

ZONING SCHEDULE:

ZONING DISTRICT: MF-1, MULTI FAMILY RESIDENTIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	40,000 SF.	240,751 SF.	NONE
MINIMUM LOT WIDTH:	150 FT.	522 FT.	NONE
MINIMUM LOT DEPTH:	150 FT.	414 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	50 FT.	52 FT.	NONE
REAR YARD SETBACK:	40 FT.	201 FT.	NONE
ONE SIDE YARD SETBACK:	50 FT.	50 FT.	NONE
COMBINED SIDE YARD SETBACK:	100 FT.	100 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
LOT COVERAGE:	66% x 240,751 SF = 158,895 SF	71,456 SF	NONE
BUILDING COVERAGE:	20% x 240,751 SF = 48,151 SF	32,767 SF	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	30 FEET	NONE
PRINCIPAL BUILDING - STORIES:	2 1/2	2 1/2	NONE

ZONING REGULATION NOTES:

- AT LEAST 1/3 OF THE NET SITE AREA SHALL BE DEVOTED TO PERMANENT OPEN SPACE AND/OR FOR SITES SUITABLE FOR RECREATION AS REQUIRED BY NOTE 2. UNDEVELOPED PERMANENT OPEN SPACE SHALL BE PROVIDED AND GUARANTEED AT THE RATE OF 1,500 SQUARE FEET PER BEDROOM.
- THERE SHALL BE PROVIDED ON THE SAME LOT A SUITABLY EQUIPPED AND LANDSCAPED CHILDREN'S PLAY AREA WITH A MINIMUM OF 400 SQUARE FEET FOR EACH DWELLING UNIT.
- BUILDING COVERAGE SHALL BE NO MORE THAN 20% OF LOT AREA. 20% x 240,751 SF = 48,151 SF

PARKING SCHEDULE

PARKING REQUIRED: Two (2) spaces per dwelling unit pursuant to Zoning Section 200-29, Dwelling, Multifamily

Proposed Dwelling units.	Indoor Parking	Breakdown	Total Parking
Building No. 1	Standard	25	
	Handicap	1	
	Total	26	26
Building No. 2	Standard	30	
	Handicap	1	
	Total	31	31
Outdoor Parking	Standard	48	
	Handicap	3	
	Total	51	51
Total Parking Provided			108
Bank Parking for future use, if required [spaces #59,60,61 & 62]	Standard		4
Total Potential Parking Available			112

NOTES:

- PARKING REGULATION IN CONFORMANCE WITH CHAPTERS 200-29 A(1),(2),(3)(a), C, D(1),(2)

Article VI.

Section 200.33 Affordable Housing (BMR)
Section 200.34 Required 10% of the number of Dwelling units
More than 5, but fewer than 10 acres 30%
Maximum permitted Density Bonus
Calculation Dwelling 41 Aptm 41
1/2 of the units received must be BMR
Density Bonus (x) 30%
Number of Dwelling units 12.3
Rounded Number of Dwelling units 12
Total number of units with density Bonus 53

1/2 of the Bonus Units received must be BMR 6
BMR units will be broken down as follows: 1 2 bedroom unit
5 1 bedroom units

General Description of Project

Number of Multifamily Units	Type	Non-BMR	BMR Units	Total Units	Bedrooms	Unit Ratio
One (1) B/R		31	9	40	40	75%
Two (2) B/R		10	3	13	26	25%
Total Dwelling Units		41	12	53	66	100%

Section 200.29

Parking & loading			
2 for each dwelling unit plus 0.5 for each bedroom			Total
more than 2 bedrooms	Regular Apts	BMR Apts	Parking
Dwelling Units	41	12	
Parking per Dwelling Unit	(x) 2	(x) 2	
Total Parking spaces required	82	24	106

Building Height Max

Stories	2 1/2
Feet	35'
Design	Colonial

DISTANCE BETWEEN BLDGS. (#200-16C(1)(B))

BUILDING HEIGHT X 2 = 30' X2= 60' PROVIDED 60.4'

BULK REGULATIONS (#200-22)

THE TOTAL NUMBER OF APARTMENTS ALLOWED PER SECTION 200-22:

BULK REGULATIONS

- REQUIRED SQ FT PER DWELLING UNIT. 4,000 SF PLUS 1,500 SQ.FT PER BEDROOM.
ONE (1) BEDROOM APARTMENTS 5,500
TWO (2) BEDROOM APARTMENTS 7,000

CALCULATION:

ONE (1) BEDROOM APARTMENTS
5,500SF X 31 = 170,500 SF 31
TWO (2) BEDROOM APARTMENTS
7,000 SF X 10= 70,000 SF
TOTAL APARTMENTS 41

TOTAL SF AREA REQUIRED 240,000 SF
TOTAL PROVIDED-SITE SF AREA: 240,751 SF

Article VI. Affordable Housing

See Sheet T for Calculation of the BMR Units and Compliance with this Section

Section 200-33 Required below -market-rate-unit component

No fewer than 10% of the total number of Units Shall be BMR Units

Number of BMR Units Provided 6

Section 200-34 Residential Density bonus; Multifamily

More than 5 acres, but fewer than 10 30% Bonus

Section 200-35

Sub-Section A The BMR units shall be no less than 80% of the size of said market rate units and shall be reasonably distributed. Further, the BMR units shall provide a mix of unit types in the same proportion
Number of BMR Units Provided 6

See Sheet "T"

The Breakdown of the BMR Units are:

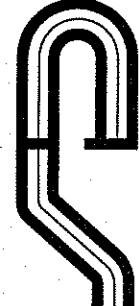
One (1) Bedroom Units 3 Simplex & 2 Duplex Units 5

Two (2) Bedroom Units 1 Simplex Unit 1

Total BMR Units See location in schedule below 6

Parth Knolls Apartment Tabulation

Building No.	Floor No.	Apartment No.	Livable Sq Ft Area	One B/R Simplex	One B/R Duplex	Two B/R Simplex	BMR Unit	Simp 1 B/R	Dupl 1 B/R	Simp 2 B/R
One	1st fl.	101	1,013	1,013				1		
One	1st fl.	102	1,032	1,032				1		
One	1st fl.	103	1,095	1,095				1		
One	1st fl.	104	1,095	1,095				1		
One	1st fl.	105	1,099	1,099				1		
One	1st fl.	106	1,375			1,375				1
One	1st fl.	107	1,081	1,081				1		
One	1st fl.	108	1,007	1,007			BMR			
One	1st fl.	109	1,054	1,054				1		
One	1st fl.	110	1,218			1,218				1
Two	1st fl.	111	1,263			1,263			8	2
Two	1st fl.	112	933	933				1		1
Two	1st fl.	113	1,015	1,015				1		
Two	1st fl.	114	1,053	1,053			BMR			
Two	1st fl.	115	1,459			1,459				1
Two	1st fl.	116	1,015	1,015				1		
Two	1st fl.	117	1,034	1,034				1		
Two	1st fl.	118	1,216			1,216				1
Two	1st fl.	119	1,200			1,200				1
Two	1st fl.	120	927	927				1		
Two	1st fl.	121	1,121	1,121				1		
Two	1st fl.	122	941	941				1		
Two	1st fl.	123	846	846			BMR			
One	2nd fl.	201	1,119		1,119			16	0	7
One	2nd fl.	202	1,119		1,119		BMR			
One	2nd fl.	203	1,145		1,145					
Page 1, Bal. forward page 2			28,475	16,308	2,238	9,929		16	2	8
Building No.	Floor No.	Apartment No.	Livable Sq Ft Area	One B/R Simplex	One B/R Duplex	Two B/R Simplex	BMR Unit	Simp 1 B/R	Dupl 1 B/R	Simp 2 B/R
Balances forward from page 1			28,475	16,308	2,238	9,929		16	2	8
One	2nd fl.	204	1,087	1,087				1		
One	2nd fl.	205	1,276		1,276					1
One	2nd fl.	206	1,264		1,264					1
One	2nd fl.	207	1,087	1,087				1		
One	2nd fl.	208	849	849			BMR			
One	2nd fl.	209	1,109		1,109					1
One	2nd fl.	210	1,081	1,081				1		
One	2nd fl.	211	1,109		1,109					1
One	2nd fl.	212	1,193	1,193				1		
One	2nd fl.	213	1,043		1,043					1
One	2nd fl.	214	1,110	1,110						
Two	2nd fl.	215	1,264			1,264				8
Two	2nd fl.	216	1,204		1,204					1
Two	2nd fl.	217	1,208		1,208		BMR			
Two	2nd fl.	218	950	950				1		
Two	2nd fl.	219	1,255		1,255					1
Two	2nd fl.	220	1,038	1,038				1		
Two	2nd fl.	221	1,202		1,202					1
Two	2nd fl.	222	1,184		1,184					1
Two	2nd fl.	223	1,038	1,038				1		
Two	2nd fl.	224	1,185		1,185					1
Two	2nd fl.	225	1,102		1,102					1
Two	2nd fl.	226	1,375		1,375					1
Two	2nd fl.	227	1,250		1,250					1
Two	2nd fl.	228	1,250	1,250				1		
Two	2nd fl.	229	1,195		1,195					1
Two	2nd fl.	230	1,138		1,138					1
Total Square Foot Areas			59,523	26,991	16,469	16,063		26	14	13
Break down of Apartment Type				26 Apts	14 Apts	13 Apts				
Average Sq ft size by Apartment Type				1,038 sf	1,176 sf	1,236 sf				
Section 200.35.A										
BMR Units must be no less than 80% of size of said market rate units				830 sf	941 sf	989 sf				
Section 200.35.B										
Minimum gross Floor Area				675 sf	675 sf	750 sf				
Section 200.22										
Minimum requirements, 700 sf per for 1 or more bedrooms				700 sf	700 sf	700 sf				
Provided BMR Units										
Bldg. # 1 1st Fl. Apt No.108				1,007 sf			1 B/R Simplex			
Bldg. # 1 2nd Fl. Apt No.202					1,119 sf		1 B/R Duplex			
Bldg. # 1 2nd Fl. Apt No. 208				849 sf			1 B/R Simplex			
Bldg. # 2 1st Fl. Apt No.123				846 sf			1 B/R Simplex			
Bldg. # 2 1st Fl. Apt No.114						1,053 sf	2 B/R Simplex			
Bldg. # 2 2nd Fl. Apt No. 227					1,209 sf		1 B/R Duplex			
87 Parth Knolls BMR Units-Rev.1.2.29.16				Page 2						



PROJECT # 15-18

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Engineer:

Joseph C. Rina, P.E.
NYS Lic. No. 64431

Revisions:	No.	Date	Comments
	1	11/9/15	Town Comments
	2	1/25/16	Town Comments
	3	1/25/16	Town Comments
	4	3/7/16	Town Comments
	5	4/8/16	Town Comments
	6	5/23/16	Building 2 Revision - Parking and Vestibule

SCALE:

NTS

DRAWN BY:

TK

DATE:

9/25/15

TITLE SHEET 2

SITE PLAN
PREPARED FOR

PARTH KNOLLS LLC.

