

CHARLES P. MAY
AND ASSOCIATES P.C.

September 2, 2021

Mr. Gareth Hougham, Chairman
Town of Ossining Planning Board
John- Paul Rodrigues Operations Center
Route 9 a, Ossining, New York 10562

RE: 540 North State Road
Briarcliff Manor
Town of Ossining
Westchester County, New York 10510
Parcel 90.15-2-11

Dear Mr. Hougham:

LETTER OF TRANSMITTAL

We are forwarding the following information:

1. Drawing CS-1, Cover Sheet, Sheet 1 of 10 Dated 08/24/21.
2. Drawing BS-1, Boundary and Topographic Survey, Sheet 2 of 10.
Dated 08/24/21.
3. Drawing SL-1, Site Layout and Materials Plan, Sheet 3 of 10 ,Dated
08/24/21.
4. Drawing PL-1, Planting Plan, Sheet 4 of 10, Dated 08/24/21.
5. Drawing EC-1, Erosion Control Plan, Sheet 5 of 10, Dated 08/24/21.
6. Drawing SG-1, Site Grading Plan, Sheet 6 of 10, Dated 08/24/21.
7. Drawing SD-1, Site Details, Sheet 8 of 10, Dated 08/24/21.
8. Drawing SD-2, Site Details, Sheet 8 of 10, Dated 08/24/21.
9. Drawing SD-3, Site Details, Sheet 9 of 10, Dated 08/24/21.
10. Drawing WM-1, Watershed Map, Sheet 10 of 10, Dated 08/24/21.
11. Stormwater Management Report by Charles P. May & Associates P.C.
Dated, September 2021 (Revised).
12. Letter of response Daniel Ciarcia P.E. letter of August 18, 2021.

Sincerely,

CHARLES P. MAY ASSOCIATES P. C.

Charles P. May R. L. A.
President/CEO

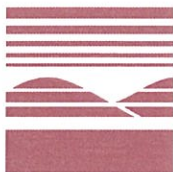
Community Planning
Landscape Architecture
Project Management
Environmental Studies
Environmental Engineering
Traffic Analysis

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Zoning
Land Use
Site Planning
CADD Services
Grading and
Drainage Plans
Site Details
Utility Plan
Graphics
Permits
Approvals



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MEMORANDUM

TO: Daniel Ciarcia P. E.

FROM: Charles P. May R.L.A.

DATE: September 2, 2021

SUBJECT: 540 N. State Road, Briarcliff Manor
Town of Ossining
Westchester County, New York 10510
Parcel: 90.15-2-11

In regard to your letter of August 18, 2021 our response is in the identical order of your comments.

1. North arrows have been provided on all plans.
2. Refer to Drawing WM-1 Watershed Map Sheet 10 of 10.
3. Refer to the Stormwater Management Plan dated September 2021 (Revised), Section 5.0 Water Quality Calculations, and Section 6.0 Details for Wet Vault and Drawing WM-1 Watershed Map Sheet 10 of 10 for the outline of Drainage Area No.1 and Drainage Area No. 2.
4. Refer to the SMP dated September 2021 Section 5.0 Water Quality Calculations.
5. Refer to Drawing EC-1 Erosion Control Plan Sheet 5 of 10.
6. Reviewed at the Planning Board meeting.

STORMWATER MANAGEMENT PLAN

Prepared for:

KASINATHAN INTERNATIONAL GROUP
540 N. STATE ROAD, SUITE 7
BRIARCLIFF MANOR, NEW YORK 10510

Prepared by:

CHARLES P. MAY AND ASSOCIATES P. C.
1073 MAIN STREET, SUITE 203
FISHKILL, NEW YORK 12524

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AUGUST 2021
SEPTEMBER 2021 (REVISED)



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1.0 NARRATIVE REPORT

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The site is located at 540 N. State Road in Briarcliff Manor, Westchester County, New York. The site is comprised of 0.47 Acres which is zoned C-20 Commercial, Use General Business.

The existing site is presently comprised of a 2 story office building and parking area for various business uses.

The proposed development consists of redesigning the parking area to accommodate more cars for parking, new landscaping, and providing updated storm water management practices to the latest NYSDEC Standards.

This Storm water Management Report is being prepared to evaluate the storm effects on the immediate areas of the site and to provide mitigation techniques that will control the storm water runoff as required by the redesign of the parking area as required by redevelopment activity. The total study area contains the immediate water shed comprised of approximately 0.47 Ac. which is intended to be redeveloped with revised parking facilities, landscaping, signage, and curbing.

2.0 SITE LOCATION MAP



SITE LOCATION MAP

N.T.S. 

3.0 NEW YORK STATE STORM WATER DESIGN MANUAL
Chapter 9 Redevelopment Activity

NEW YORK STATE STORMWATER DESIGN MANUAL

Chapter 9 Redevelopment Activity

The proposed project is subject to storm water practices during redevelopment activities as stated above Chapter 9 Section 9.1 through 9.4.

Section 9.2.1 I states that if the activities result in no change to hydrology that increases the discharge rate from the project site the ten and hundred –year criteria do not apply. Furthermore , if the hydrology and hydraulic analysis for the project site shows that the post construction activity 1-year 24 hour discharge rate and velocity are less than or equal to the pre-construction discharge rate, providing 24 hour detention of the 1 year storm to meet the channel protection criteria is not required. Refer to Section 7 of the Storm Water Management Report which indicates that the 1-year 24 hour discharge demonstrates that there is no net increase in the post development activities.

In order to comply with the Chapter 9 the plan proposes that a minimum of 25 % of the water quality (WV) from the disturbed, impervious area is captured and treated by the implementation of standard SMP or reduced by application of green structure techniques.

The performance criteria of selected SMPs for redevelopment activities fall under three categories. The applicant has selected to utilize wet vaults which are water tight “boxes” that include a permanent pool and promote settling of particulates through detention and use of internal baffles and other proprietary modifications.

Refer to Section 5 of the report for the calculations concerning the sizing and type of wet vault that will be utilized at the site.

4.0 SCOPE OF REPORT

4.0 SCOPE OF REPORT

The study contains the analysis of the 1-year 24 hour pre-developed and post-developed discharge rate to demonstrate that no net increase in the post-development scenario has occurred.

