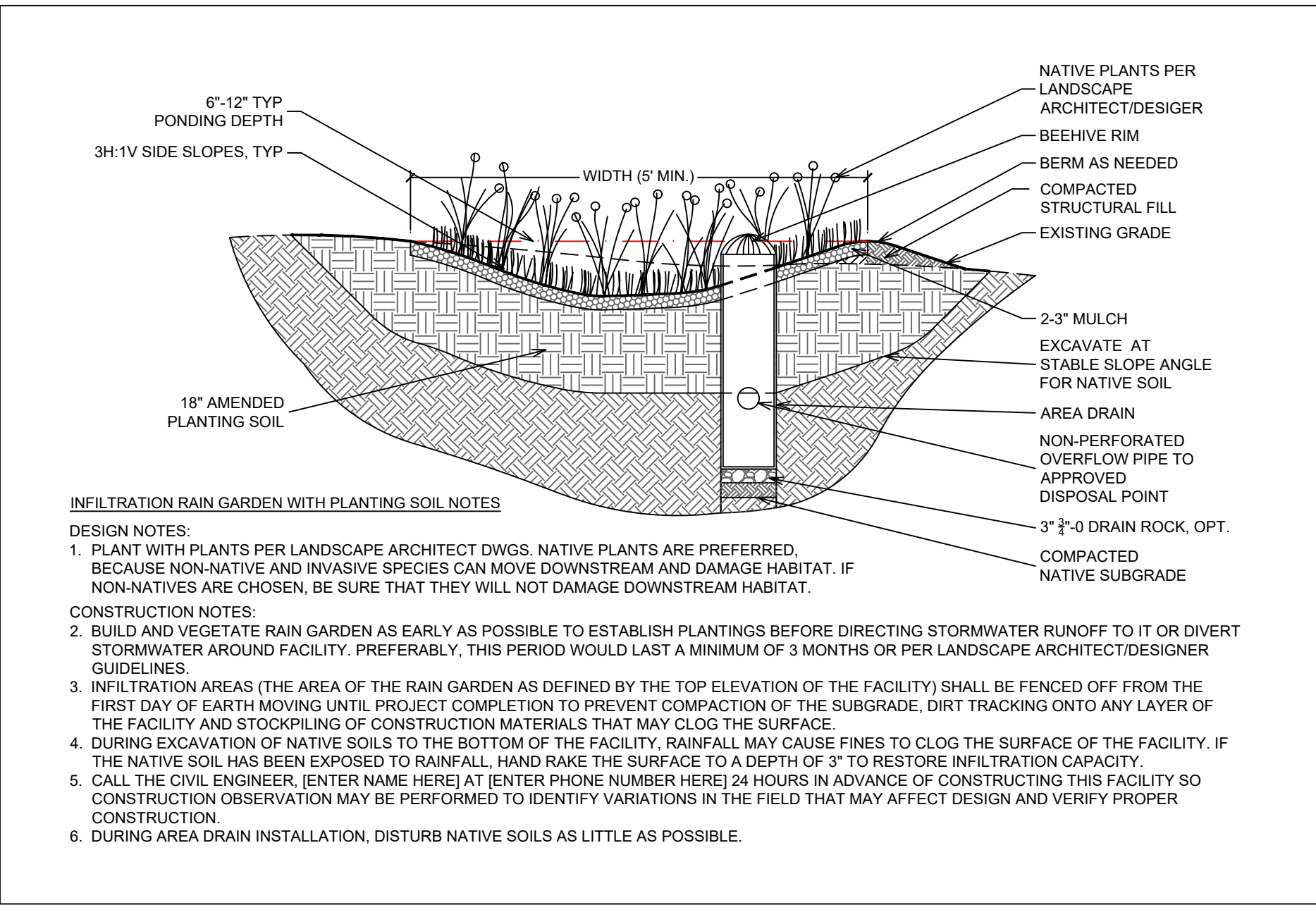
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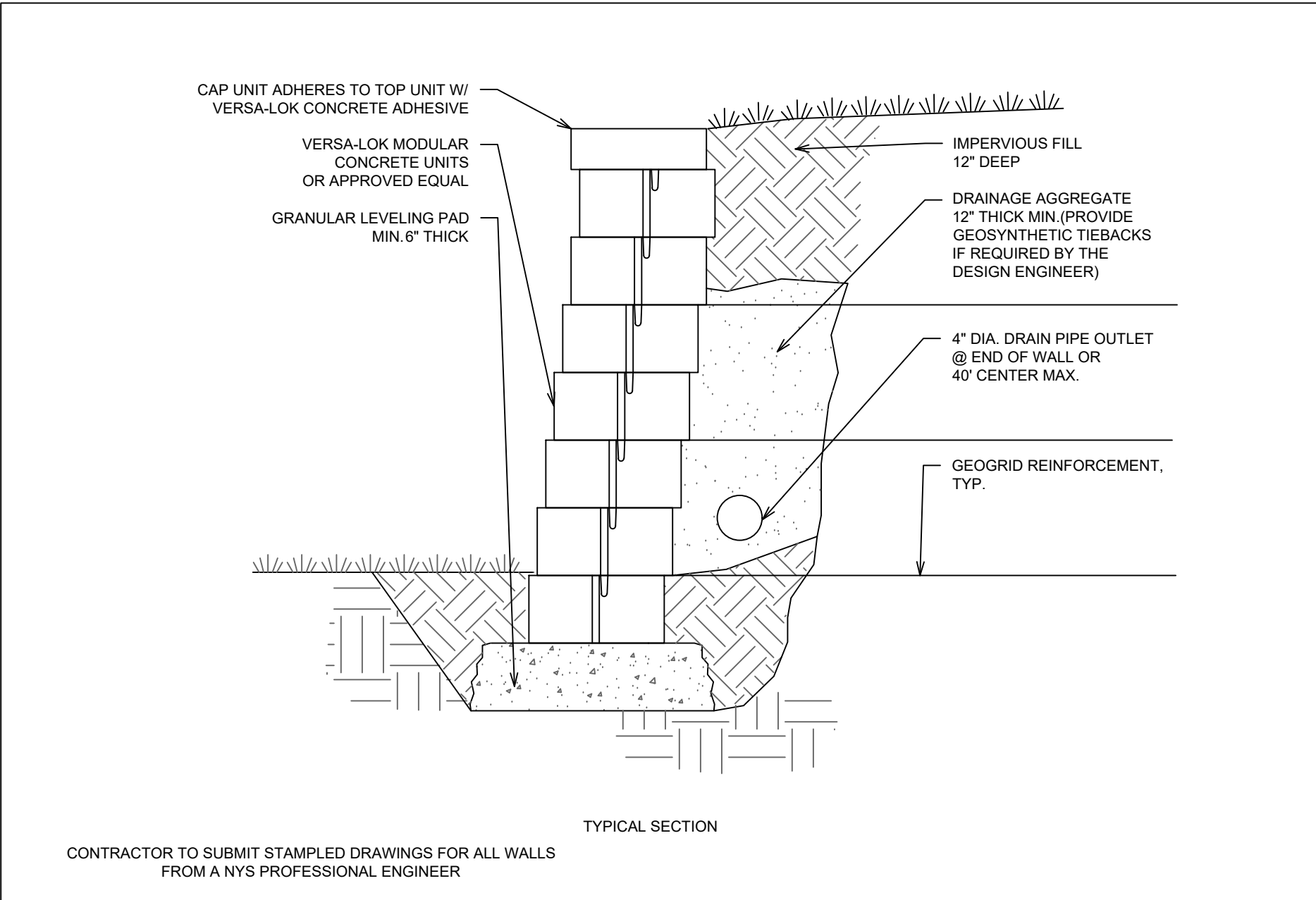
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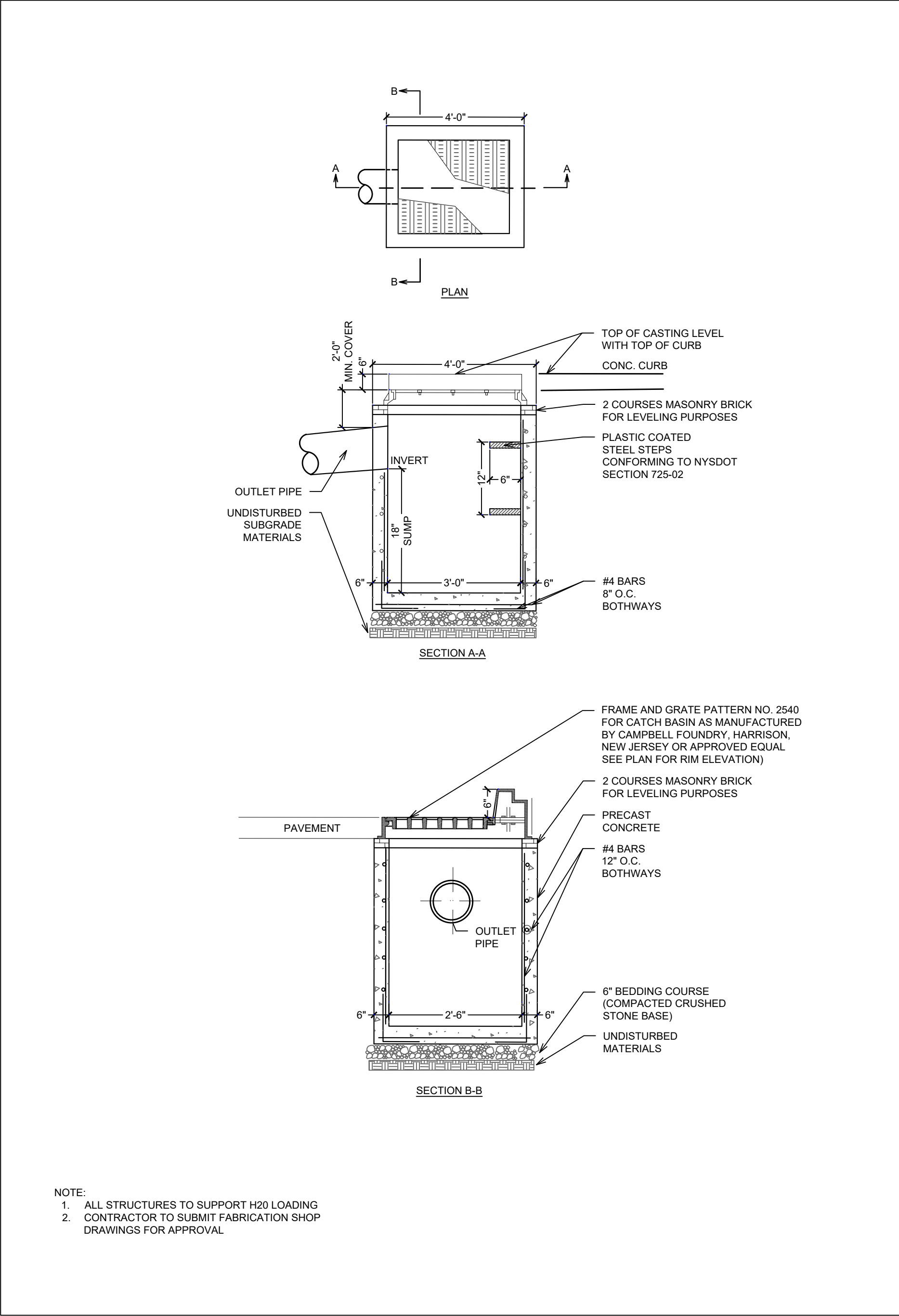
RAIN GARDEN
SCALE: N.T.S.