87 HAWKES AVENUE

Town of Ossining
Westchester County, NY

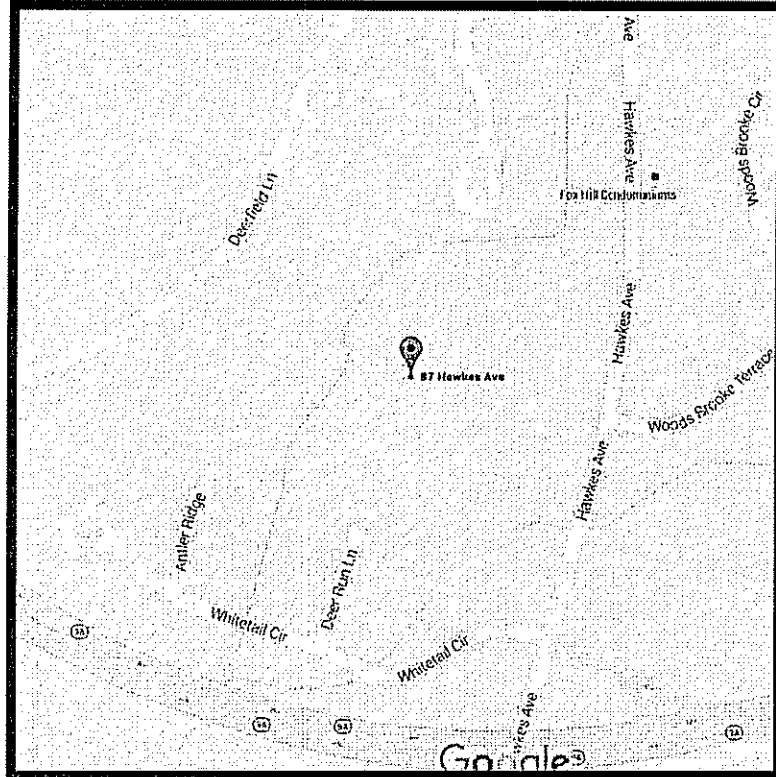
Sheet

T-2

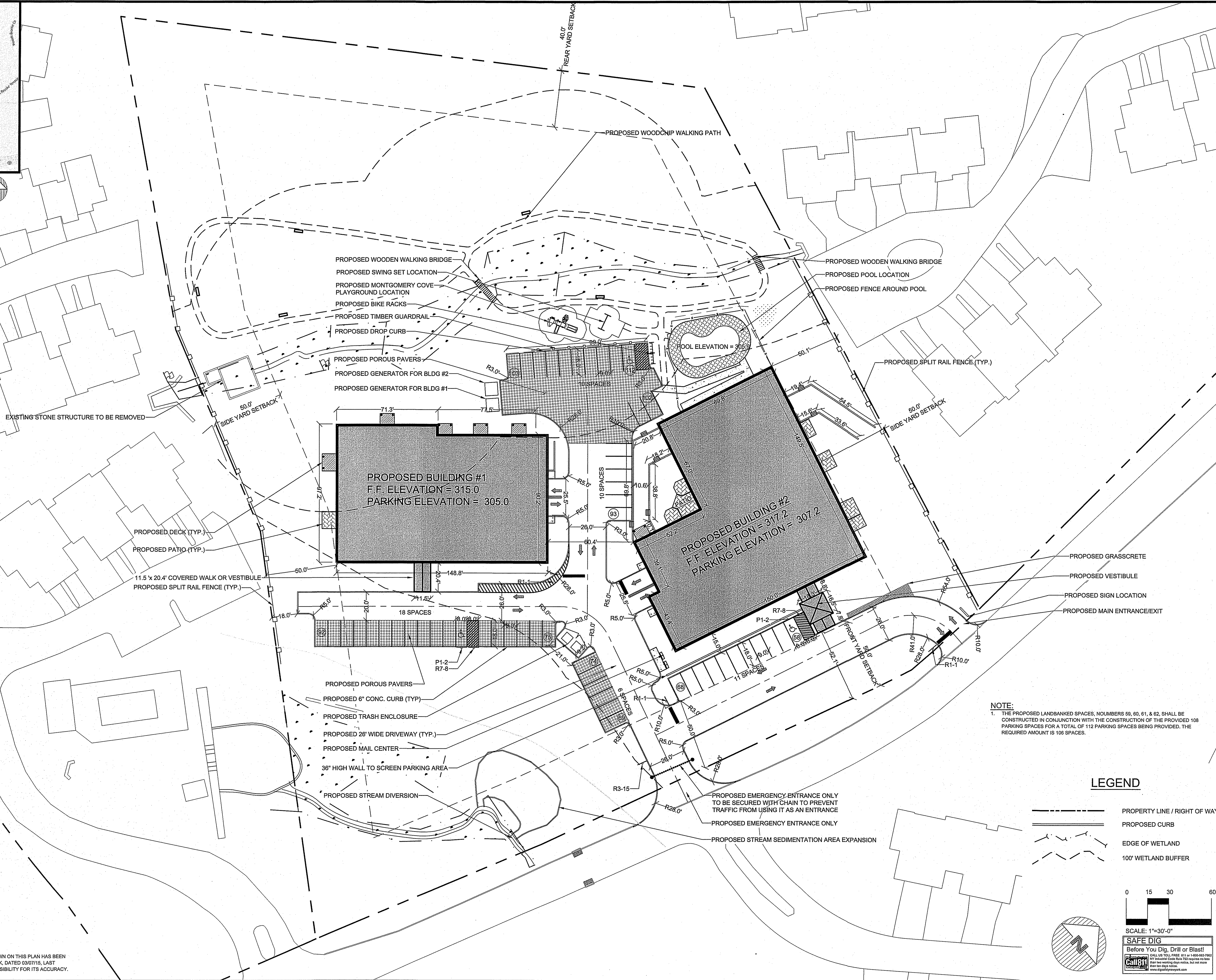
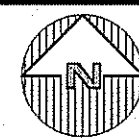
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JUN 03 2016

Town of Ossining
Building & Planning Department



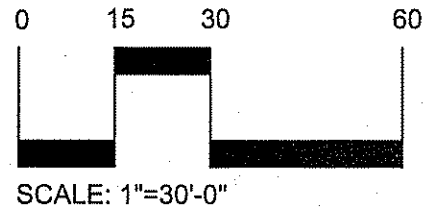
LOCATION MAP
NOT TO SCALE



NOTE:
1. THE PROPOSED LANDBANKED SPACES, NUMBERS 59, 60, 61, & 62, SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE CONSTRUCTION OF THE PROVIDED 108 PARKING SPACES FOR A TOTAL OF 112 PARKING SPACES BEING PROVIDED. THE REQUIRED AMOUNT IS 106 SPACES.

LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER

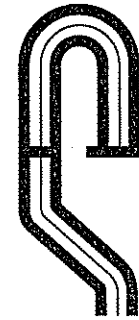


SCALE: 1"=30'-0"

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NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JOSEPH R. LINK, DATED 03/07/15, LAST REVISED 06/08/15. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



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	5	4/26/16	Building 2 Revision
	6	5/23/16	Parking and Vestibule

SCALE:
1" = 30'

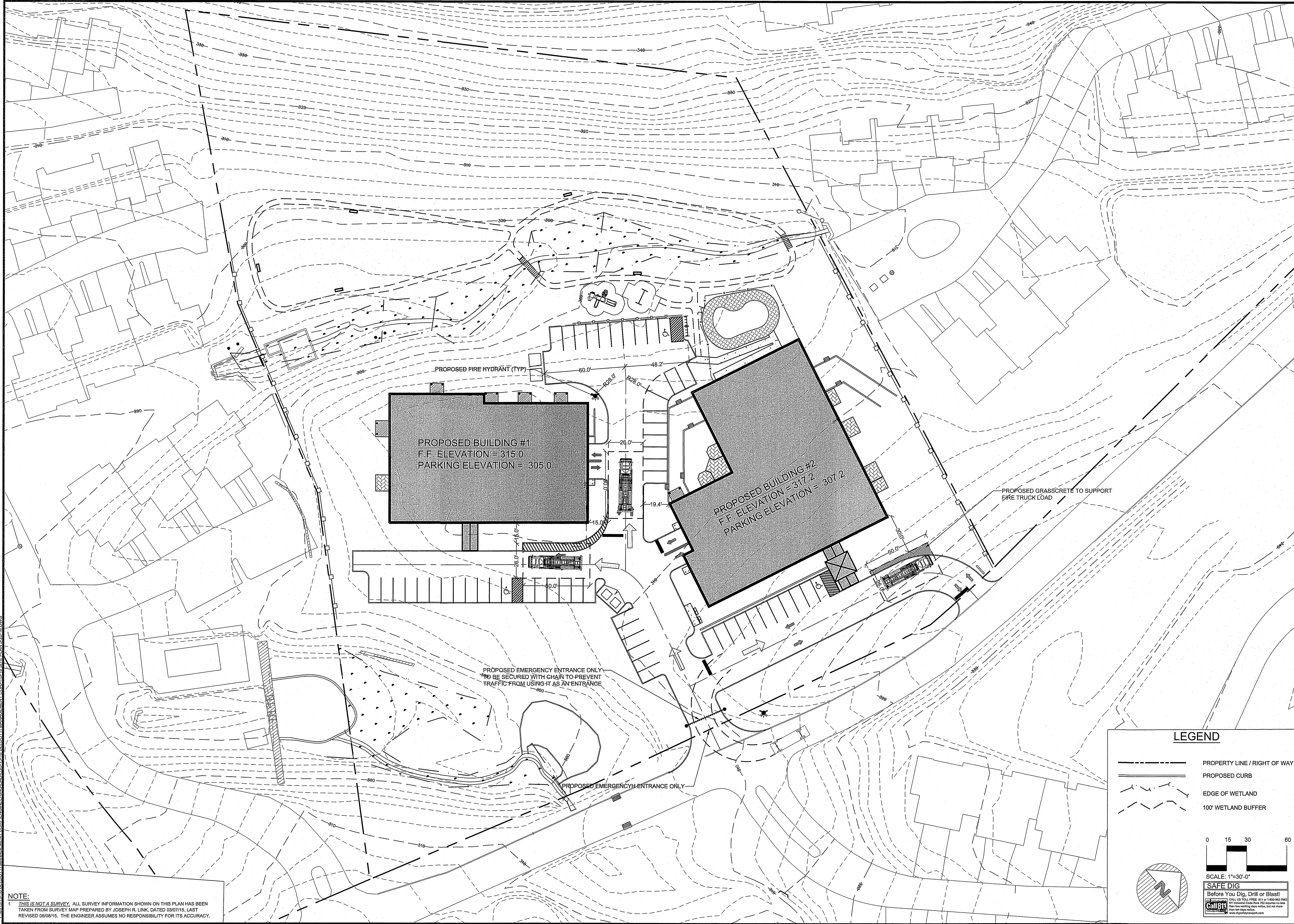
DRAWN BY:
TK

DATE:
9/25/15

SITE PLAN

SITE PLAN
PREPARED FOR
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

Sheet
C-101



NOTE:
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LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER

0 15 30 60

SCALE: 1"=30'-0"

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SCALE: 1" = 30'

DRAWN BY: TK

DATE: 9/25/15

FIRE ACCESS PLAN

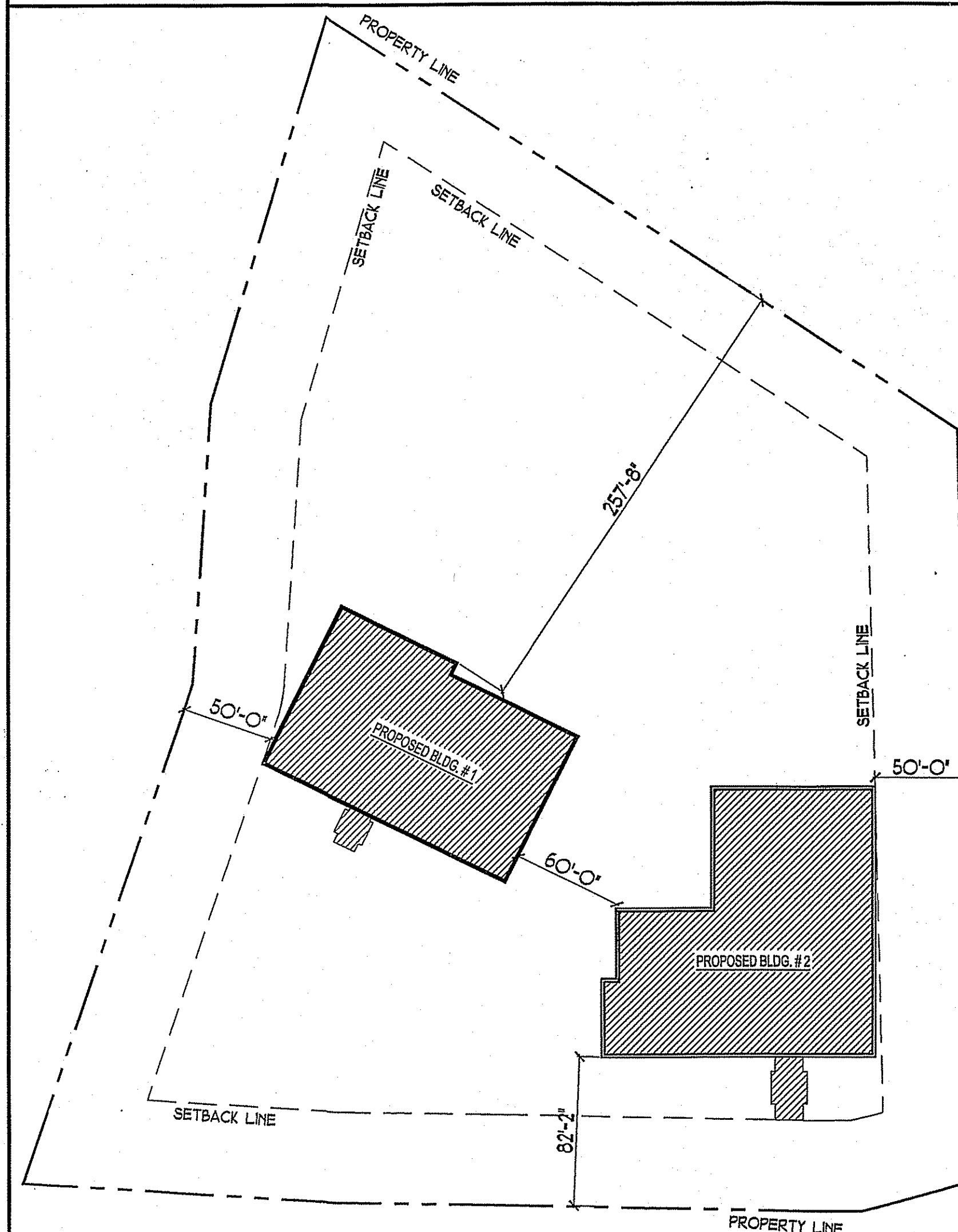
SITE PLAN PREPARED FOR
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

Sheet **C-109**

NEW RESIDENTIAL DEVELOPMENT PARTH KNOLLS, LLC.