Furthermore, the study contains the analysis of the (WQv) Water Quality and proposes that a minimum of the 25% of the water quality volume (WQv) from the disturbed area is captured and treated by alternative storm water management practices as depicted in Chapter 9, Section 9.4 of the New York State Stormwater Management Design Manual.

5.0 WATER QUALITY CALCULATIONS

August 20, 2021

540 N. State Road
Briarcliff Manor, NY

Water Quality Volume (WQv)
Drainage Area No. 1

Impervious Area (Acre) ----- 0.232 Ac.
Total Area (Acres)----- .28 Ac.
Impervious Coverage -----82.85%

Calculation Runoff Coefficient
 $R_v = 0.05 + (I) (0.009)$
 $R_v = 0.05 + (82.85) (0.009) = 0.795$

Water Quality Volume Calculation
 $WQ_v [(P) (R_v/12) (A)]$ $P = 1.50$ (90%) Rainfall in NYS

$WQ_v = (1.50) (0.795 / 12) \times 0.28 = 0.0278 \text{ Ac. Ft.}$
 $0.0278 \text{ Ac. Ft.} \quad 1210.968 \text{ Cu. Ft.}$
 $\quad \quad \quad \times .25$
 $302.742 \text{ Cu. Ft. Treatment Required}$

302.742 Cu. Ft.
 $\times 7.481 \text{ Gallon/Cu. Ft.}$
 $2,264.81 \text{ Gallon Wet Vault -----Use 3,000 Gallon Wet Vault}$

R-Rv min.
 $P = 1.50$
 $I = 100\%$
 $R_v = 0.05 + 0.009 (I)$
 $R_v = 0.95$
 $A_{ic} = 0.232$
 $S = 0.30$
 $R = R_v - \min P \times R_v \times A_{ic} \times S/12$
 $0.09918/12$
 $0.008265 \text{ Ac. Ft.} = 360.00 \text{ Cu. Ft.}$
 360.00 Cu. Ft.
 $\quad \quad \quad \times .25$
 90 Cu. Ft.
 $\times 7.481 \text{ Gallons / Cu. Ft.}$
 $673.29 \text{ Gallon Wet Vault Minimum reduction volume.}$

Refer to Section 6.0 for Details of Wet Vaults

August 23, 2021

540 N. State Road
Briarcliff Manor, NY

Water Quality Volume (WQv)
Drainage Area No. 2

Impervious Area (Acre)-----0.075 Ac
Total Area (Acres)-----0.19 Ac.
Impervious Coverage -----39.74 %

Calculate Runoff Coefficient

$$R_v = 0.05 + (I) (0.009)$$

$$R_v = 0.05 + (39.74) (0.009) = 0.40523$$

Calculate the Water Quality Volume

$$WQ_v = (P) (R_v/12) A$$

P=1.50 (90%) Rainfall in NYS

$$WQ_v = (1.50) (0.40523/12) \times 0.19 = 0.0096 \text{ Ac. Ft.}$$

$$0.0096 \text{ Ac Ft.} = 418.17 \text{ Cu. Ft.}$$

$$418.17 \text{ Cu Ft.}$$

$$\times .25$$

$$104.54 \text{ Cu Ft. Treatment Required}$$

$$\times 7.481 \text{ Gallons/Cu. Ft.}$$

$$782.09 \text{ Gallon Wet Vault Required} \quad \text{Use 1,000 Gallon Wet Vault}$$

RRv min

$$P = 1.50$$

$$I = 100\%$$

$$R_v = 0.05 + 0.009 (I)$$

$$R_v = 0.95$$

$$A_{ic} = 0.075$$

$$S = 0.30$$

$$RR_{v-min} = P \times R_v \times A_{ic} \times S / 12 = 0.0267 \text{ Ac Ft.}$$