8



MODULAR BLOCK RETAINING WALL
SCALE: N.T.S.

3



CATCH BASIN
SCALE: N.T.S.

9

37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

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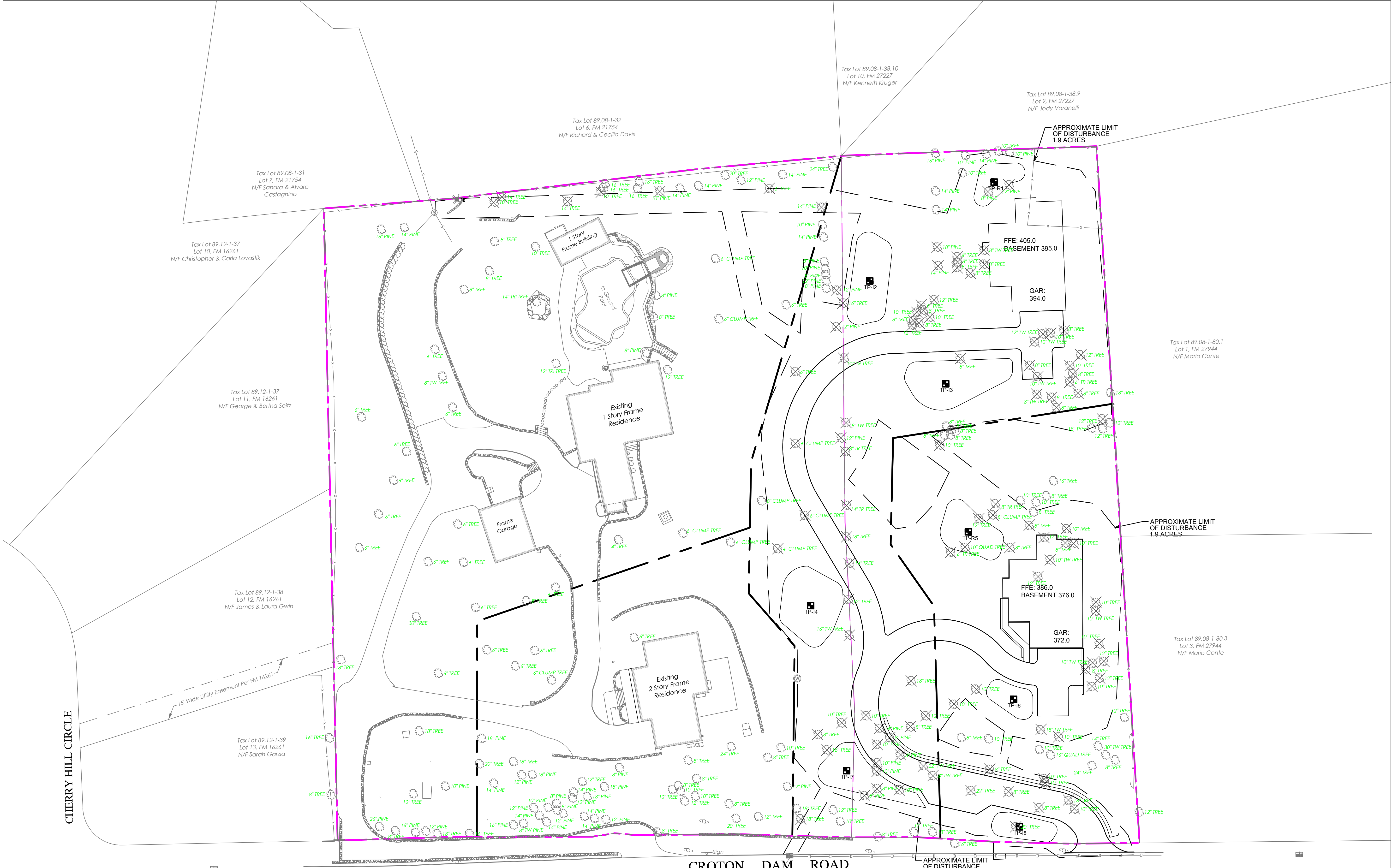
SITE DETAILS