87 HAWKES AVENUE OSSINING, NEW YORK 10562

SCHEMATIC SITE PLAN



SCHEMATIC SITE PLAN
1"=60'-0"

* NOTE:
REFER TO SITE DESIGN
CONSULTANTS DRAWINGS
FOR AVERAGE GRADE
CALCULATIONS

DRAWING LIST

A-100	ZONING, CODE ANALYSIS & ADA STANDARDS
A-100A	SCHEMATIC BUILDING LAYOUT AND TABULATIONS
A-101	PROPOSED BUILDING #1-BASEMENT FLOOR PLAN
A-102	PROPOSED BUILDING #1-FIRST FLOOR PLAN
A-103	PROPOSED BUILDING #1-SECOND FLOOR PLAN
A-104	PROPOSED BUILDING #1-UPPER LEVEL FLOOR PLAN
A-105	PROPOSED BUILDING #1-ROOF PLAN
A-106	PROPOSED BUILDING #1-FRONT AND REAR ELEVATIONS
A-107	PROPOSED BUILDING #1-LEFT AND RIGHT SIDE ELEVATIONS
A-201	PROPOSED BUILDING #2-BASEMENT FLOOR PLAN
A-202	PROPOSED BUILDING #2-FIRST FLOOR PLAN
A-203	PROPOSED BUILDING #2-SECOND FLOOR PLAN
A-204	PROPOSED BUILDING #2-UPPER LEVEL FLOOR PLAN
A-205	PROPOSED BUILDING #2-ROOF PLAN
A-206	PROPOSED BUILDING #2-FRONT AND REAR ELEVATIONS
A-207	PROPOSED BUILDING #2-LEFT AND RIGHT SIDE ELEVATIONS

CODE ANALYSIS

BUILDING #1	33,602 SQ.FT.
3	2-BEDROOM APARTMENTS
21	1-BEDROOM APARTMENTS
	26 PARKING SPACES AT LOWER LEVEL
BUILDING #2	40,530 SQ.FT.
10	2-BEDROOM APARTMENTS
19	1-BEDROOM APARTMENTS
	31 PARKING SPACES AT LOWER LEVEL
TOTAL	53 APARTMENTS (40 1-BEDROOMS + 13 2-BEDROOMS) 52,978 SQ.FT. 106 PARKING SPACES REQUIRED 112 PROVIDED

RECREATIONAL AREA (#200-16C(1) (D))
SEE C-110 SITE DESIGN CONSULTANTS DRAWINGS

DISTANCE BETWEEN BLDGS. (#200-16C(1) (B))
BUILDING HEIGHT X 2 = 30 X 2 = 60' PROVIDED 60'

OPEN NET AREA (#200-16C(3) (A))
SEE C-110 SITE DESIGN CONSULTANTS DRAWINGS

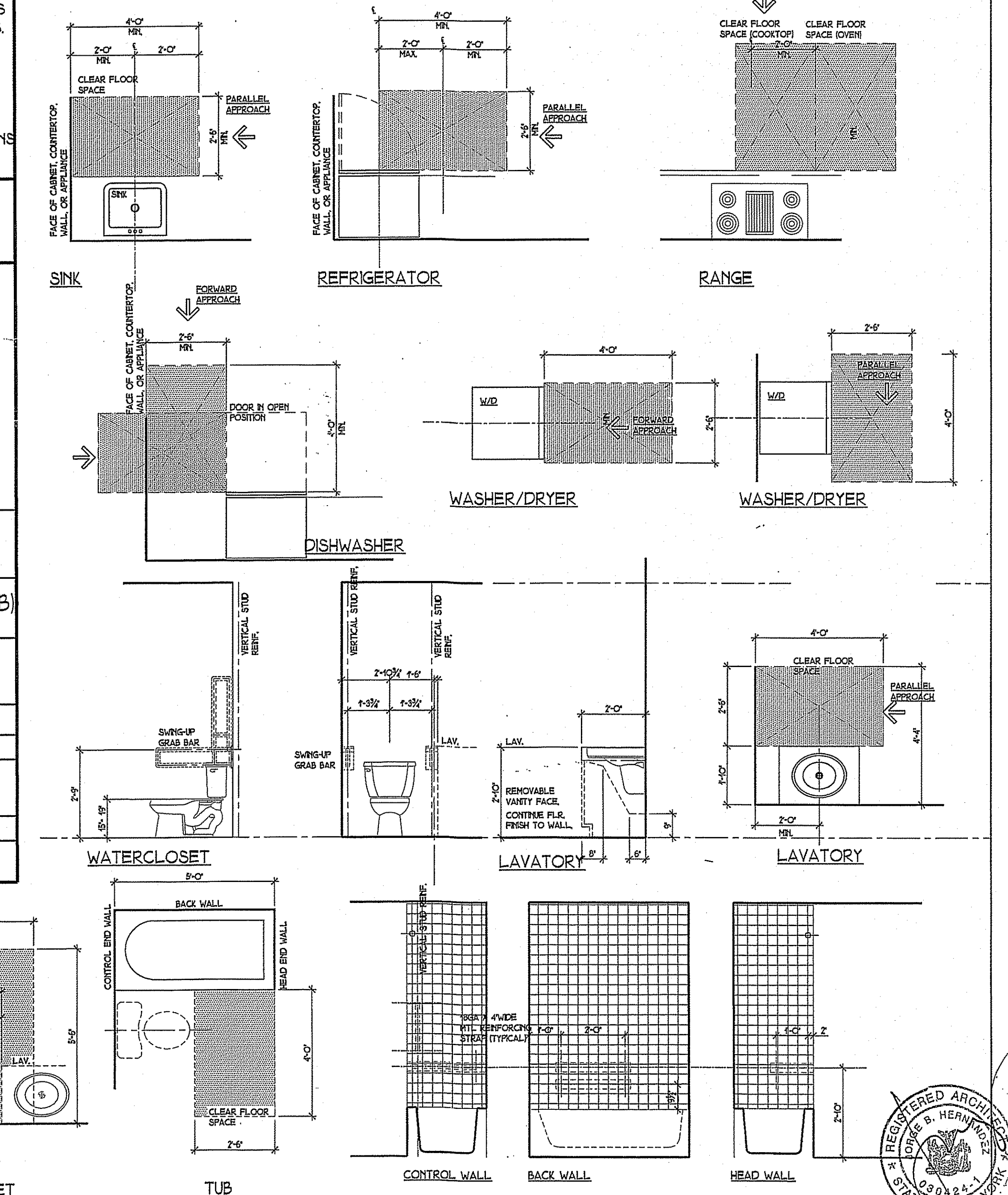
AFFORDABLE HOUSING (#200-33)
SEE COVER SHEET (DRAWING T) BY SITE DESIGN CONSULTANTS

PARKING (#200-29)
SEE COVER SHEET (DRAWING T) BY SITE DESIGN CONSULTANTS

A.D.A STANDARDS

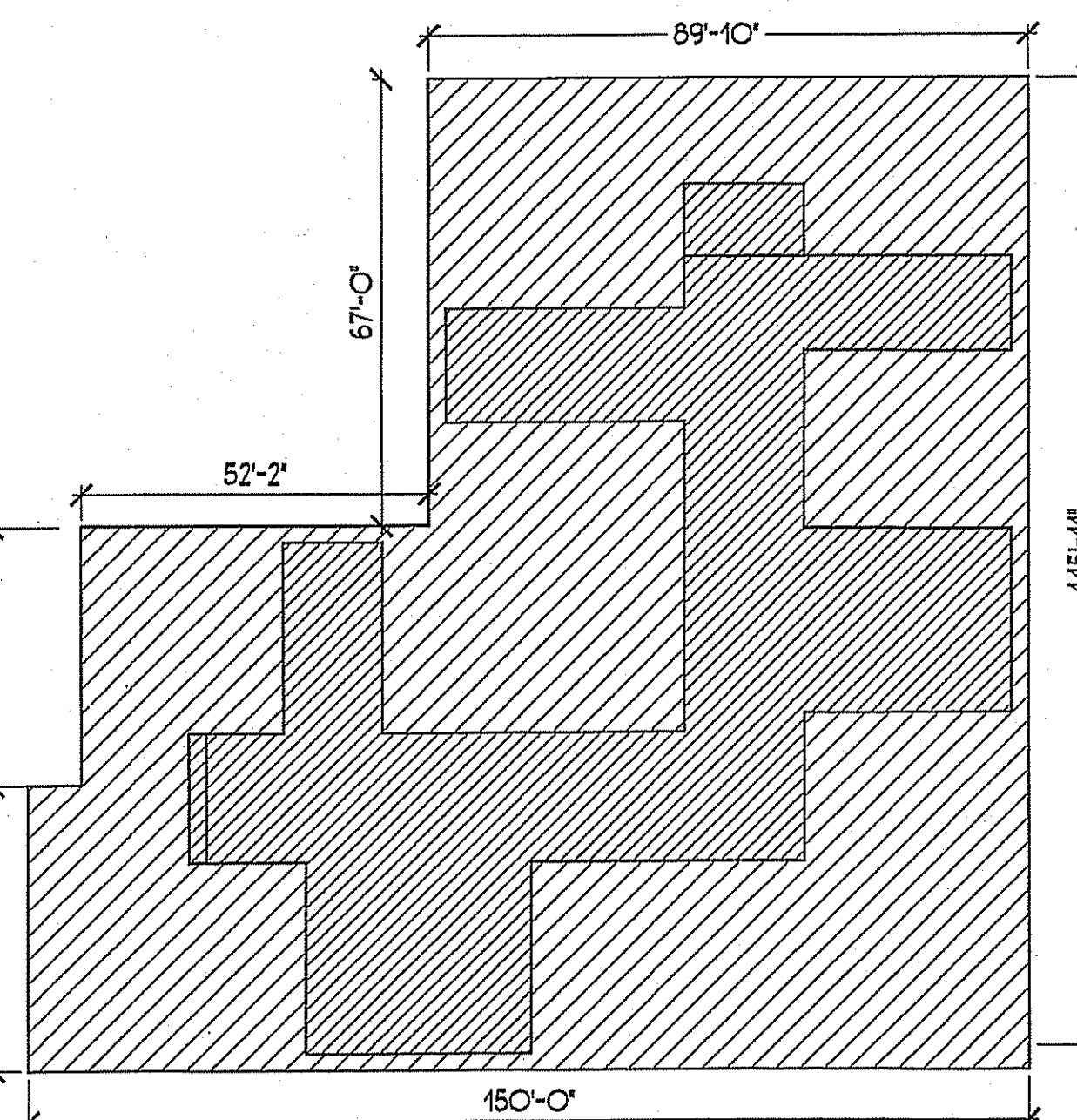
NOTES:

1. BCNYS 1107.6 GROUP R, ACCESSIBLE UNITS: TYPE A UNITS AND TYPE B UNITS SHALL BE PROVIDED IN GROUP R OCCUPANCIES IN ACCORDANCE WITH SECTIONS 1107.6.1 THROUGH 1107.6.12.
2. BCNYS 1107.6.2.1.1 TYPE B UNITS: WHERE THERE ARE FOUR OR MORE DWELLING UNITS OR SLEEPING UNITS INTENDED TO BE OCCUPIED AS A RESIDENCE IN A SINGLE STRUCTURE EVERY DWELLING UNIT AND SLEEPING UNIT INTENDED TO BE OCCUPIED AS A RESIDENCE SHALL BE A TYPE B UNIT.
3. ALL APARTMENTS SHALL COMPLY WITH ANSI 117.1-2009 FOR TYPE B DWELLING UNITS (SECTION 1004).
4. BATHROOMS SHALL COMPLY WITH ANSI 117.1-2009, SECTION 1004.11.3.1, OPTION A.
5. OPERABLE PARTS SHALL COMPLY WITH ANSI 117.1-2009, SECTION 1004.9. THIS SHALL INCLUDE LIGHTING CONTROLS, ELECTRICAL SWITCHES, RECEPTACLE OUTLETS, ELECTRICAL PANELBOARDS, AND USER CONTROLS FOR SECURITY AND INTERCOM SYSTEMS.
6. CONTRACTOR SHALL PROVIDE GRAB BAR REINFORCEMENT IN BATHROOMS AS SHOWN AND IN COMPLIANCE WITH ANSI 117.1-2009, SECTION 1004.11.1.
7. LAVATORIES SHALL BE PROVIDED WITH A REMOVABLE BASE CABINET. THE FINISH FLOOR SHALL CONTINUE TO THE WALL. THE WALL BEHIND THE CABINET SHALL BE FINISHED.