$$0.0267 \text{ Ac. Ft.} = 116.38 \text{ Cu Ft.}$$

$$116.38 \text{ Cu. Ft}$$

$$\times .25$$

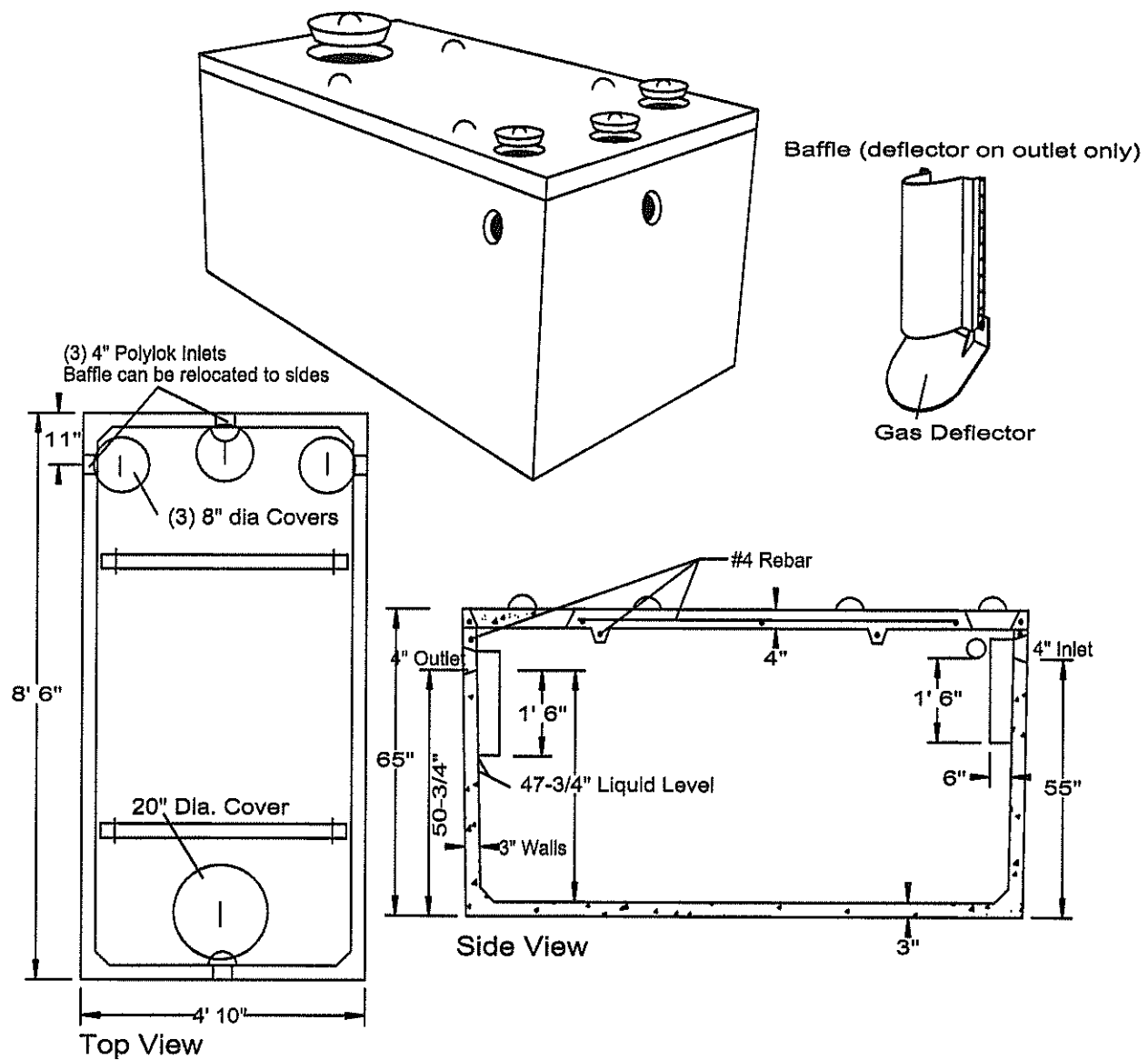
$$29.096 \text{ Cu. Ft}$$

$$\times 7.481 \text{ Gallons/Cu Ft.}$$

$$217.67 \text{ Gallons} \quad \text{Minimum reduction volume.}$$

Refer to Section 6.0 for Details of Wet Vault

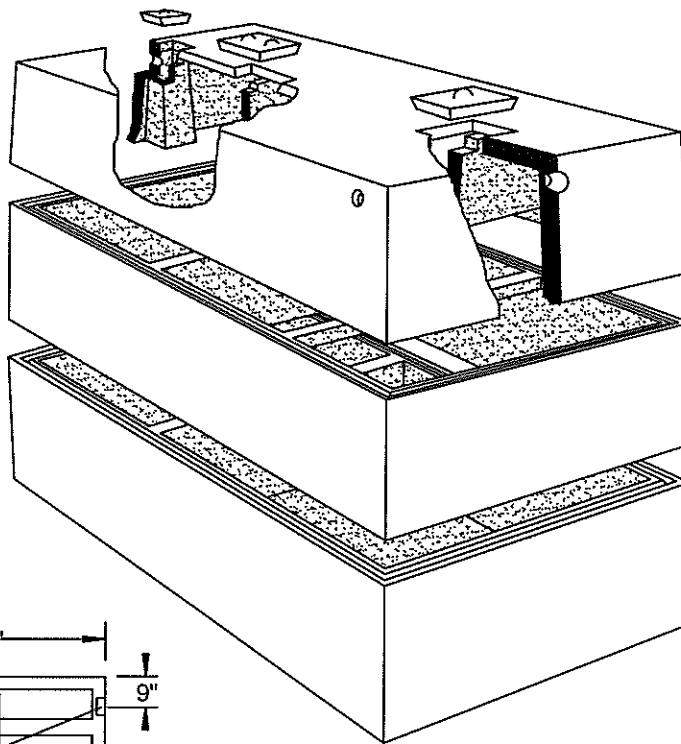
6.0 DETAILS FOR WET VAULT



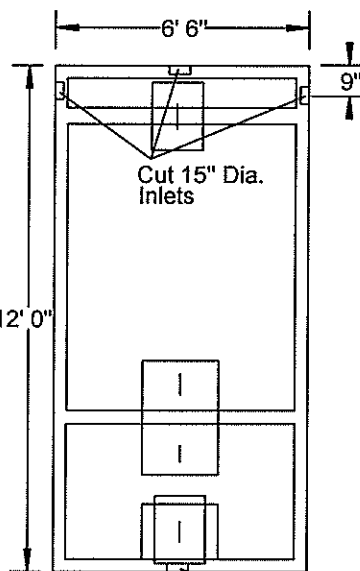
SPECIFICATIONS	
Concrete Min. Strength: 4,000 psi at 28 days	PRECAST SEPTIC TANKS MODEL ST-1000 / 1000 GALLONS
Reinforcement: #4 bar gr. 60, Forta Ferro 5 lb/cy	
Air Entrainment: 6%	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050
Construction Joint: Butyl Rubber Sealant	
Pipe Connection: Polylok Seal (patented)	
Weight = 8,700 lbs	
Load Rating: 300 psf	Page 2A 7/17/14

www.woodardsconcrete.com

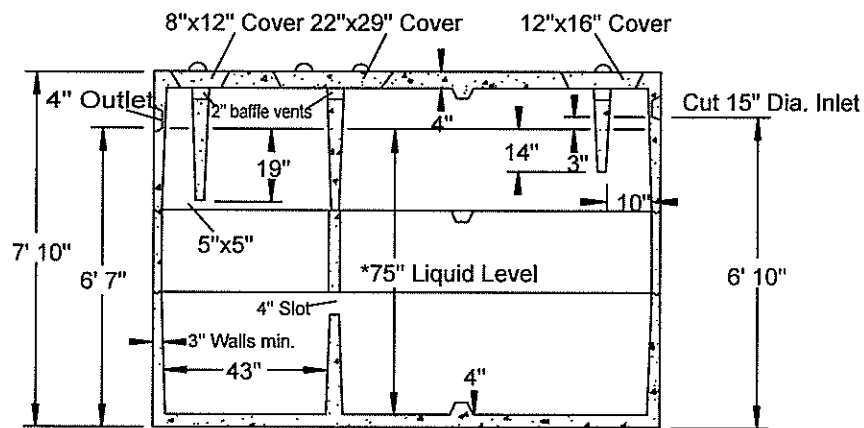




Inlet note: Use a sanitary tee with pipe extension to meet the NYSDOH requirement for baffle 16" below liquid level.