DRAWN BY: MJS
PROJECT NO: 818

CHECKED BY: GMS
DATE: 5/29/18

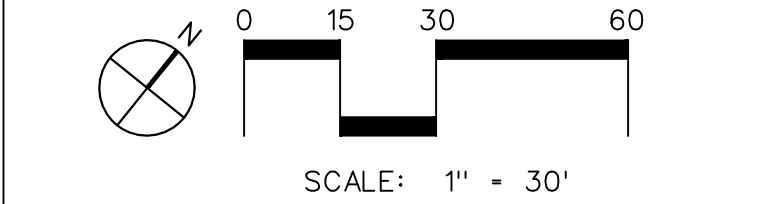
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37-41 CROTON DAM ROAD - SUBDIVISION
 TOWN OF OSSINING, New York

OWNER / APPLICANT
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 VALERIE SCHEMMER
 37-41 CROTON DAM ROAD
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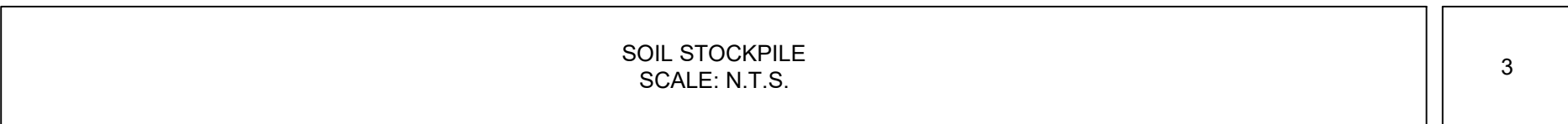
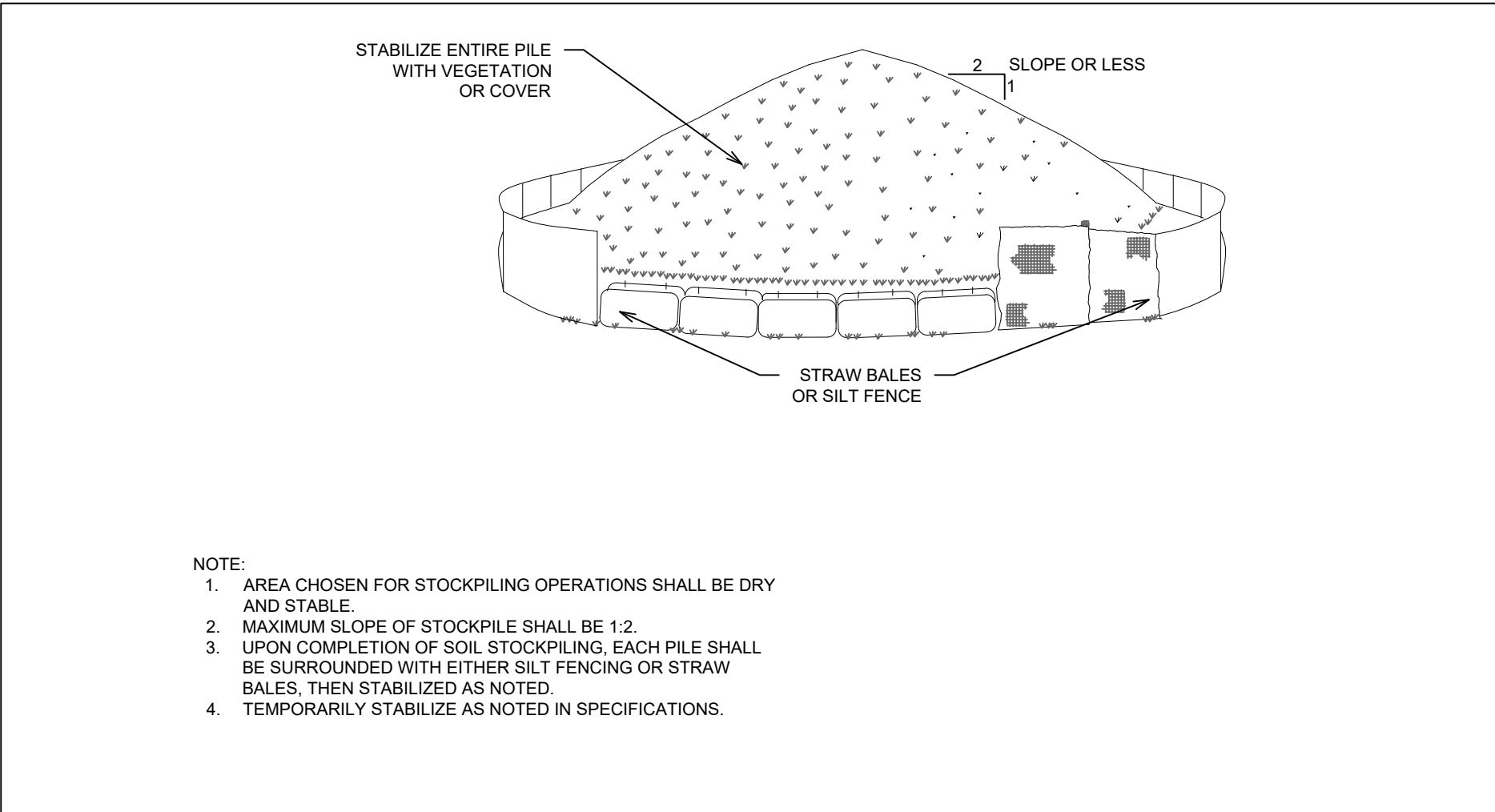
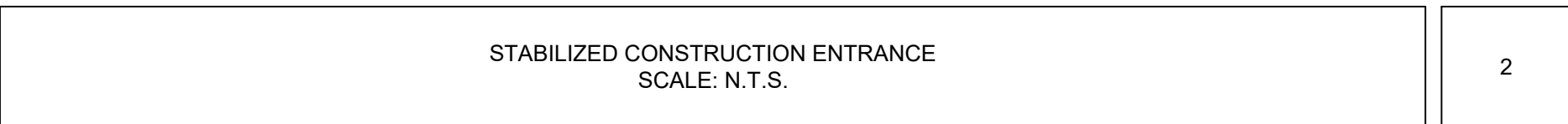
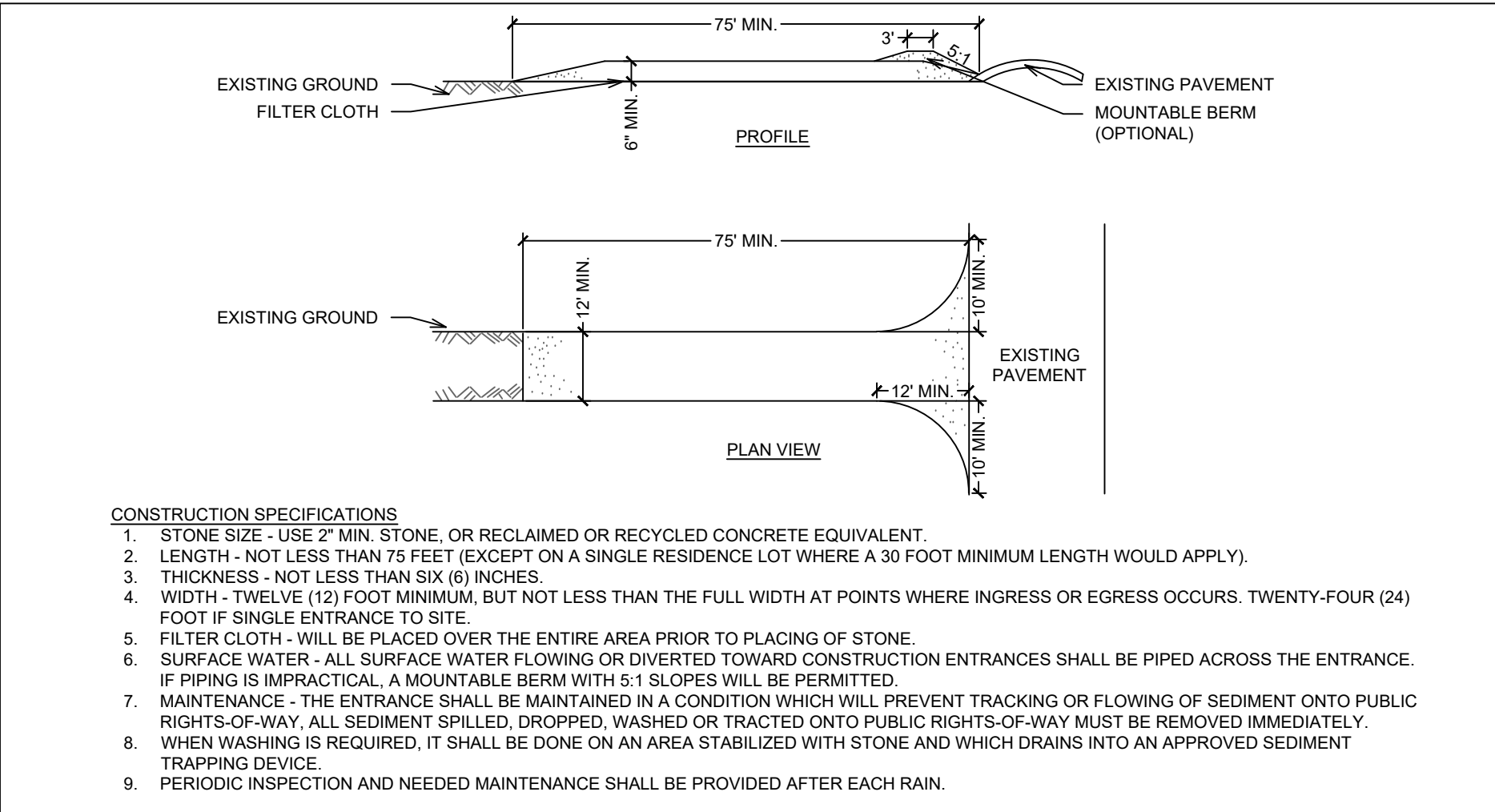