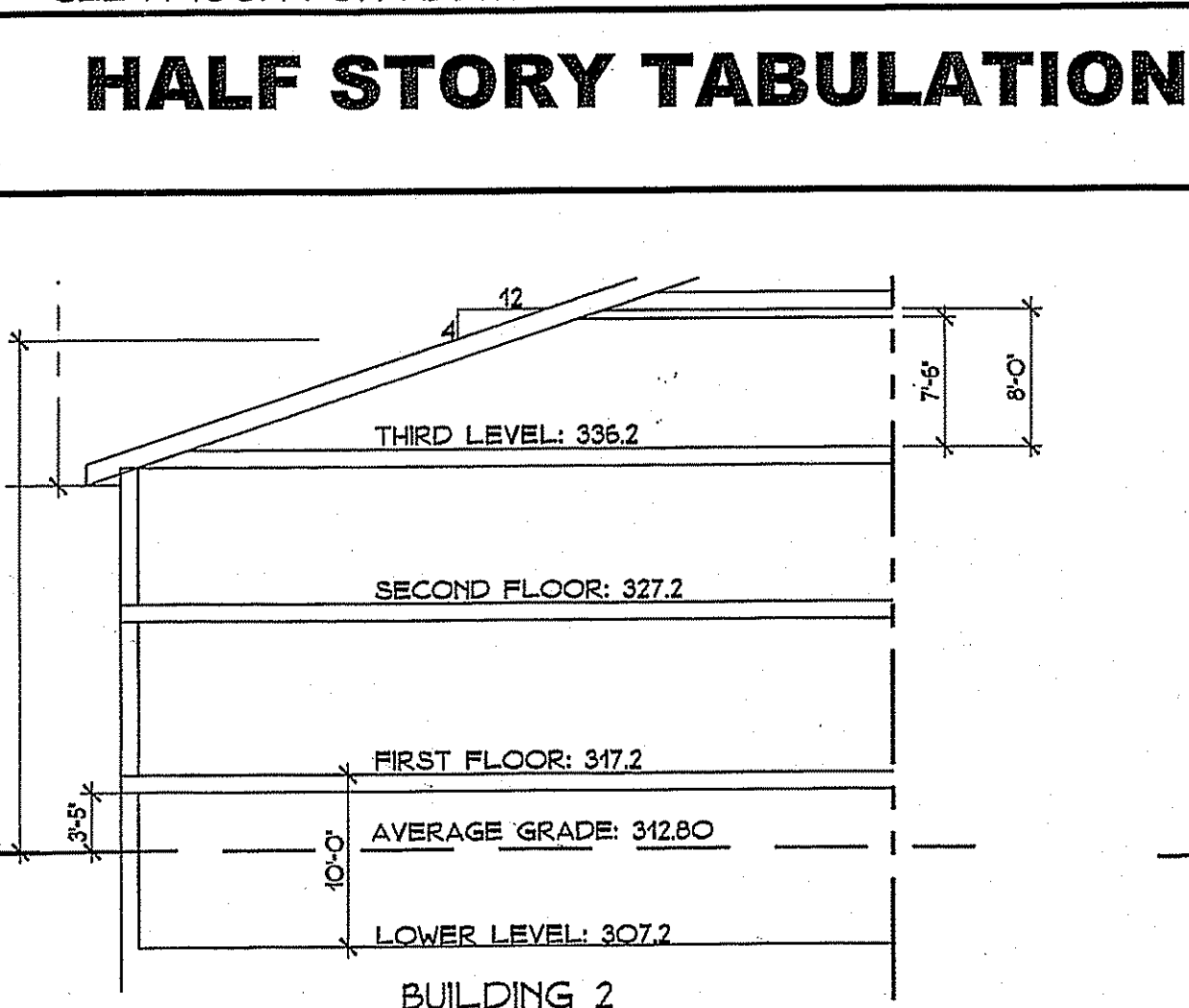


HALF STORY TABULATION

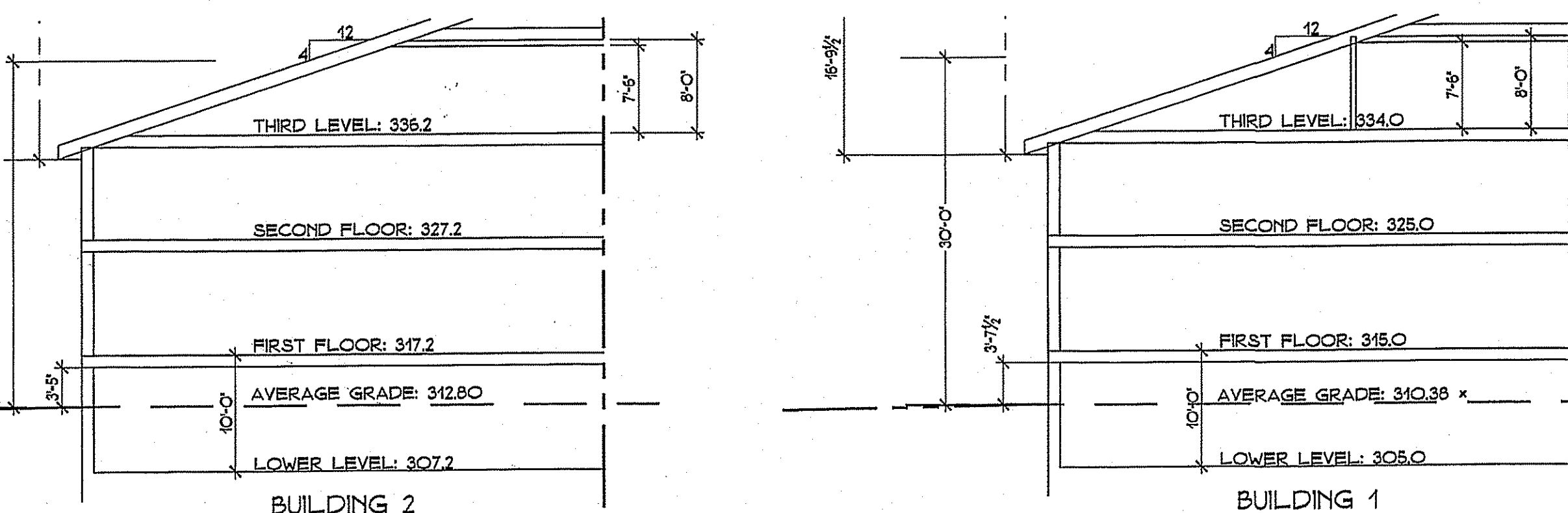
HALF STORY (BUILDING #1)
PER #200-53 MF DEFINITION OF HALF STORY PROPOSED AREA AT ROOF FRAMING WITH 90° OR GREATER CLNG HGT SHALL BE LESS THAN 50% OF TOTAL AREA.
AREA TABULATION:
PROPOSED AREA WITH CEILING AT 7'-6" OR GREATER IS 5,788 SQ.FT. OR 41.6 % OF TOTAL AREA (13,906 SQ.FT.)
SEE A-100A FOR ADDITIONAL LAYOUT INFORMATION



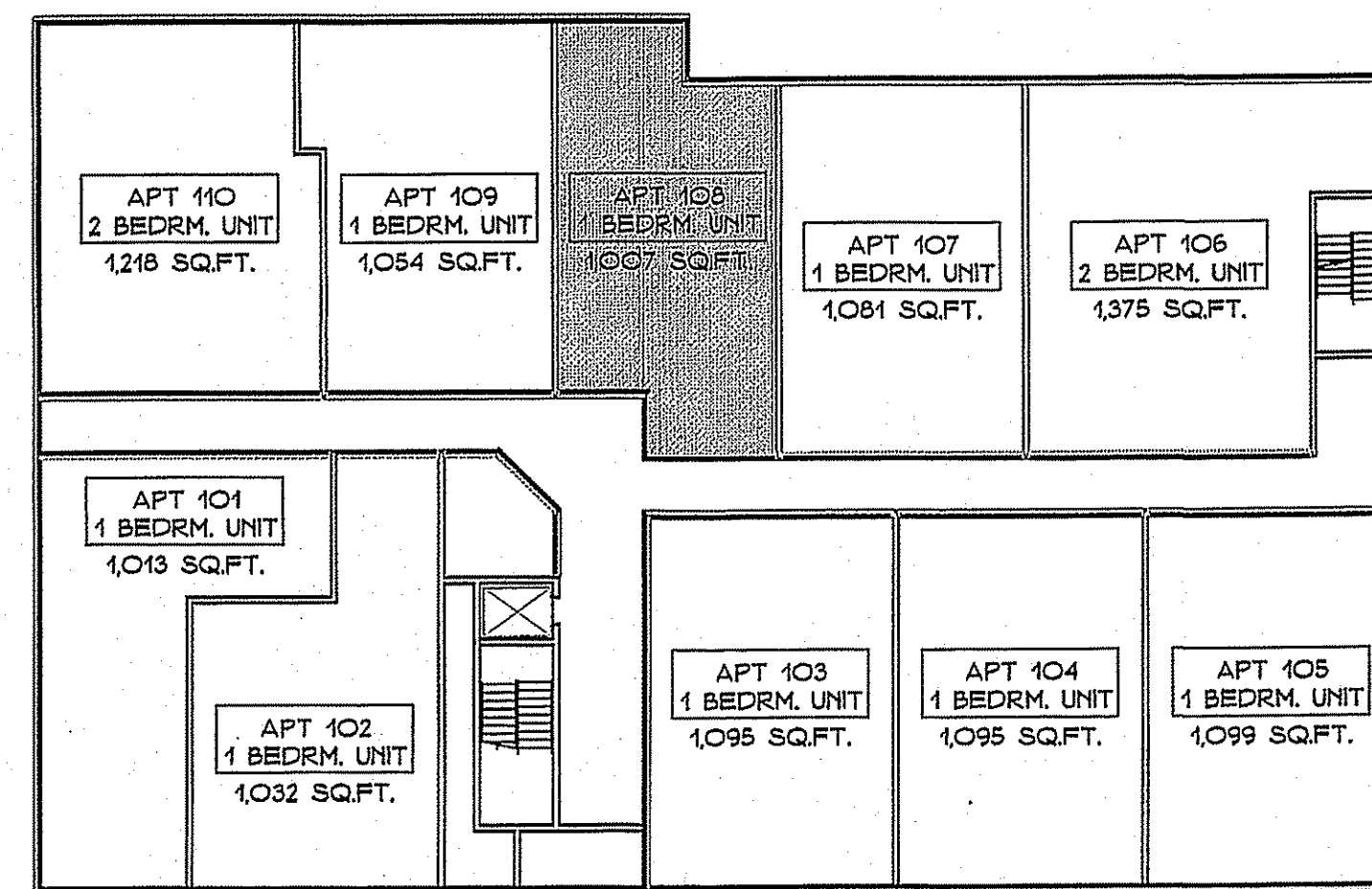
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PER #200-53 MF DEFINITION OF HALF STORY PROPOSED AREA AT ROOF FRAMING WITH 90° OR GREATER CLNG HGT SHALL BE LESS THAN 50% OF TOTAL AREA.
AREA TABULATION:
PROPOSED AREA WITH CEILING AT 7'-6" OR GREATER IS 6,764 SQ.FT. OR 37.4 % OF TOTAL AREA (18,110 SQ.FT.)
SEE A-100A FOR ADDITIONAL LAYOUT INFORMATION