Top View 4" Dia. Outlet



Side View

*Tank Capacity Note: NYS 60" maximum liquid level gives you 2,530 gallons in this tank. Additional depth does not add to the recognized capacity.

SPECIFICATIONS	WET VAULT PRECAST SEPTIC TANKS MODEL ST-3000 / 3000 GALLONS
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #3 Rebar, 6x6x10ga. WWM Air Entrainment: 5% Construction Joint: Butyl Rubber Sealant Pipe Connection: Polylok Seal (patented) Weight = 18,000 lbs Load Rating: 300 psf	Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullville, NY 10915 (845) 361-3471 / Fax 361-1050 Page 7A 7/19/12

www.woodardsconcrete.com



7.0 CALCULATIONS FOR PRE AND POST DEVELOPMENT

July 21/21

540 North State Road
Briarcliff, N.Y.

Re-development Activity

Option II

Page 3

1yr. Storm 2.90 inches

Pre-developed

		<u>Area S.f.</u>		<u>Coefficient</u>		<u>Adj. Area ft.²</u>
(Bldg) -	Roofs -	4,977	x	0.95	=	4728.15
-	Pavement -	11,557	x	0.80	=	9245.60
-	Lawn/Trees -	3,939	x	0.35	=	1378.65
		<u>20,423 S.F =</u>		<u>2.10 = 0.70</u>		<u>15,352.40 ft²</u>
		43560		3		

$$\frac{15,352.40}{43,560} = 0.352 \text{ Ac. (Adjusted Ac.)}$$

Q = ACi

1 = 2.90

$$0.352 \times 0.70 \times 2.90 = 0.714 \text{ cfs}$$

Post-development

		<u>Area S.f.</u>		<u>Coefficient</u>		<u>Adj. Area ft.²</u>
(Bldg) -	Roofs -	4,977	x	0.95	=	4728.15
-	Pavement -	9,685	x	0.80	=	7748
-	Lawn/Trees -	5,811	x	0.35	=	2033
		<u>20,473 S.F = 0.469 Ac.</u>		<u>0.70</u>		<u>14,509.15 ft²</u>
		43560				

$$\frac{14,509.15}{43,560} = 0.33 \text{ Ac. (Adjusted Ac.)}$$

Q = ACi

$$0.33 \times 0.70 \times 2.90 = 0.66 \text{ cfs}$$

July 21/21

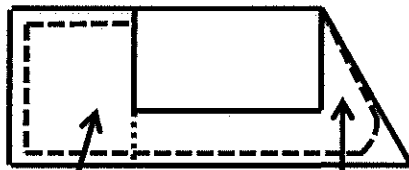
540 North State Road
Briarcliff, N.Y.

Re-development Activity

Option II

Page 4

25 yr. Storm 7.5 lph



drainage area A'
Ac. 0.13 Ac

drainage area B'
0.24 Ac.

Drainage Area A'

	<u>Area ft.²</u>		<u>C</u>	<u>Ft.²</u>
Parking area -	3,230	x	0.95	3,068.50
Lawns -	1,345	x	0.35	470.75
Roof -	2,400	x	<u>0.95</u>	2280
			0.75	<u>5,819.25</u>
				43,560 =
				0.13Ac.

$$Q = ACL$$

$$Q = 0.13 \times 0.75 \times 7.5 \text{ lph} = 0.73 \text{ cfs}$$

July 21/21

540 North State Road
Briarcliff, N.Y.

Re-development Activity

Option II

Page 5

Drainage Area B'

	<u>Area ft.²</u>		<u>C</u>	<u>Ft.²</u>
Parking area -	3,230	x	0.95	3,068.50
Lawns -	1,345	x	0.35	470.75
Roof -	2,400	x	<u>0.95</u>	2280
			0.75	<u>5,819.25</u>
				43,560 =
				0.24 Ac.

Q = ACi

Q = 0.24 x 0.75 x 7.5 lph = 1.35 cfs.

8.0 CONCLUSIONS AND RECOMMENDATIONS

8.0 CONCLUSION AND RECOMMENDATIONS

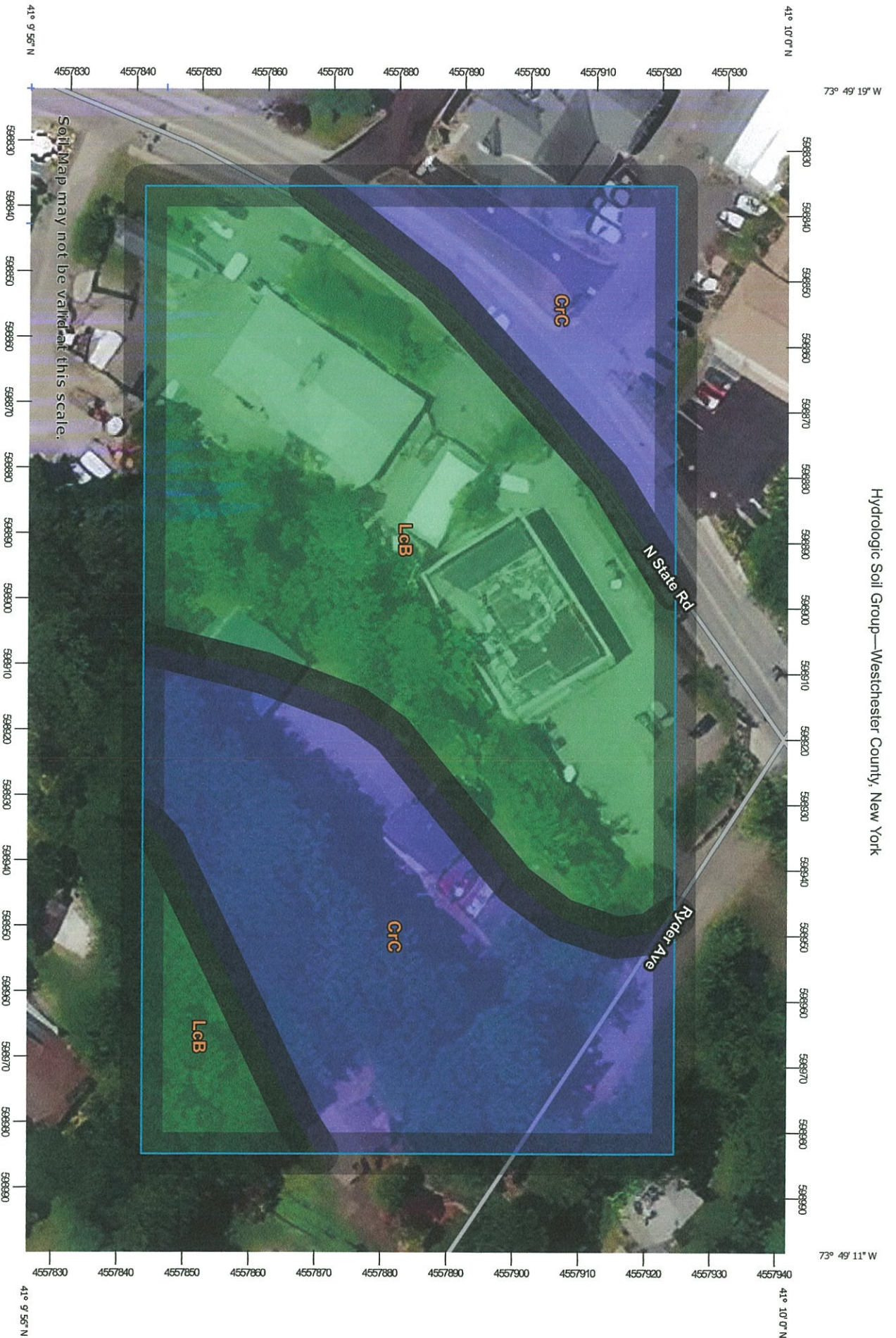
The redevelopment of the 540 North State Road project in the Town of Ossining will consist of redesign of the parking area, new plantings, installation of storm water systems such as the two wet vaults, and a level spreader. One wet vault will be located on the easterly side of the building and another will be located at the westerly end of the parking area to provide water quality treatment for both locations.