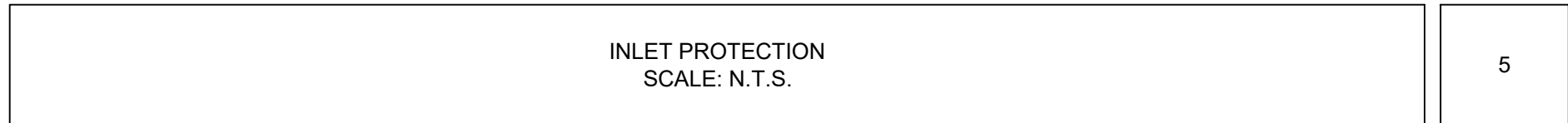
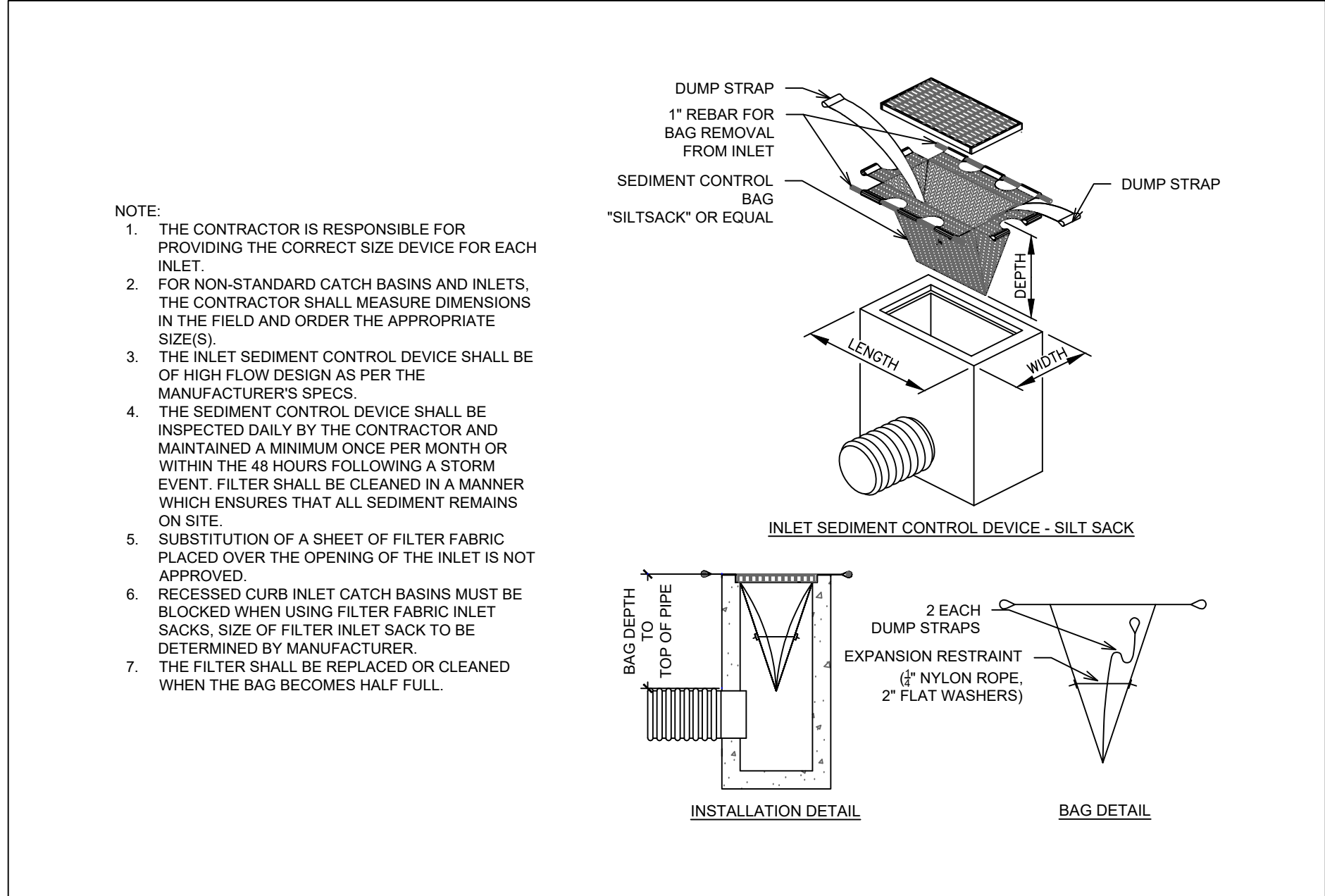
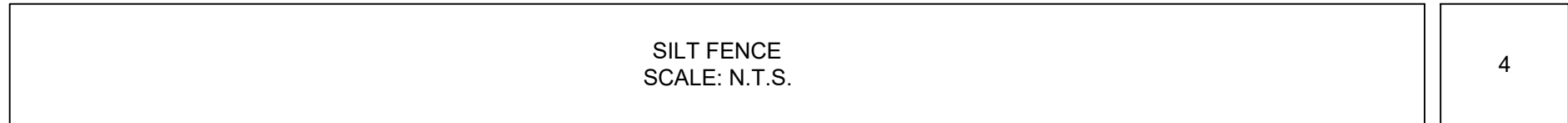
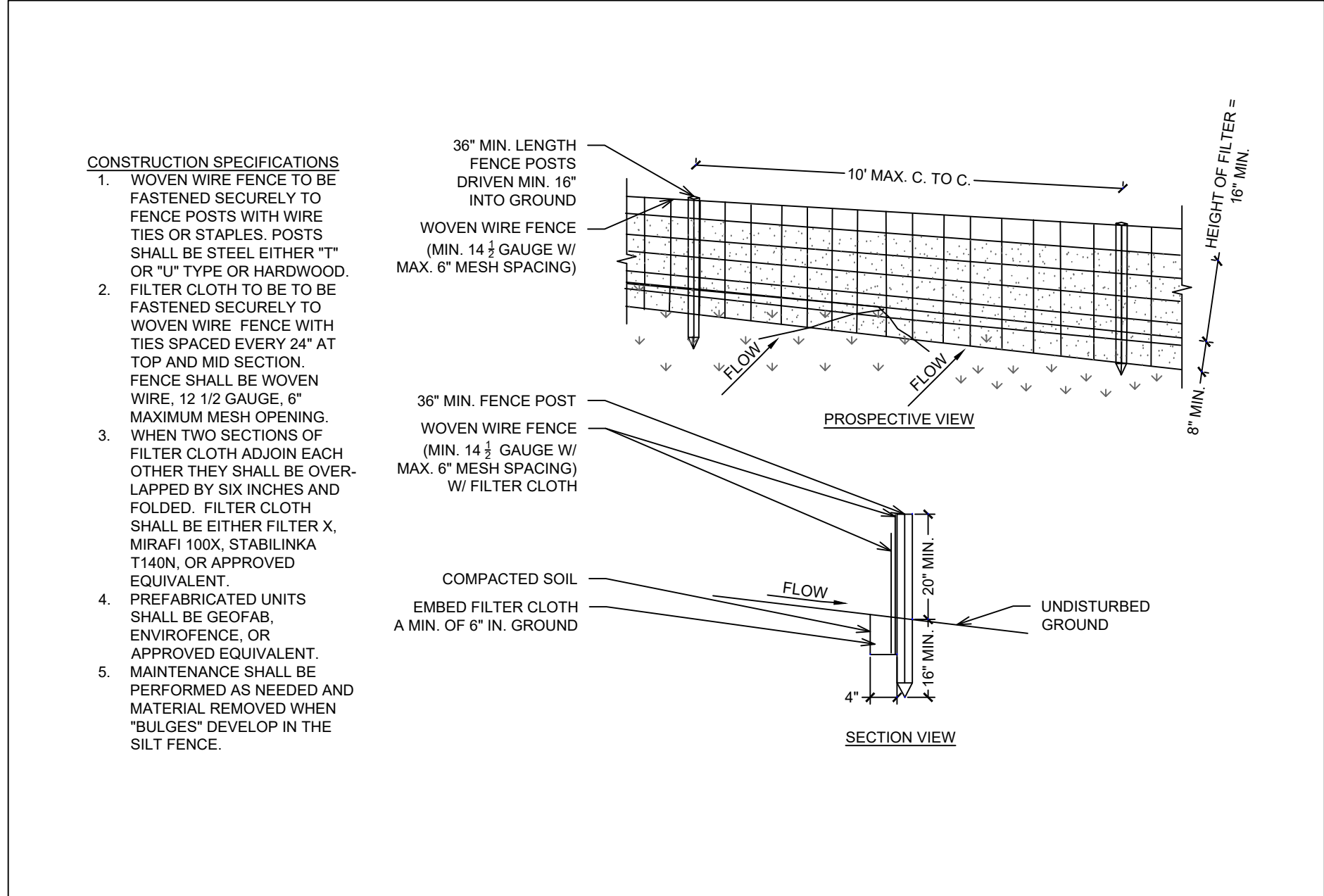
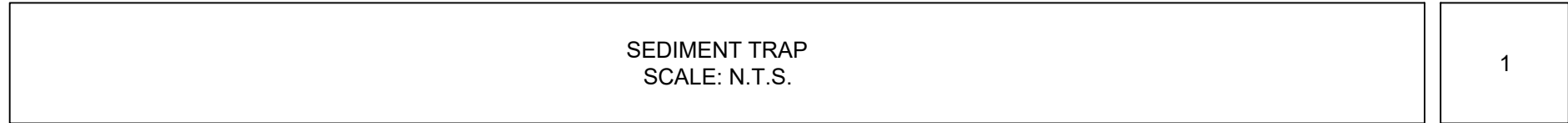
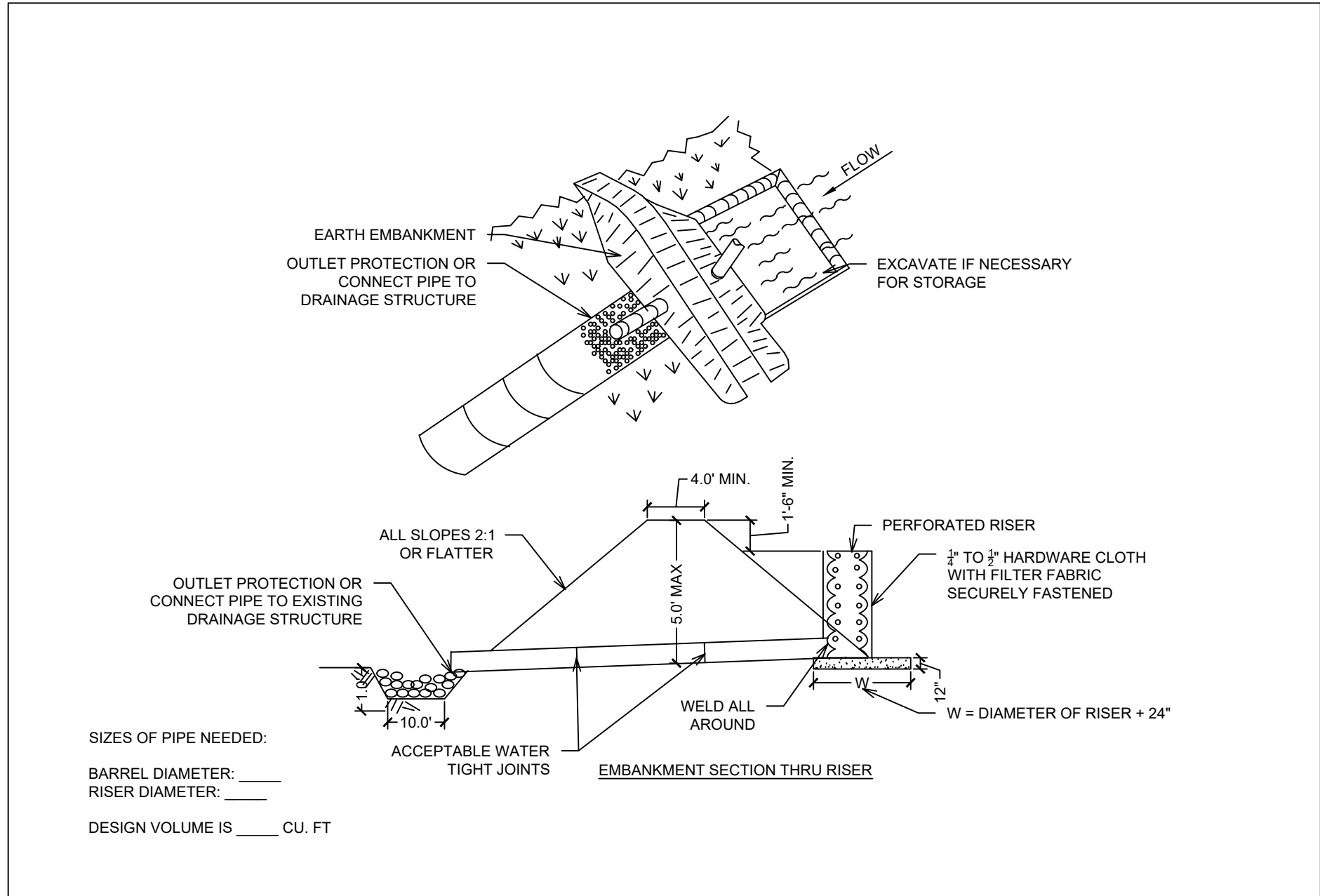