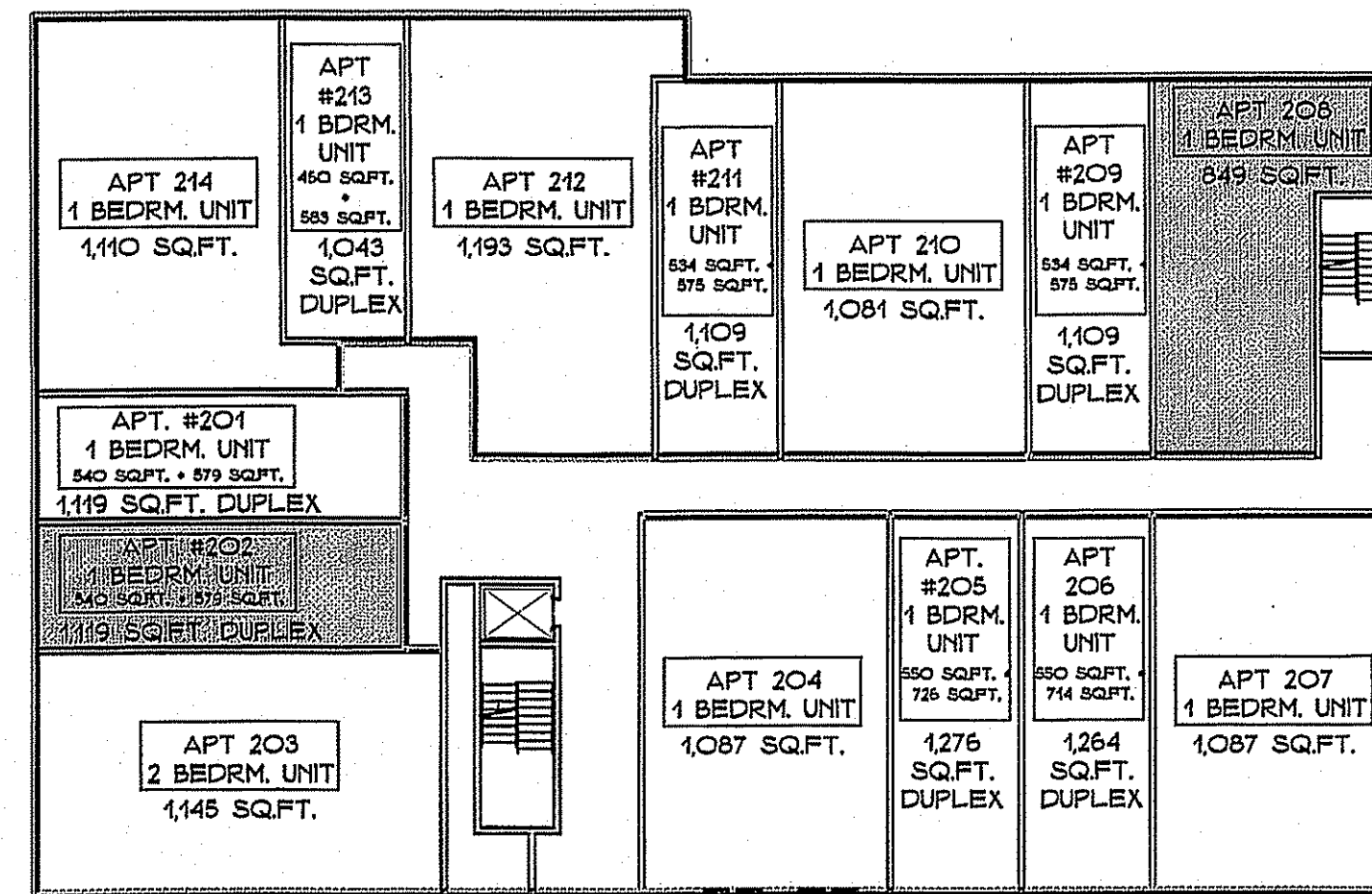
BUILDING HEIGHT TABULATION



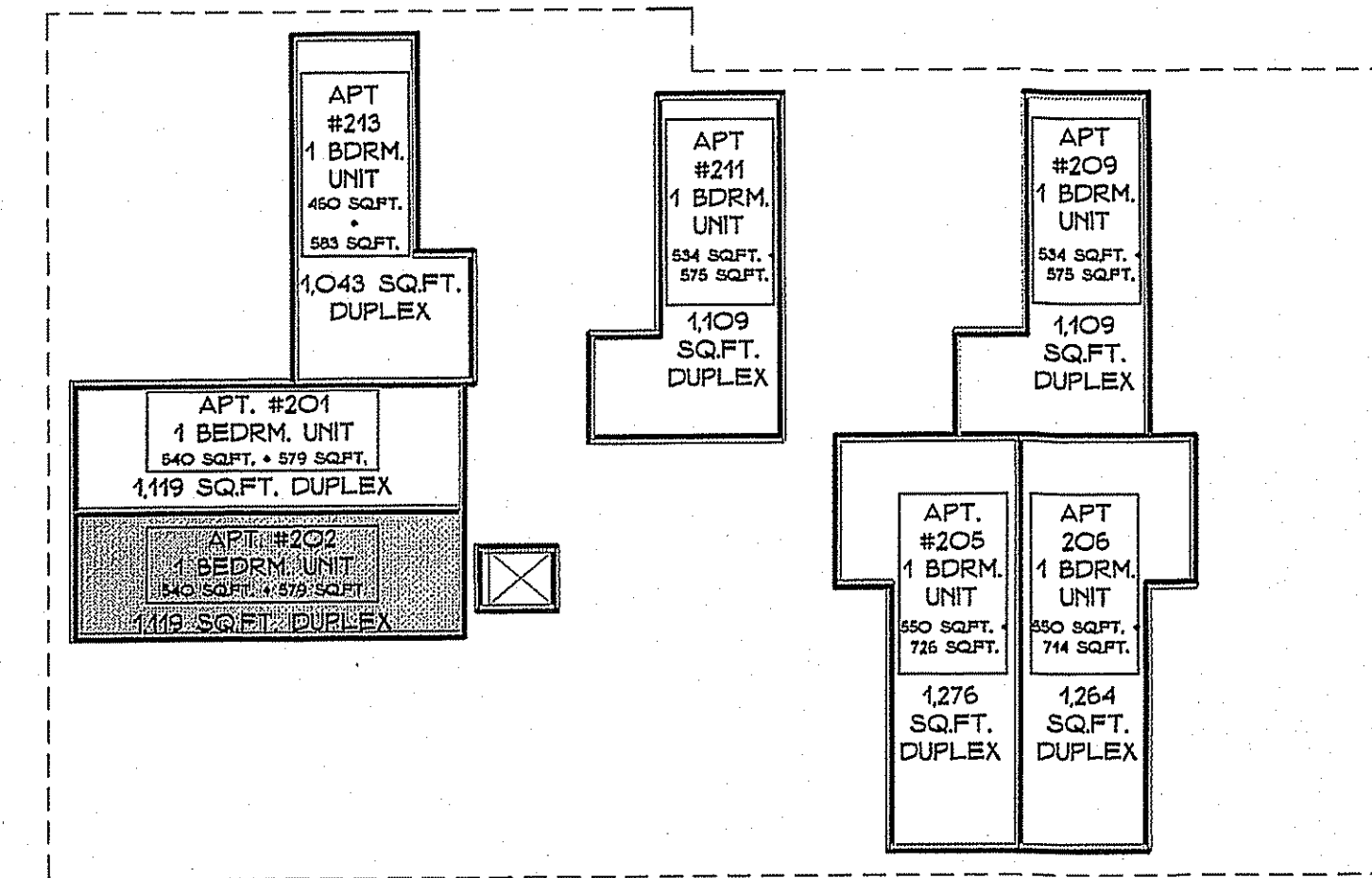
ARQ. HT. LLC. DESIGN & CONSTRUCTION MANAGEMENT CONSULTANTS ALL RIGHTS RESERVED 100 EXECUTIVE BLVD, SUITE 205 OSSINING, NY 10562 (914) 944-3377 FAX (855) 597-6242	DESIGN TITLE ZONING / CODE ANALYSIS / ADA JOB TITLE NEW RESIDENTIAL DEVELOPMENT PARTH KNOLLS, LLC. 87 HAWKES AVENUE OSSINING, NEW YORK 10562	SCALE AS SHOWN REVISIONS #1 4/8/2016 #2 5/23/2016	JOB NO. 15034 DRAWING A-100
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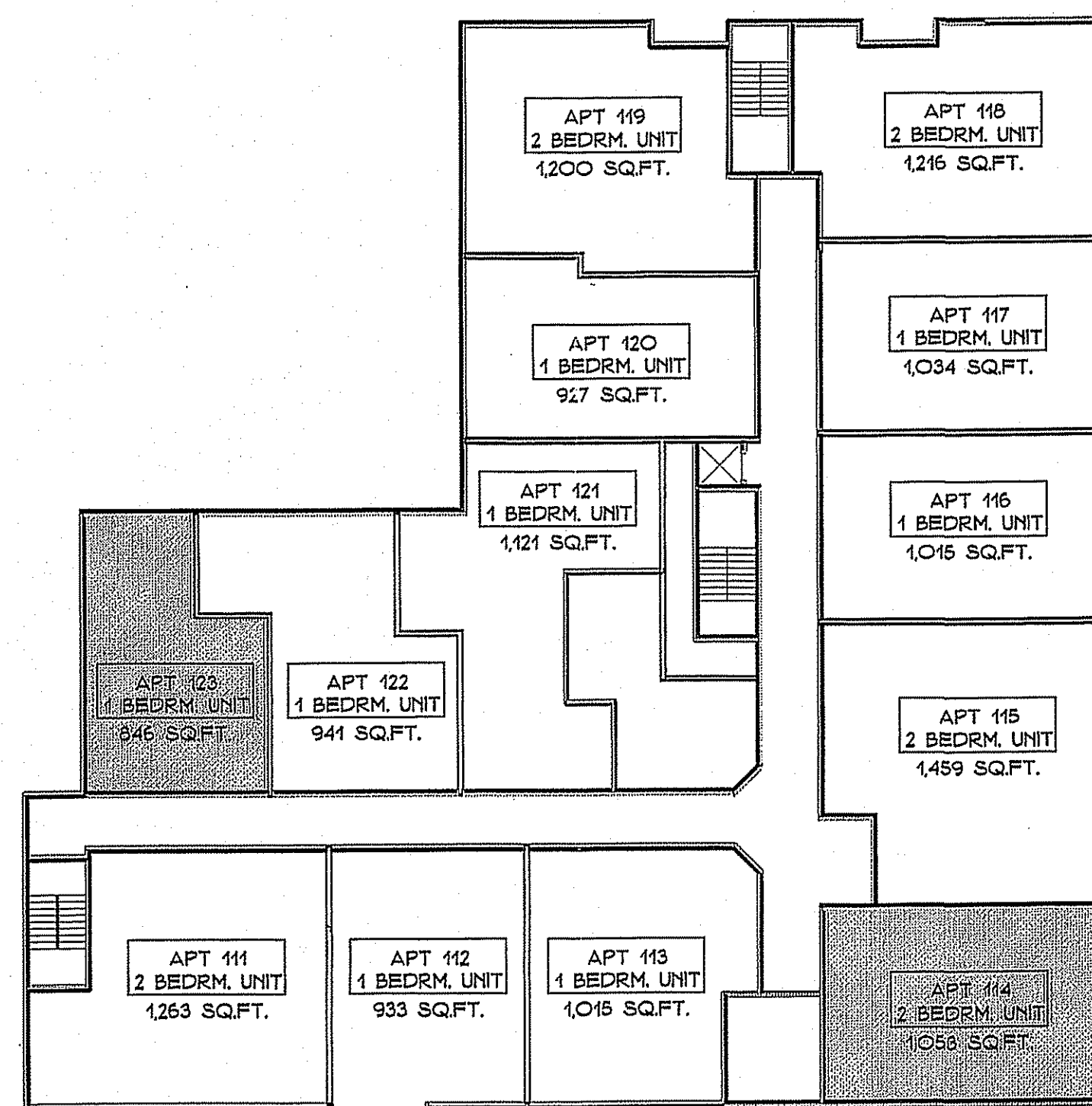
FIRST FLOOR-BUILDING #1 1" = 20'-0"