A level spreader will be located at the rear of the building to mitigate the potential flow of water from the pump which discharges the flow of water from the basement area along with the flow from the wet vaults.


































In conclusion the proposed Storm Water Management Plan should be sufficient at this time to mitigate rainfall events that would potentially impact the wetland area which is located behind the building and mitigate potential to downstream locations.

9.0 SOILS

Hydrologic Soil Group—Westchester County, New York



MAP LEGEND

 Area of Interest (AOI)	 C
 Area of Interest (AOI)	 C/D
Soils	 D
Soil Rating Polygons	 Not rated or not available
 A	Water Features
 A/D	 Streams and Canals
 B	Transportation
 B/D	 Rails
 C	 Interstate Highways
 C/D	 US Routes
 D	 Major Roads
 Not rated or not available	 Local Roads
Soil Rating Lines	Background
 A	 Aerial Photography
 A/D	
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	
Soil Rating Points	
 A	
 A/D	
 B	
 B/D	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Westchester County, New York
Survey Area Data: Version 16, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 16, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CrC	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	B	1.3	44.9%
LcB	Leicester loam, 3 to 8 percent slopes, stony	A/D	1.6	55.1%
Totals for Area of Interest			3.0	100.0%

Description

precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

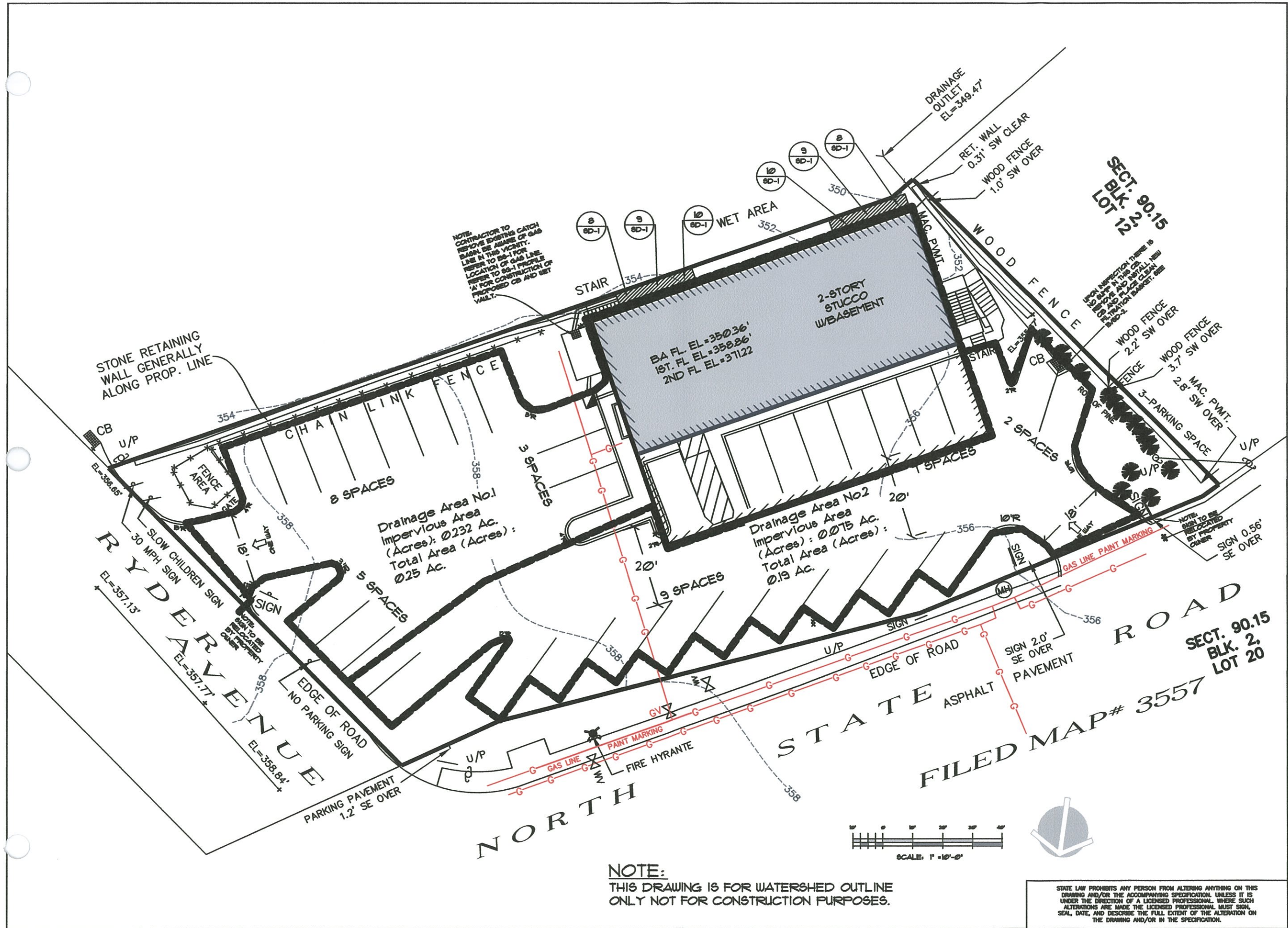
Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