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DRAWING TITLE:
 TREE REMOVAL PLAN

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	PROJECT NO.	818	DATE:	5/29/18
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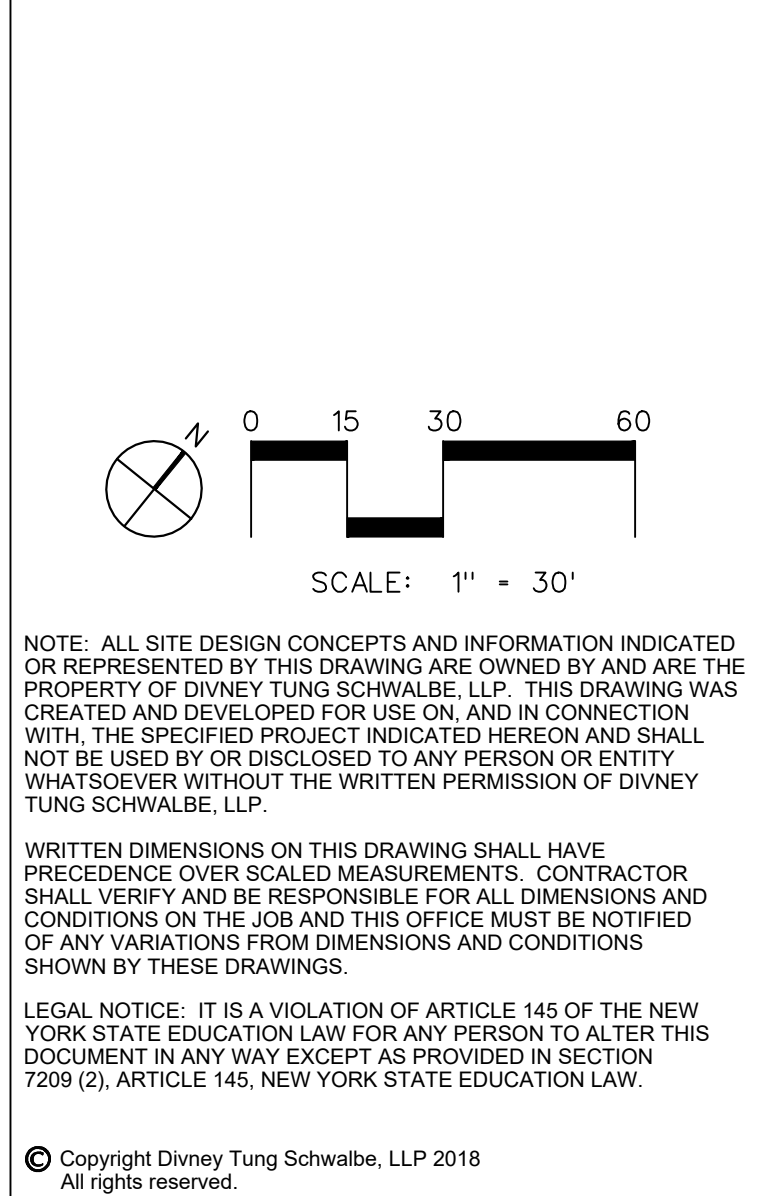


37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

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 VALERIE SCHEMMER
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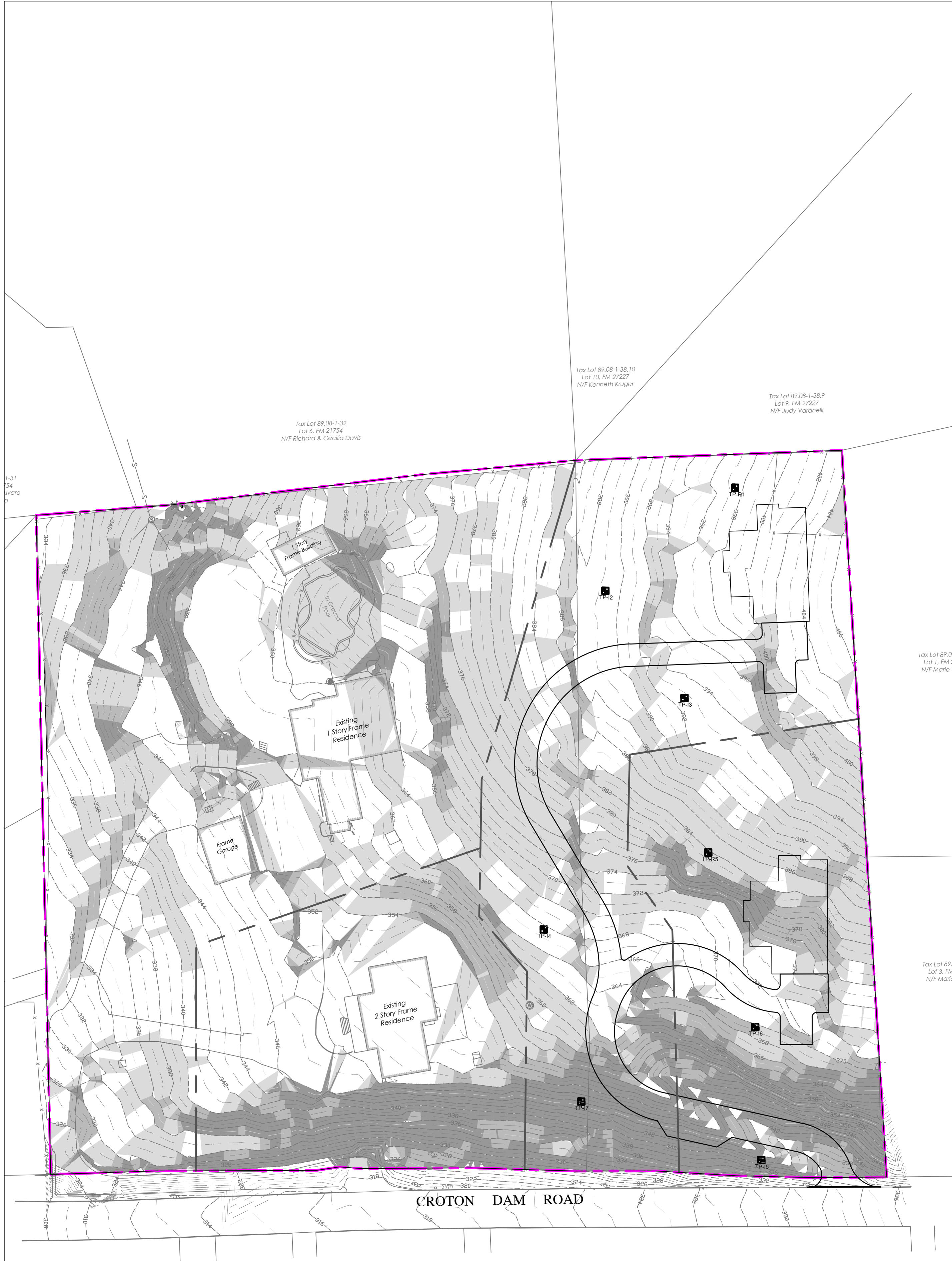


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	3		
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DRAWING TITLE:
 EROSION & SEDIMENT CONTROL PLAN & DETAILS

	DRAWN BY: MJS PROJECT NO: 818 DRAWING NO:	CHECKED BY: GMS DATE: 5/29/18
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SP-5.1



EXISTING STEEP SLOPES

Existing Slopes Table				
CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%		67,500
VERY STEEP SLOPE	25.00%	35.00%		21,500
EXTREMELY STEEP SLOPE	35.00%	-		31,000



PROPOSED STEEP SLOPES

Proposed Slopes Table				
CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%		54,000
VERY STEEP SLOPE	25.00%	35.00%		20,500
EXTREMELY STEEP SLOPE	35.00%	-		40,000