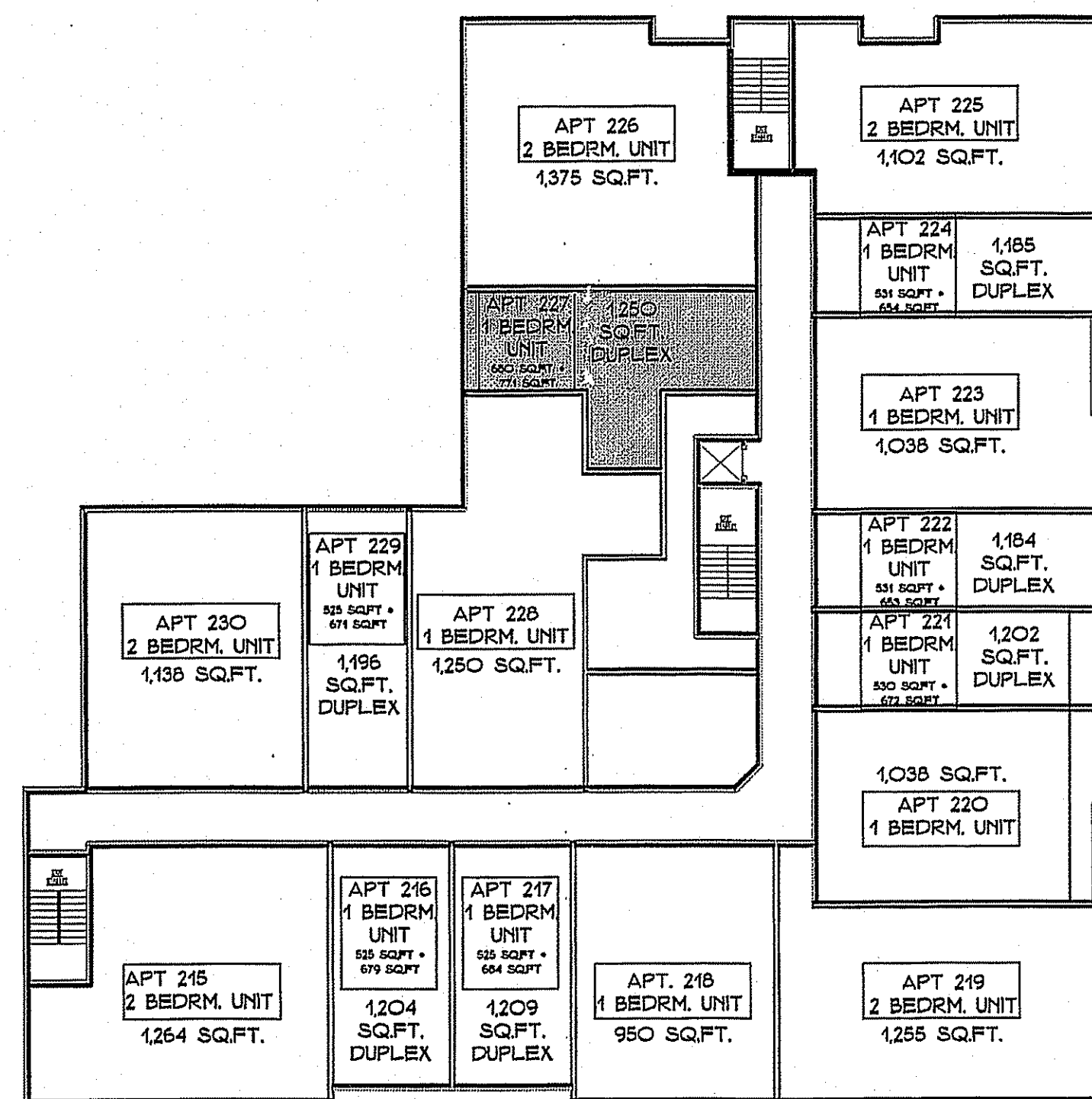
SECOND FLOOR-BUILDING #1 1" = 20'-0"



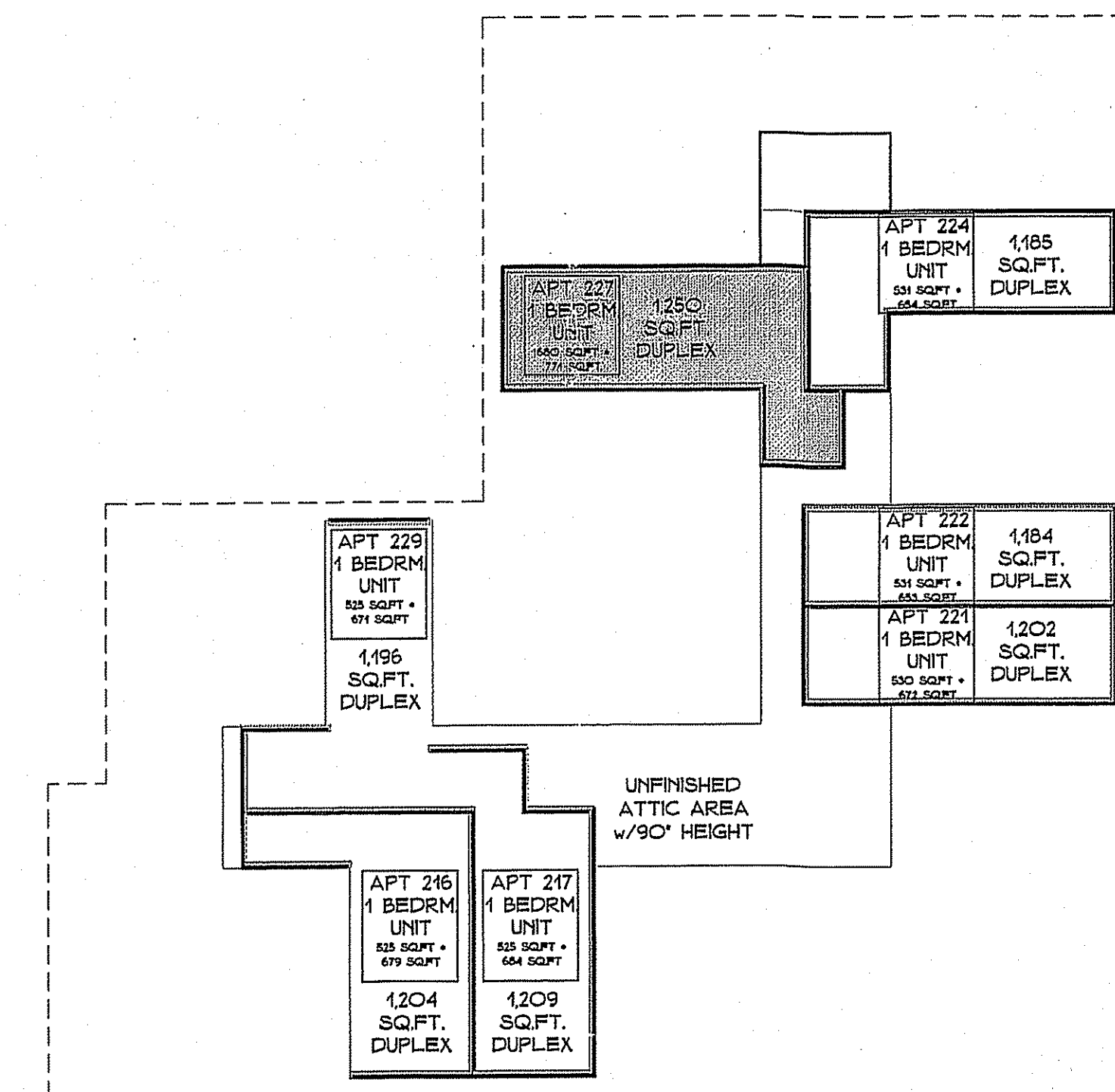
DUPLEX LEVEL-BUILDING #1 1" = 20'-0"



FIRST FLOOR-BUILDING #2 1" = 20'-0"



SECOND FLOOR-BUILDING #2 1" = 20'-0"

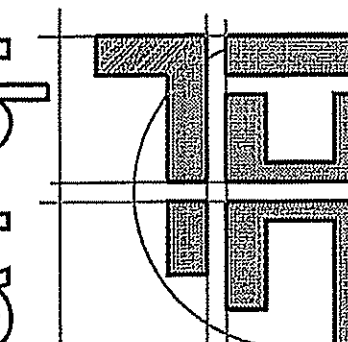


DUPLEX LEVEL-BUILDING #2 1" = 20'-0"

	SITE	BUILDING #1				BUILDING #2				TOTAL
		OUTDOOR	LOWER LEVEL	FIRST FLOOR	SECOND FLOOR	OUTDOOR	LOWER LEVEL	FIRST FLOOR	SECOND FLOOR	
1 BEDROOM UNITS			8	13	21		8	11	19	40
2 BEDROOM UNITS			2	1	3		5	5	10	13
			10	14			13	16		29
					24				23	

BELOW MARKET VALUE UNITS

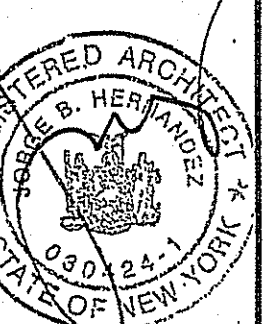
arq.

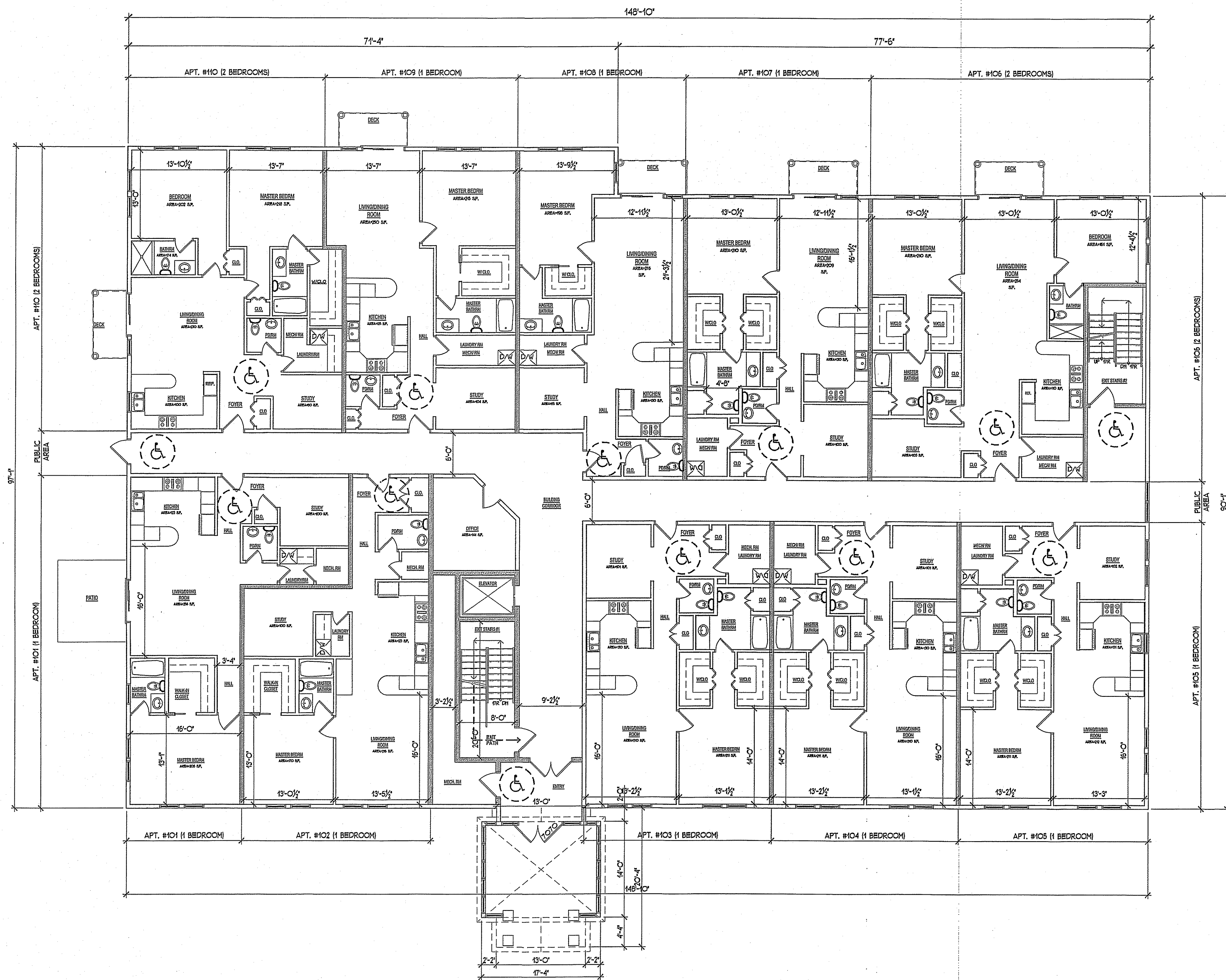


ARQ, HT, LLC.
DESIGN & CONSTRUCTION MANAGEMENT CONSULTANTS
100 EXECUTIVE BLVD, SUITE 205
OSSING, NY 10562
(914) 944-3377 FAX (914) 944-3340