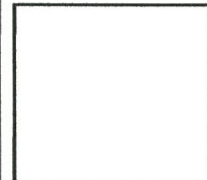
Tie-break Rule: Higher

10.0 WATERSHED MAP



REVISIONS	DESCRIPTION
NO.	DATE
BY	CHKD

DESIGN PROFESSIONALS
CHARLES P. MAY & ASSOCIATES, P.C.
1007 Main Street, Suite 305
Briarcliff Manor, New York 10512
914-837-8800
Email: charles@cpmay.com Website: www.cpmay.com



540 NORTH STATE ROAD
BRIARCLIFF MANOR NEW YORK
TOWN OF OSSING
WESTCHESTER COUNTY, NEW YORK
PARCEL 90.15-2-11

DATE	DRAWN	CHECKED
8/24/21	CV	CPH
SCALE 1"=10'		
SHEET TITLE		
WATERSHED MAP		

PROJECT NUMBER
2021-06
WM-1
DRAWING NUMBER
SHEET 10 of 10

STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

540 NORTH STATE ROAD

BRIARCLIFF MANOR

TOWN OF OSSINING

WESTCHESTER COUNTY, NEW YORK 10510

FIRE DISTRICT:
BRIARCLIFF FIRE DISTRICT
1111 PLEASANTVILLE ROAD
BRIARCLIFF, NEW YORK 10510
TEL.: (914)-941-4440

SCHOOL DISTRICT:
OSSINING UNION FREE CENTRAL SCHOOL DISTRICT
400 EXECUTIVE BLVD.
OSSINING, NEW YORK

OWNER:
SHIRIRAM KASINATHAN - KASINATHAN INTERNATIONAL GROUP, INC.
540 NORTH STATE ROAD
BRIARCLIFF MANOR, NEW YORK 10510
TEL.: (914)918-9533

TAX GRID NUMBER:				9015-2-11
ZONE:				C-20 COMMERCIAL
USE:				GENERAL BUSINESS
ACREAGE:				0.41 ACRES 20,413 SF
<u>PARKING REQUIREMENTS:</u>				
<u>USE</u>	<u>AREA</u>	<u>CALCULATION</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
DOCTOR/DENTIST OFFICE	1610 SF.	1610/225 SF.	1 SPACES	1 SPACES
DOCTOR/DENTIST OFFICE	511 SF.	511/225 SF.	2 SPACES	2 SPACES
DOCTOR/DENTIST OFFICE	1610 SF.	1610/225 SF.	18 SPACES	24 SPACES
HANDICAP SPACES			<u>1 SPACE</u>	<u>1 SPACE</u>
			28 TOTAL	33 TOTAL
TOTAL			28 SPACES	33 SPACES

SYMBOL KEY			
(24)	EXISTING CONTOUR	DI	EXISTING STORM DRAIN MANHOLE
24	PROPOSED CONTOUR	DI	PROPOSED STORM DRAIN MANHOLE
x (24.1)	EXISTING SPOT ELEVATION	MH	EXISTING SANITARY MANHOLE
x 24.11	PROPOSED SPOT ELEVATION	MH	PROPOSED SANITARY MANHOLE
FTE	FINISHED FLOOR ELEVATION	HD	PROPOSED HYDRANT AND VALVE
TW/BW	TOP OF WALL/BOTTOM OF WALL	CIP	CAST IRON PIPE
TC/B/C	TOP OF CURB/BOTTOM OF CURB	RCP	REINFORCED CONCRETE PIPE
TS/B/S	TOP OF STAIR/BOTTOM OF STAIR	CHP	CORRUGATED METAL PIPE
BF	BOTTOM OF FOOTING	VCP	VITRIFIED CLAY PIPE
HP/LP	HIGH POINT/LOW POINT	PVC	POLYVINYL CHLORIDE (PLASTIC) PIPE
HP/S	HIGH POINT OF SWALE	STA 0 + 00	STATION POINT
TF OR RE	TOP OF FRAME OR RIM ELEVATION	E-----	PROPERTY LINE
INV. EL.	INVERT ELEVATION	CLL-----	CONTRACT LIMIT LINE
CB	EXISTING CATCH BASIN	CL-----	CENTER LINE
CB	PROPOSED CATCH BASIN	CL-->	CENTER LINE OF SWALE
ST	PROPOSED STORM PIPE	U-----	PROPOSED WATER MAIN
		GAN-----	PROPOSED SANITARY SEWER LINE
		FM-----	PROPOSED SANITARY FORCE MAIN

4 WORK PART 730
REVISIONS TO BE MADE PRIOR
TO START OF ANY UNDERGROUND WORK

Dig Safely.
New York

www.digsafelynewyork.com

1-800-962-7962

The undersigned owners of the property hereon state that they are familiar with the enclosed plans, its contents, and its legends and hereby consent to all said terms and conditions as stated.



SCHEDULE OF DRAWINGS		
SHEET NO.	DRAWING NO.	TITLE
1	CS-1	COVER SHEET
2	BS-1	BOUNDARY + TOPOGRAPHIC SURVEY
3	SL-1	SITE LAYOUT & MATERIALS PLAN
4	PL-1	PLANTING PLAN
5	EC-1	EROSION CONTROL PLAN
6	SG-1	SITE GRADING SHEET
7	SD-1	SITE DETAIL SHEET
8	SD-2	SITE DETAIL SHEET
9	SD-3	SITE DETAIL SHEET
10	UM-1	WATERSHED MAP

STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE, THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.