37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

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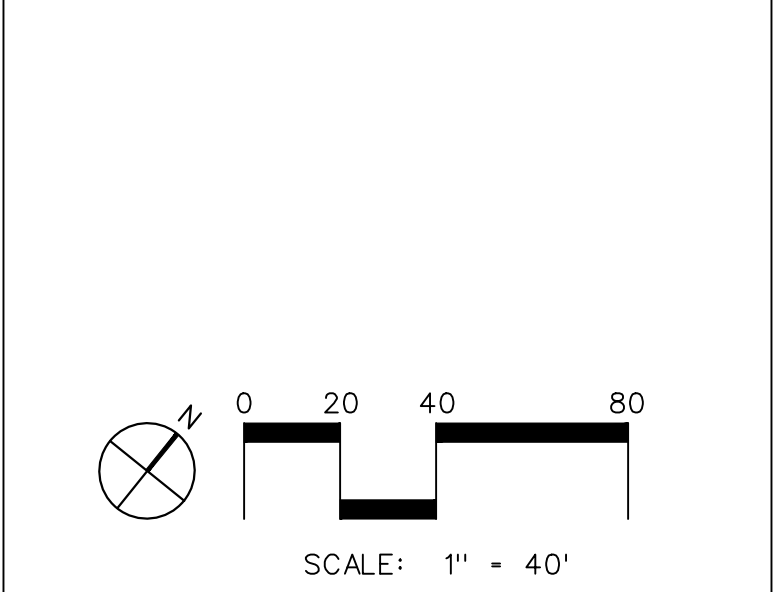
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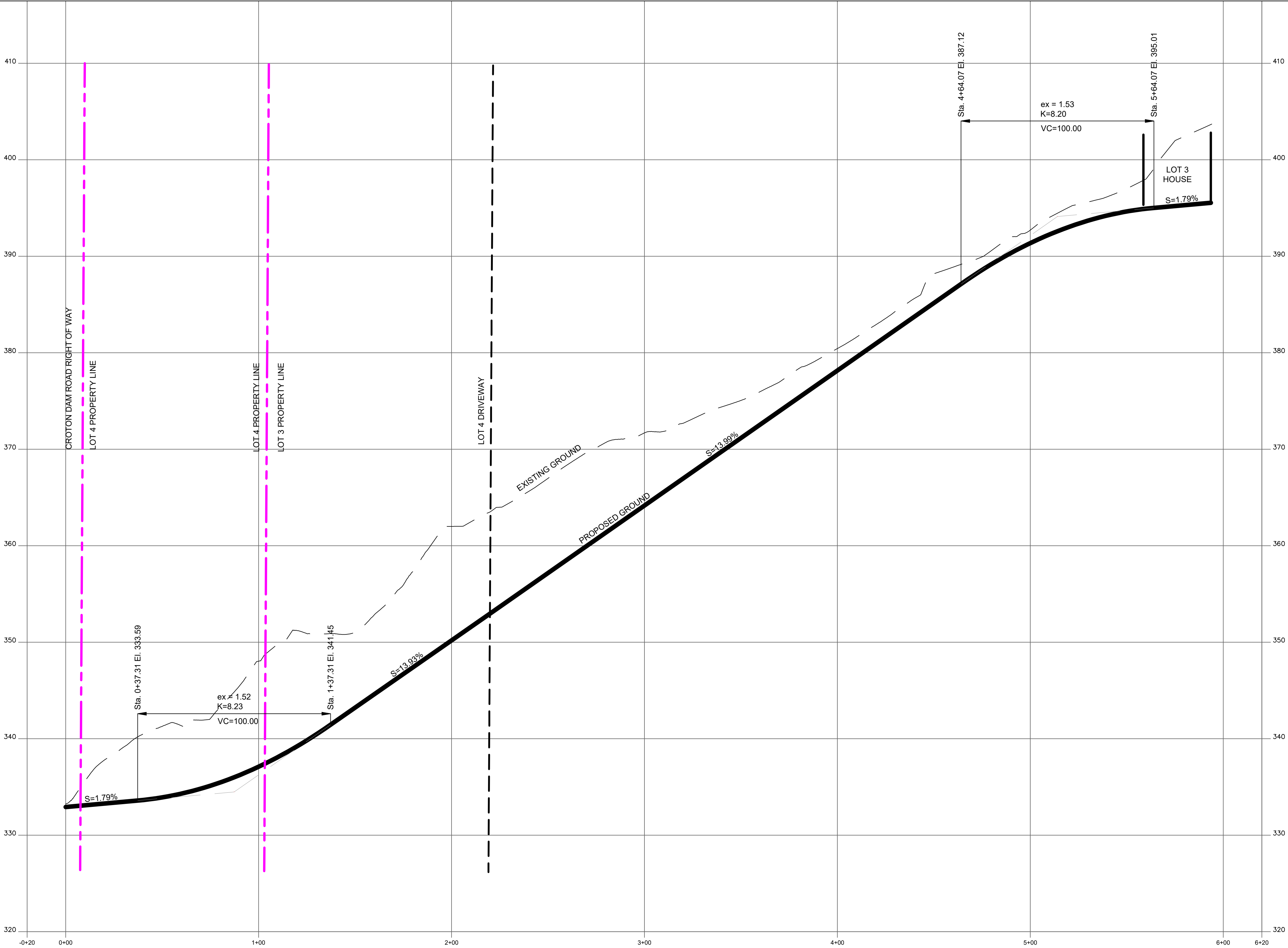
REVISIONS		
NO.	DATE	ISSUE
1	9/24/18	SUBDIVISION APPLICATION

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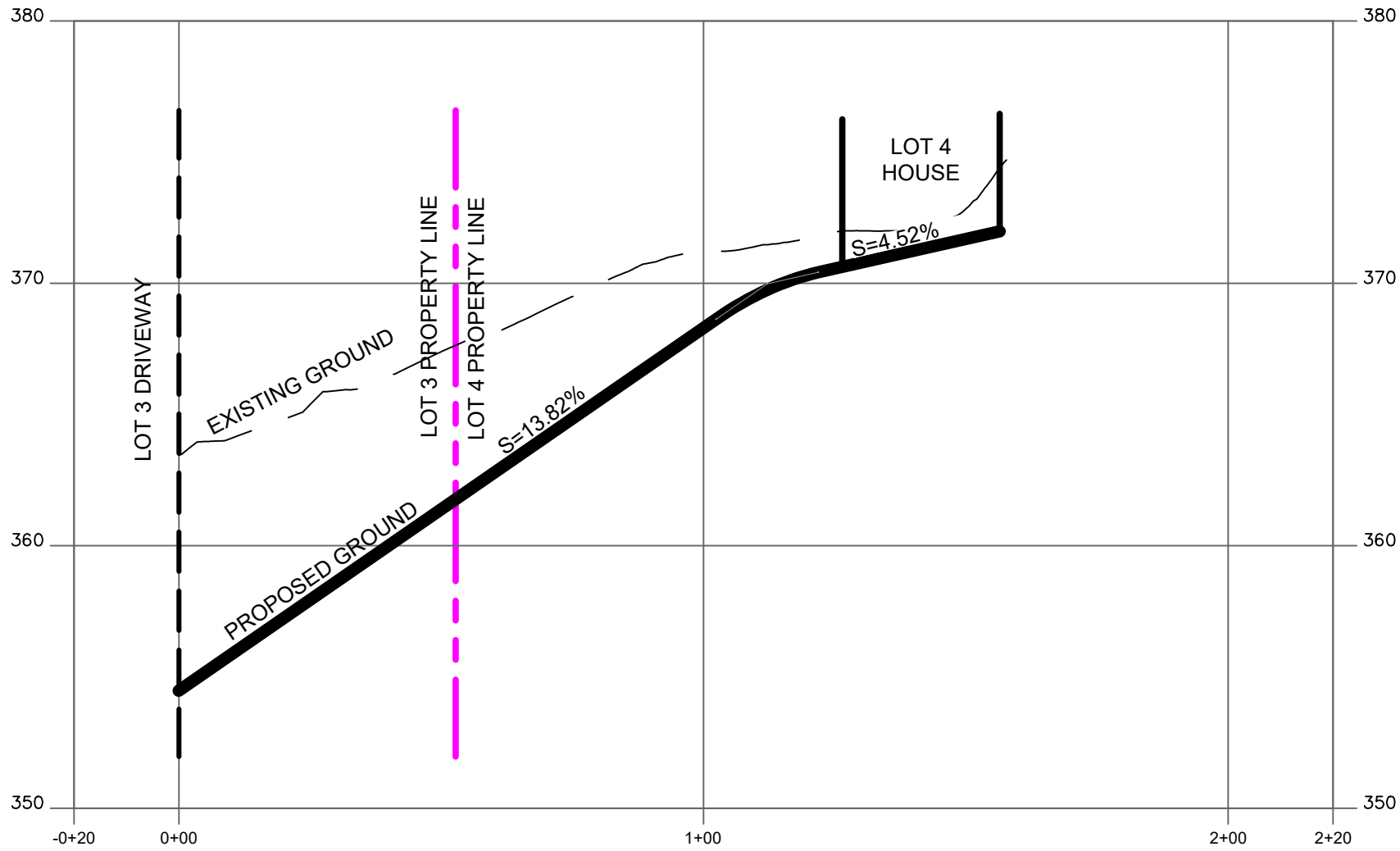
STEEP SLOPES