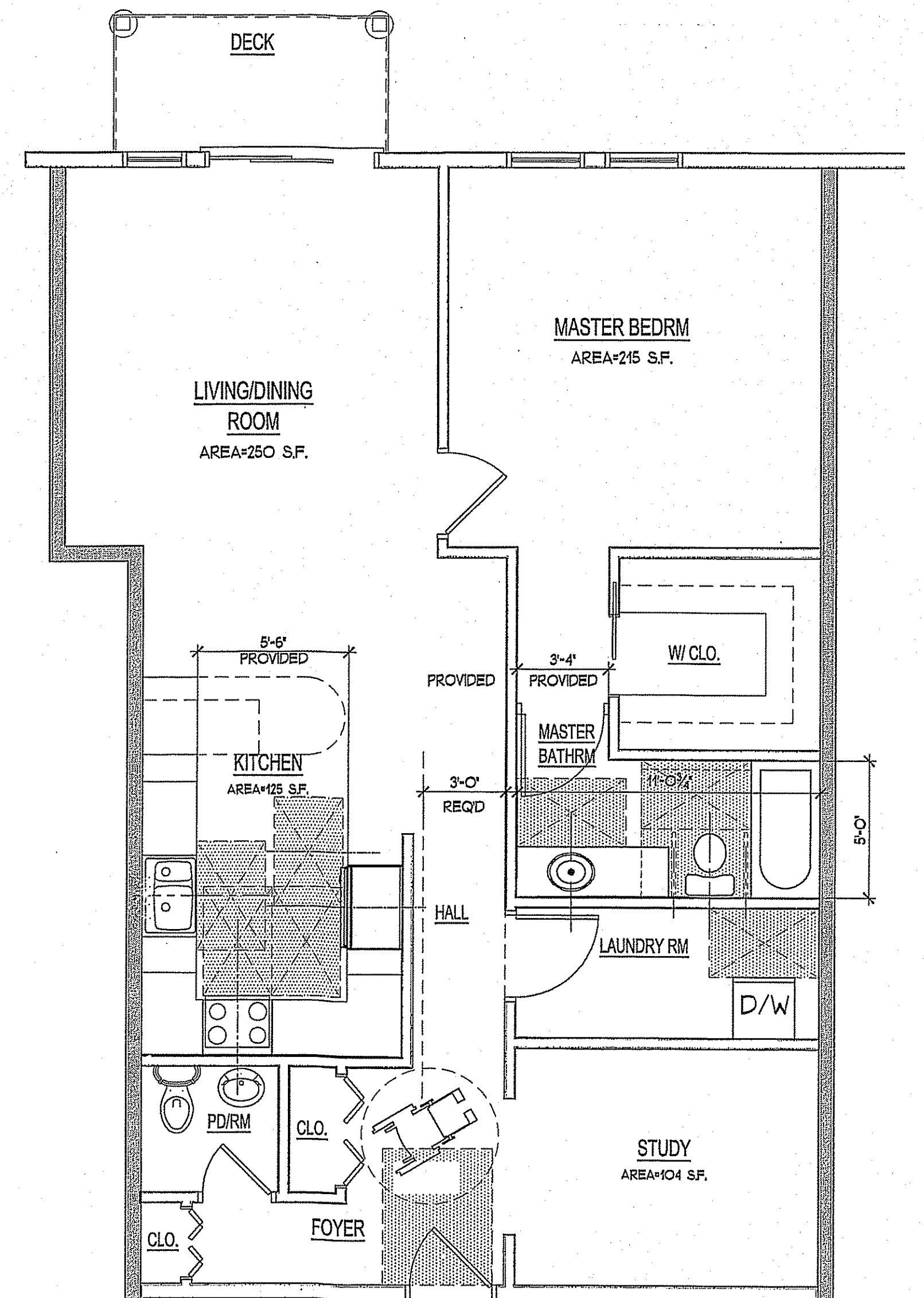
PROJECT TITLE
SCHEMATICS BUILDING LAYOUT & TABULATIONS
JOB TITLE
NEW RESIDENTIAL DEVELOPMENT
PARTH KNOLLS, LLC.
87 HAWKES AVENUE
OSSING, NEW YORK 10562

SCALE
AS SHOWN
REVISION
#1 4/8/2016
#2 5/23/2016
JOB NO.
15034
DRAWING
A-100-A

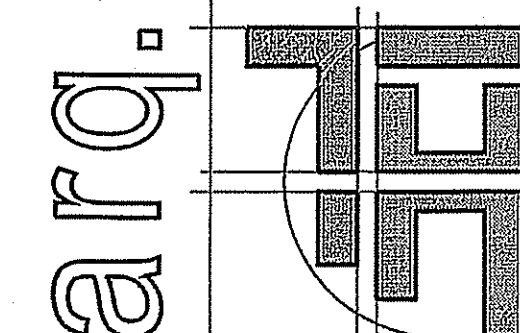




FIRST FLOOR PLAN 1/8"=1'-0"



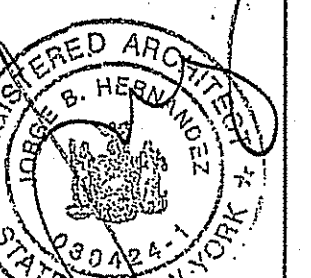
TYPICAL ADA APT. FLOOR PLAN 1/4"=1'-0"
APARTMENT #109

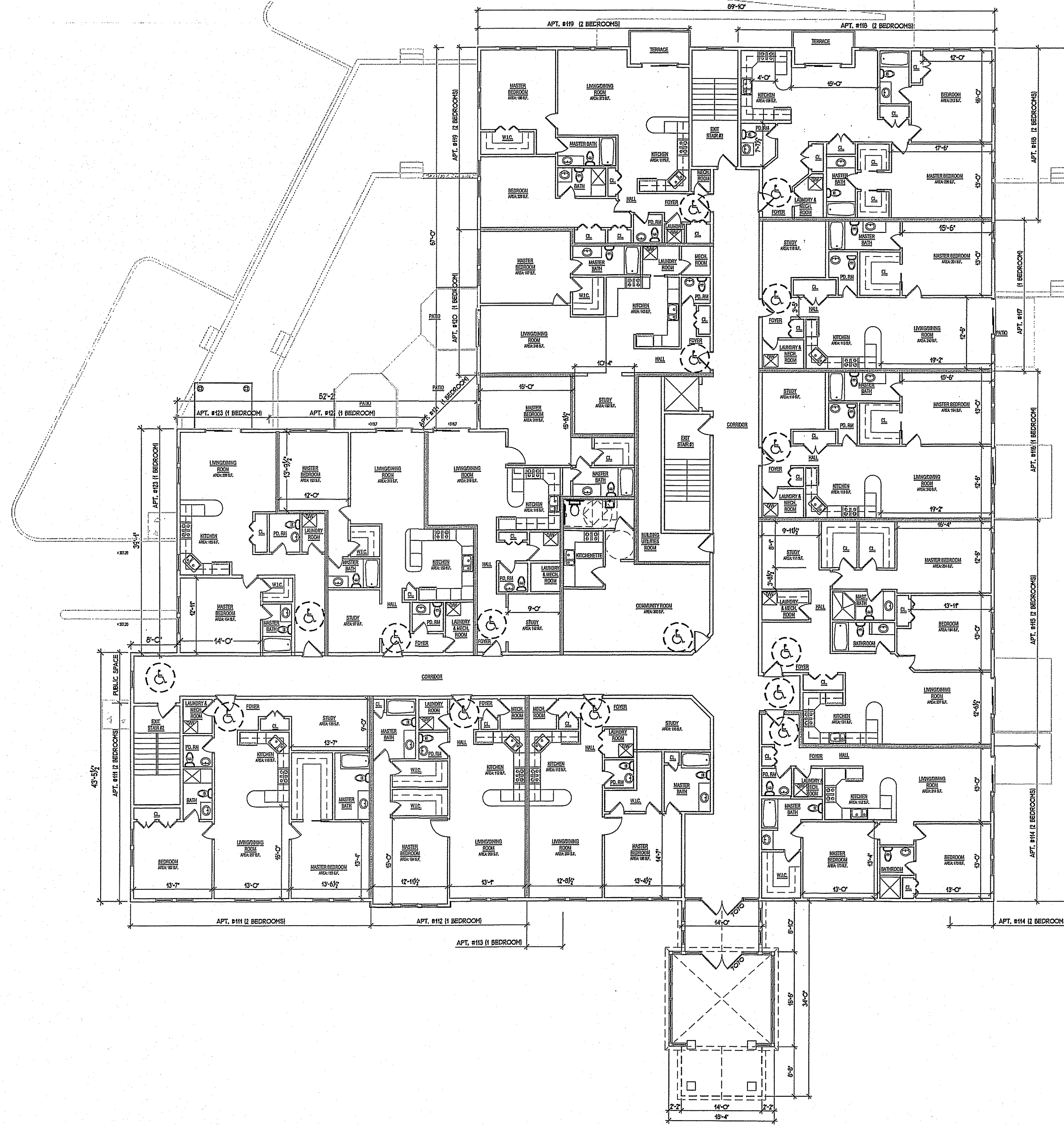


ARQ HT, LLC.
DESIGN & CONSTRUCTION MANAGEMENT CONSULTANTS
100 EXECUTIVE BLVD. SUITE 205
OSSING, NY 10562
(914) 944-3377 FAX (866) 567-5240

PROPOSED BUILDING #1
FIRST FLOOR PLAN
JOB TITLE
NEW RESIDENTIAL DEVELOPMENT
PARTH KNOLLS, LLC.
87 HAWKES AVENUE
OSSING, NEW YORK 10562

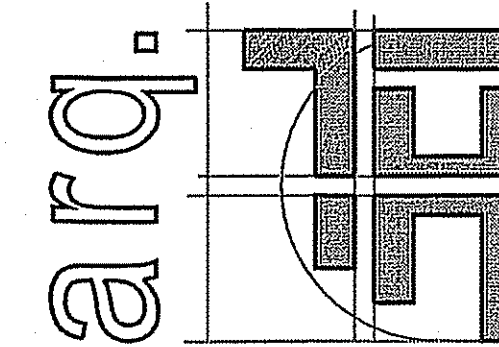
SCALE AS SHOWN
REVISED
#1 4/8/2016
#2 5/23/2016
JOB NO.
15034
DRAWING
A-102



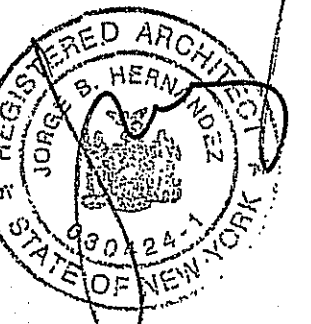


PROPOSED BUILDING #2
FIRST FLOOR PLAN

1/8" = 1'-0"



ARQ. HT, LLC. DESIGN & CONSTRUCTION MANAGEMENT CONSULTANTS 100 EXECUTIVE BLVD, SUITE 205 OSSING, NY 10562 (914) 944-3377 FAX (866) 567-6240		PROPOSED BUILDING #2 FIRST FLOOR PLAN		SCALE AS SHOWN	
DRAWN JBH JGT PCF SC		DATE JANUARY 25, 2016		COMMENTS: 5/6/16	
JOB TITLE NEW RESIDENTIAL DEVELOPMENT PARTH KNOLLS, LLC. 87 HAWKES AVENUE OSSING, NEW YORK 10562		JOB NO. 15034		DRAWING A-202	





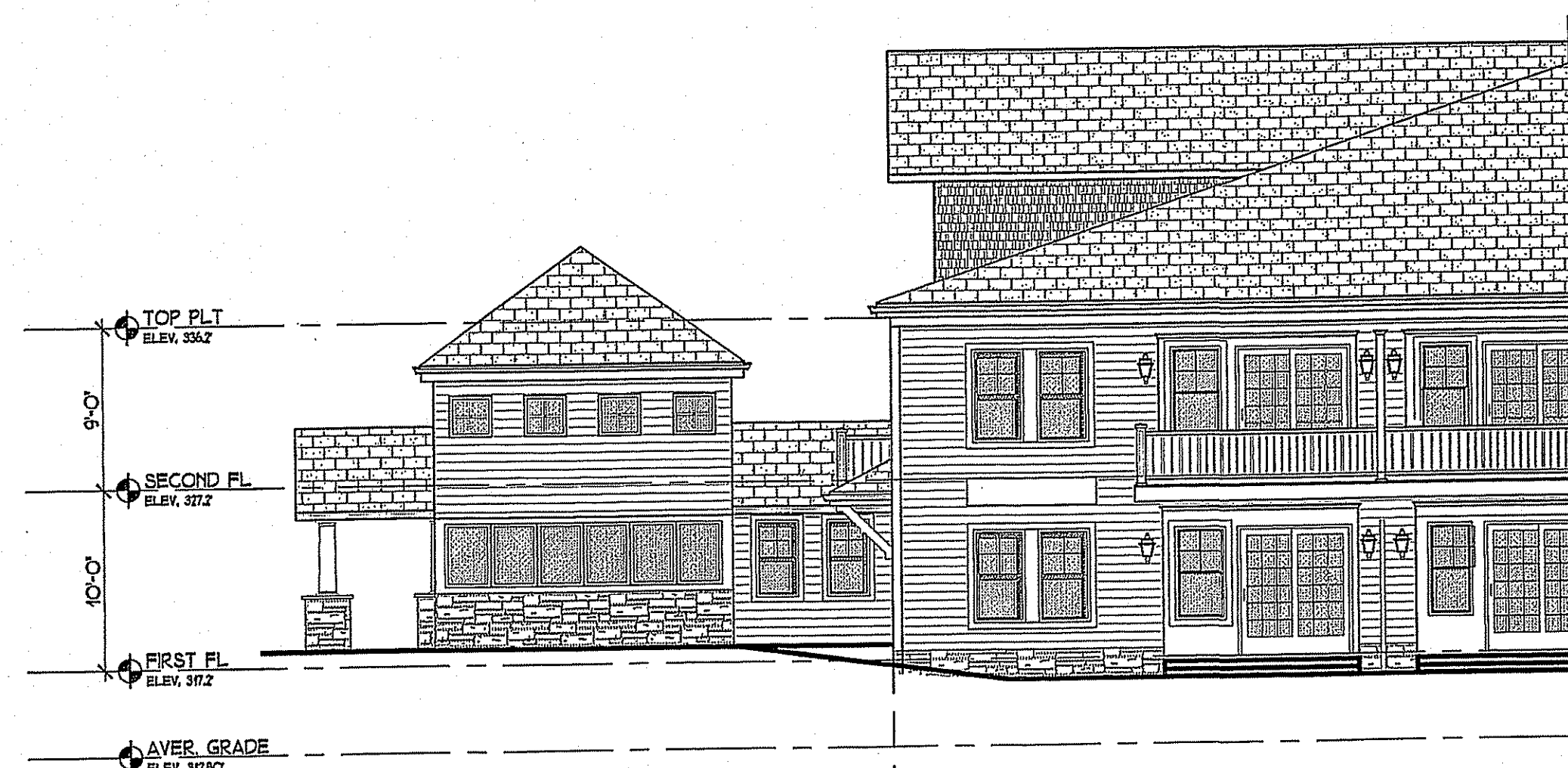
ORIGINAL BUILDING #2
FRONT ELEVATION

1/8" = 1'-0"