PROJECT NUMBER
2021-06

CS-1
DRAWING NUMBER
SHEET 1 of 10

DATE
8/24/21

DRAWN
CV

CHECKED
CPH

SCALE
N.T.S.

SHEET TITLE
COVER SHEET

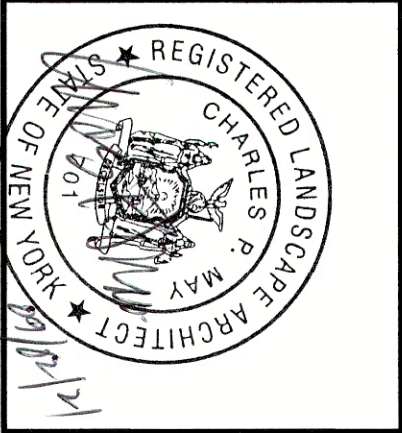
540 NORTH STATE ROAD

BRIARCLIFF MANOR

TOWN OF OSSINING

WESTCHESTER COUNTY, NEW YORK

PARCEL 9015-2-11



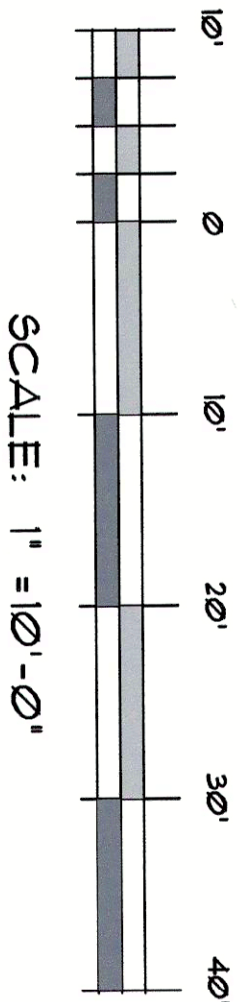
CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN PROFESSIONALS

367 Windsor Highway
New Windsor, New York 12553
845-567-3030
Email: charlespmayassoc@aol.com

1073 Main Street, Suite 203
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845-896-2747
Website: www.charlespmayassociates.com

REVISIONS				
NO.	DATE	BY	CHKD	DESCRIPTION



DATE	DRAWN	CHECKED
8/24/21	CV	CFM

SCALE 1"=10'

SHEET TITLE

BOUNDARY &
TOPOGRAPHIC
SURVEY

540 NORTH STATE ROAD
BRIARCLIFF MANOR
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK
PARCEL 90.15-2-11

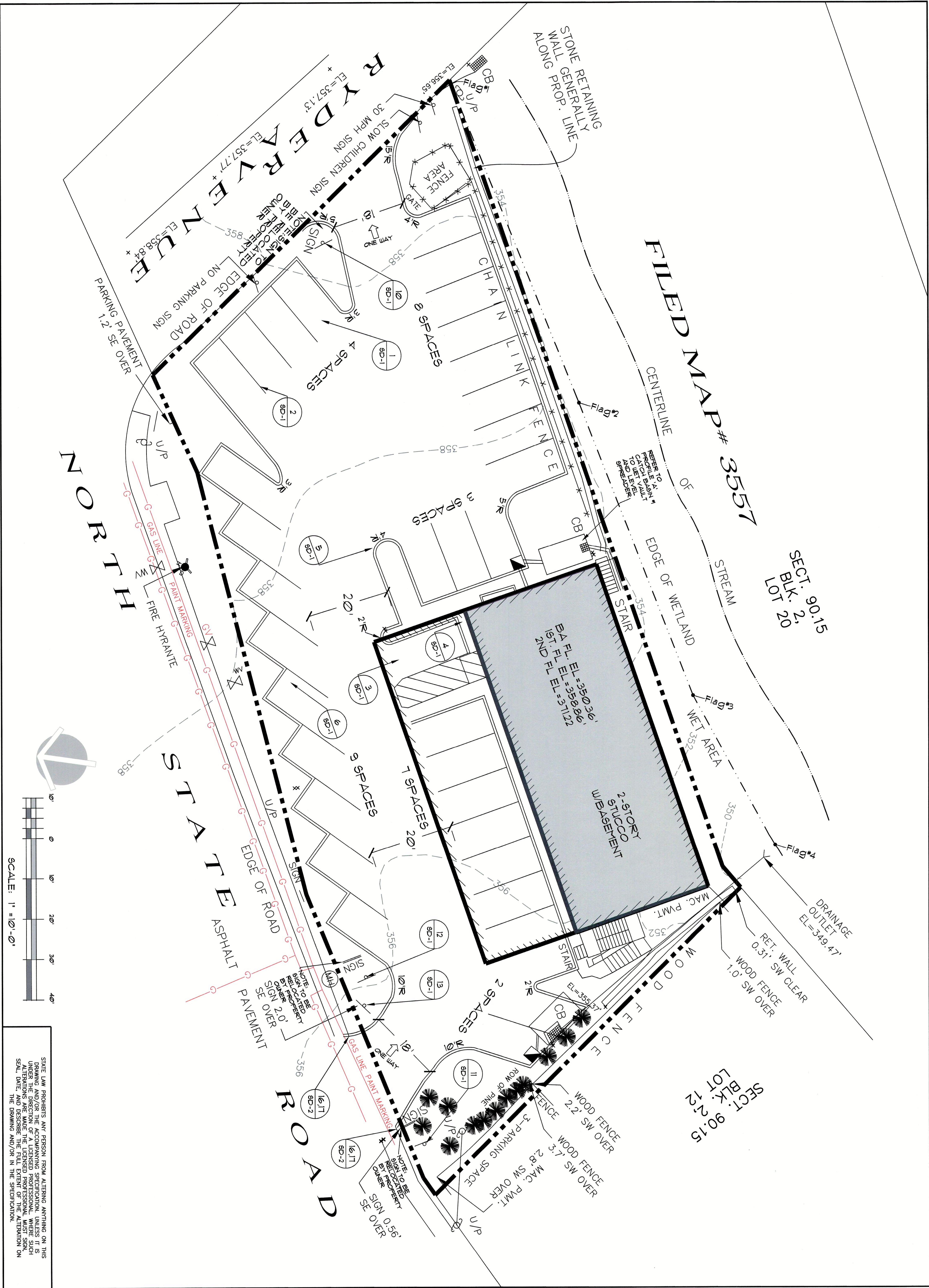


CHARLES P. MAY & ASSOCIATES, P.C.