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PROJECT NO.	818	DATE:	5/29/18
DRAWING NO.	SP-6.0		

LOT 3
DRIVEWAY



LOT 4
DRIVEWAY



37-41 CROTON DAM
ROAD - SUBDIVISION
TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE
ARCHITECT

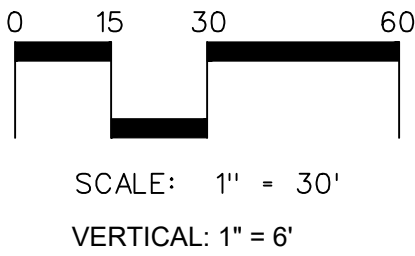
DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601

P: 914.428.0010
F: 914.428.0017

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-8003



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NO.	DATE	ISSUE
1	9/24/18	SUBDIVISION APPLICATION

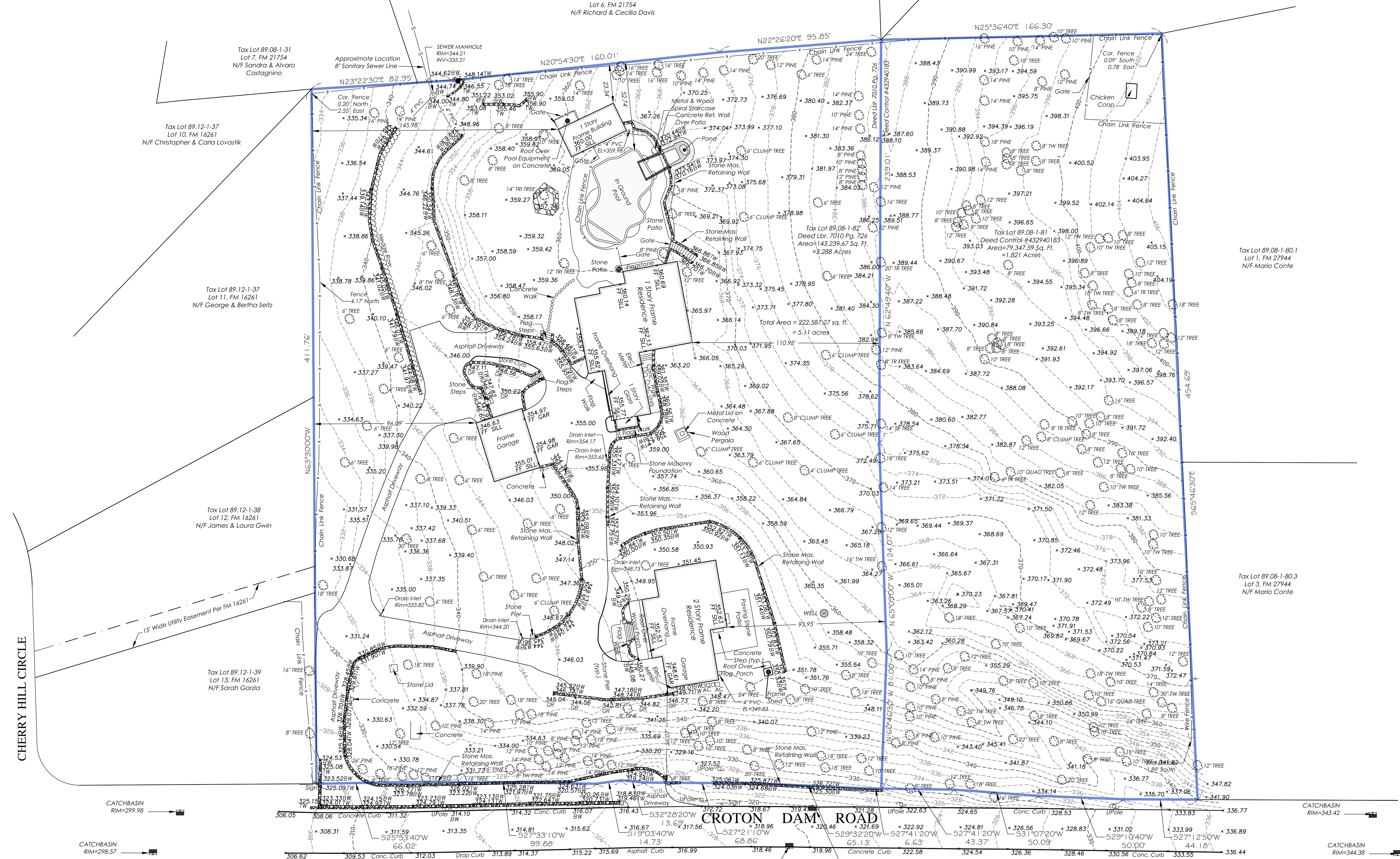
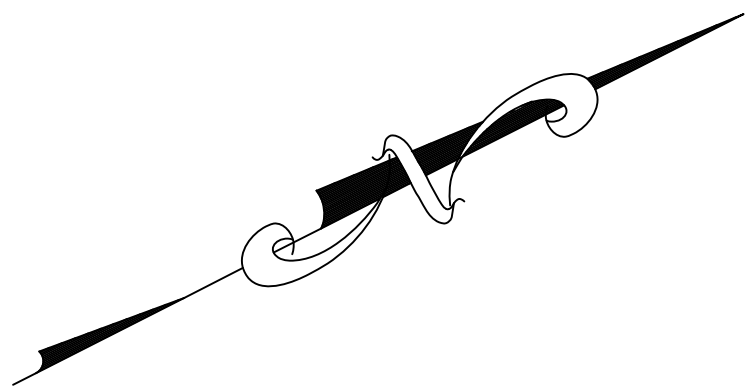
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DRIVEWAY PROFILES



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PROJECT NO. 818	DATE: 5/29/18
DRAWING NO.	

SP-7.0



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

AS TO TAX LOT 81:

Surveyed in accordance with Deed Control Number 432940183.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 81.

Property Address:
41 Croton Dam Road
Ossining, NY 10562

AS TO TAX LOT 82:

Surveyed in accordance with Deed Liber 7010, Page 726.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 82.

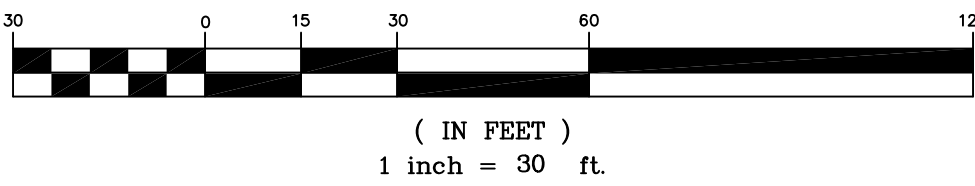
Property Address:
37 Croton Dam Road
Ossining, NY 10562

Total Area of Tax Lot 81 and Tax Lot 82 = 222,587.26 Sq. Ft. = 5.109 Acres

TOPOGRAPHY OF PROPERTY
PREPARED FOR
TAX LOTS 81 AND 82
SITUATE IN THE
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

GRAPHIC SCALE



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394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

Surveyed: February 8, 2018
Map Prepared: February 14, 2018

By:
Scott B. Gray New York State Licensed Land Surveyor No.050672

Project: 18-011	Field Survey By: AN/FT
Drawn By: CMP	Checked By: SBG