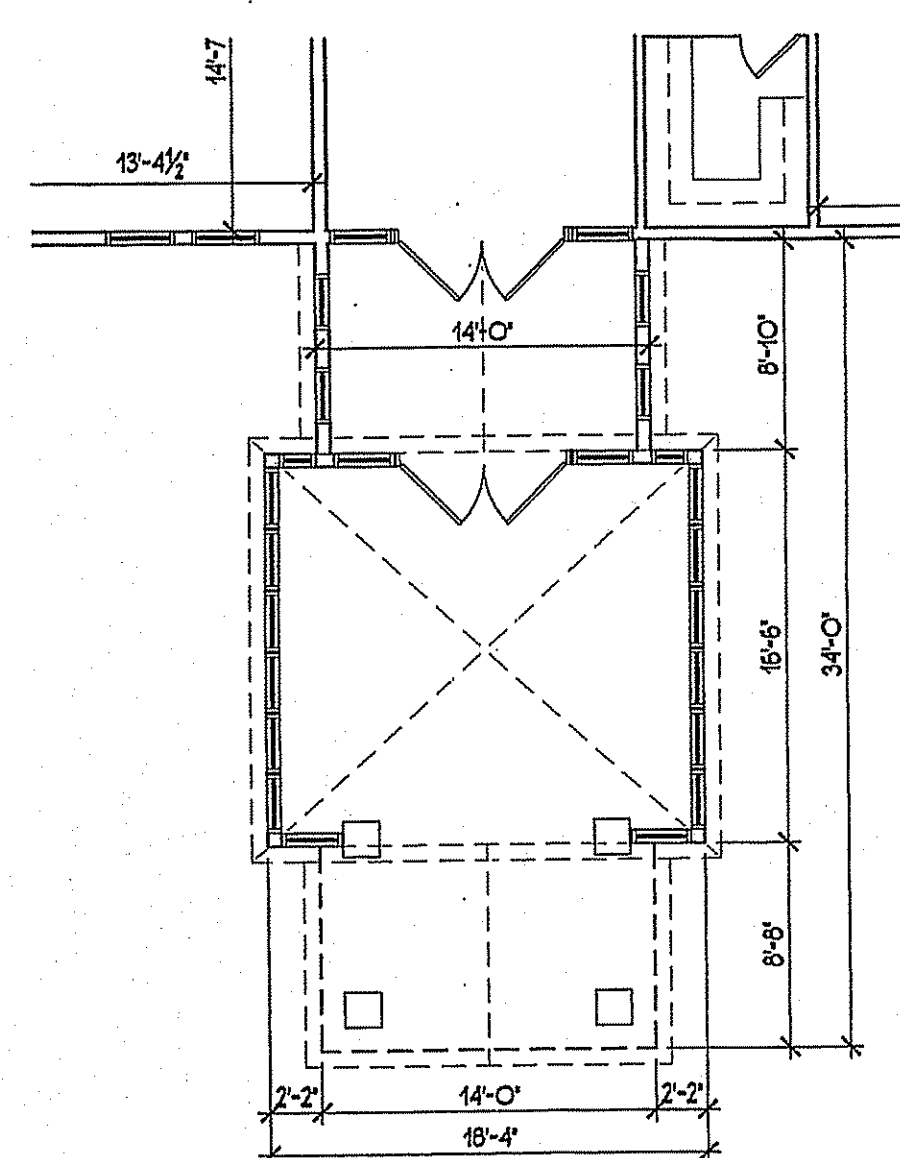
SCHEMATIC #1 BUILDING #2
PARTIAL FRONT ELEVATION

1/8" = 1'-0"



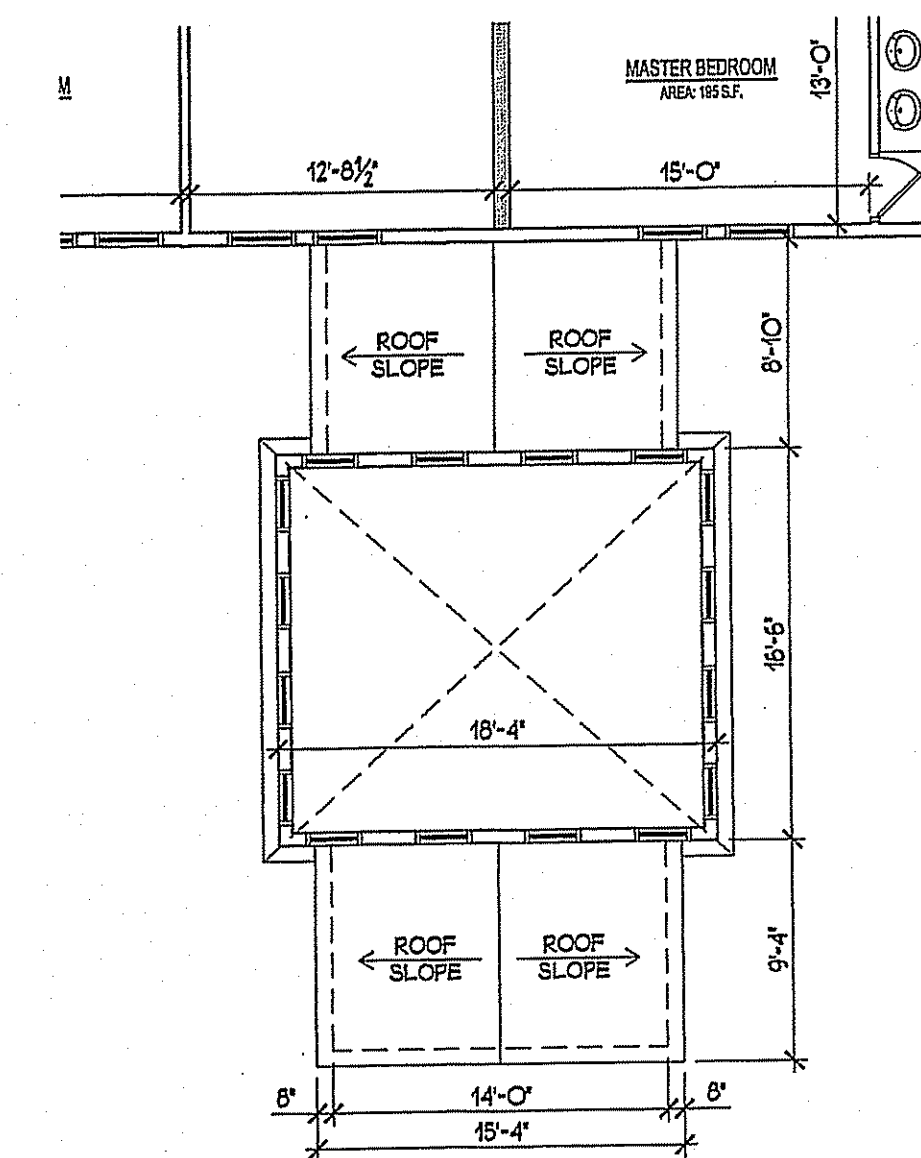
SCHEMATIC #1 BUILDING #2
PARTIAL RIGHT SIDE ELEVATION

1/8" = 1'-0"



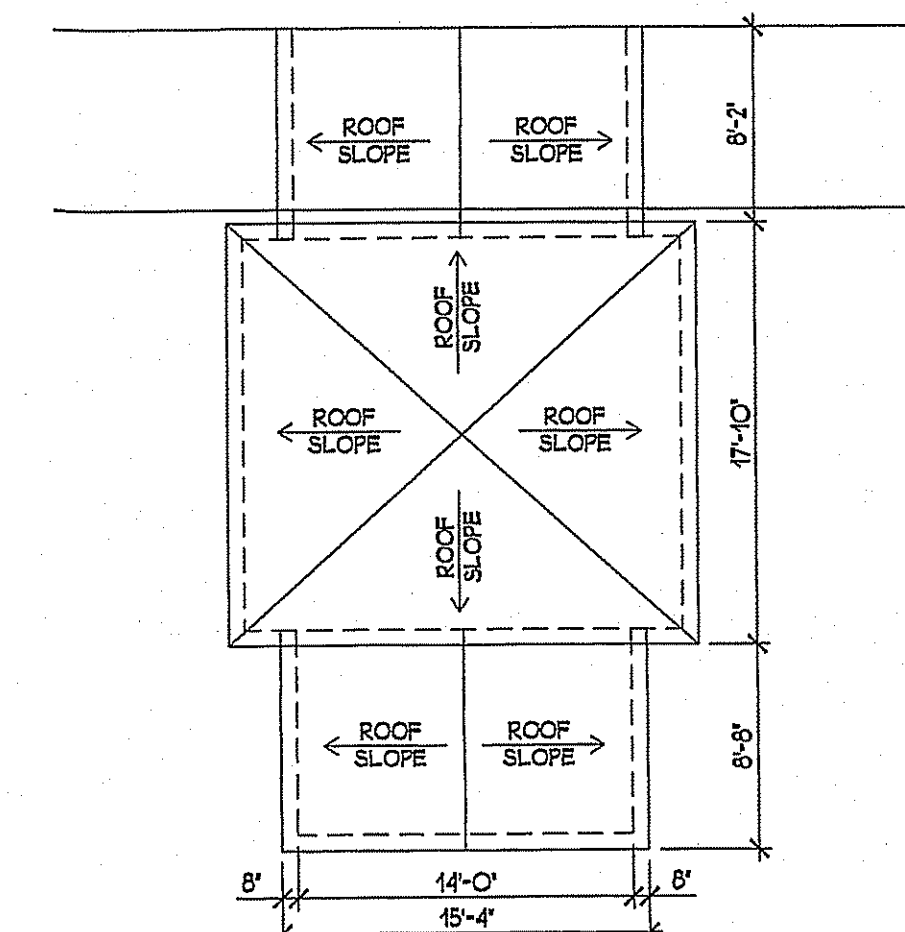
1ST FLOOR
PLAN OF SCHEMATIC # 1

1/8" = 1'-0"



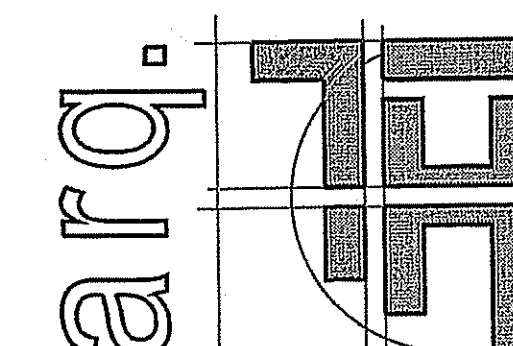
2ND FLOOR
PLAN OF SCHEMATIC # 1

1/8" = 1'-0"



ROOF PLAN
OF SCHEMATIC # 1

1/8" = 1'-0"



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OSSING, NY 10562
(914) 944-5377 FAX (866) 567-6240
DRAWN: JBH JGT PCF SC
DATE: JANUARY 25, 2016

SHEET TITLE
ELEVATIONS, FLOOR & ROOF PLANS
JOB TITLE
NEW RESIDENTIAL DEVELOPMENT
PARTH KNOLLS, LLC.
87 HAWKES AVENUE
OSSING, NEW YORK 10562

SCALE: AS SHOWN
REVISIONS
JOB NO.: 15034
COMMENTS: 5/6/16
DRAWN BY: SK-1