**DESIGN
PROFESSIONALS**

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8 4 5 - 5 6 7 - 3 0 3 0 8 4 5 - 8 9 6 - 2 7 4 7
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[illegible]



PROJECT NUMBER

2021-06

DRAWING NUMBER

SL-1

SHEET TITLE

SITE LAYOUT
AND MATERIALS
SHEET

DATE

8/24/21

DRAWN

CV

CHECKED


CPT

SCALE 1"=80'

540 NORTH STATE ROAD

BRIARCLIFF MANOR
TOWN OF OSSING
WESTCHESTER COUNTY, NEW YORK
PARCEL 90.15-2-11

REGISTERED LAND SURVEYOR
OF NEW YORK
NO. 101
CHARLES P. MAY
ARCHITECT



CHARLES P. MAY & ASSOCIATES, P.C.

DESIGN
PROFESSIONALS

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New Windsor, New York 12553 Flahkill, New York 12524
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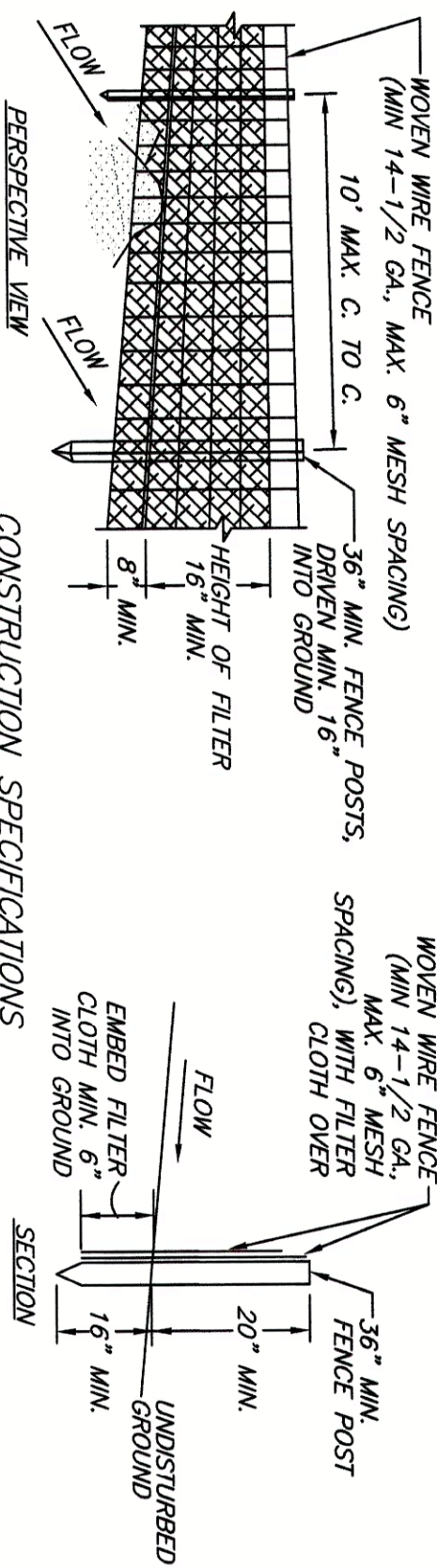
REVISIONS

NO.	DATE	BY	CHKD	DESCRIPTION

SOIL EROSION & SEDIMENT CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 90 DAYS, AND NOT SUBJECT TO CONSTRUCTION, SHALL BE INSTALLED WITHIN 15 DAYS AFTER INITIAL SEEDING. SEEDING SHALL BE PERFORMED IN THE FOLLOWING MANNER: A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODED ON ALL EXPOSED AREAS WITHIN 10 DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW YORK.
5. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
6. IN ACCORDANCE WITH THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, ANY SOIL, HAVING A PH OF 4 OR LESS OR CONTAINING MORE THAN 15% SAND, SHALL BE COVERED WITH A MINIMUM OF 15 TONS OF SEED, HAVING A PH OF 5 OR MORE, AND NO CONSIDERABLE PRIOR TO SEEDBED PREPARATION.
7. CRITICAL OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
8. NORTH STATE ROAD MUST BE KEPT CLEAN AT ALL TIMES.
9. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED BY THE TOWN OF COSSING TOWN ENGINEER.
10. SEED MIX SHALL BE AS FOLLOWS:

SEED MIX	PROPORTION
TOPOSOIL	MINIMUM
TOPOSOIL KENTUCKY BLUE	20%
TOPOSOIL FESCUE	60%
PERMANENT RYEGRASS	20%
MINIMUM	MINIMUM
GRASS SEED	80%
GRASS SEED	85%
GRASS SEED	90%
GRASS SEED	95%



CONSTRUCTION SPECIFICATIONS

1. WOMEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER ADON TO BE FASTENED SECURELY TO WOMEN WIRE FENCE WITH TIES SPACED EVERY 24" ALONG TOP AND SIDES.
3. WHEN TWO SECTIONS OF FILTER ADON EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULKIES" DEVELOP IN THE SALT FENCE.

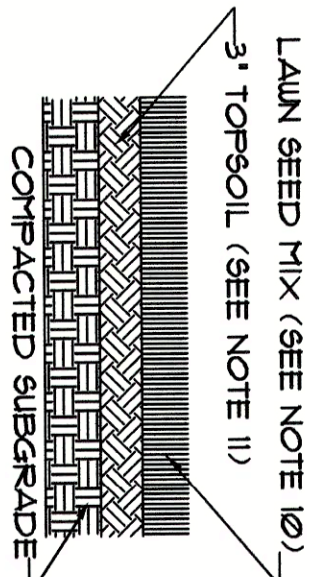
POSTS: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD

CLOTH: FILTER X, MIRAF 100X, STABILINKA T140N, OR APPROVED EQUAL

PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

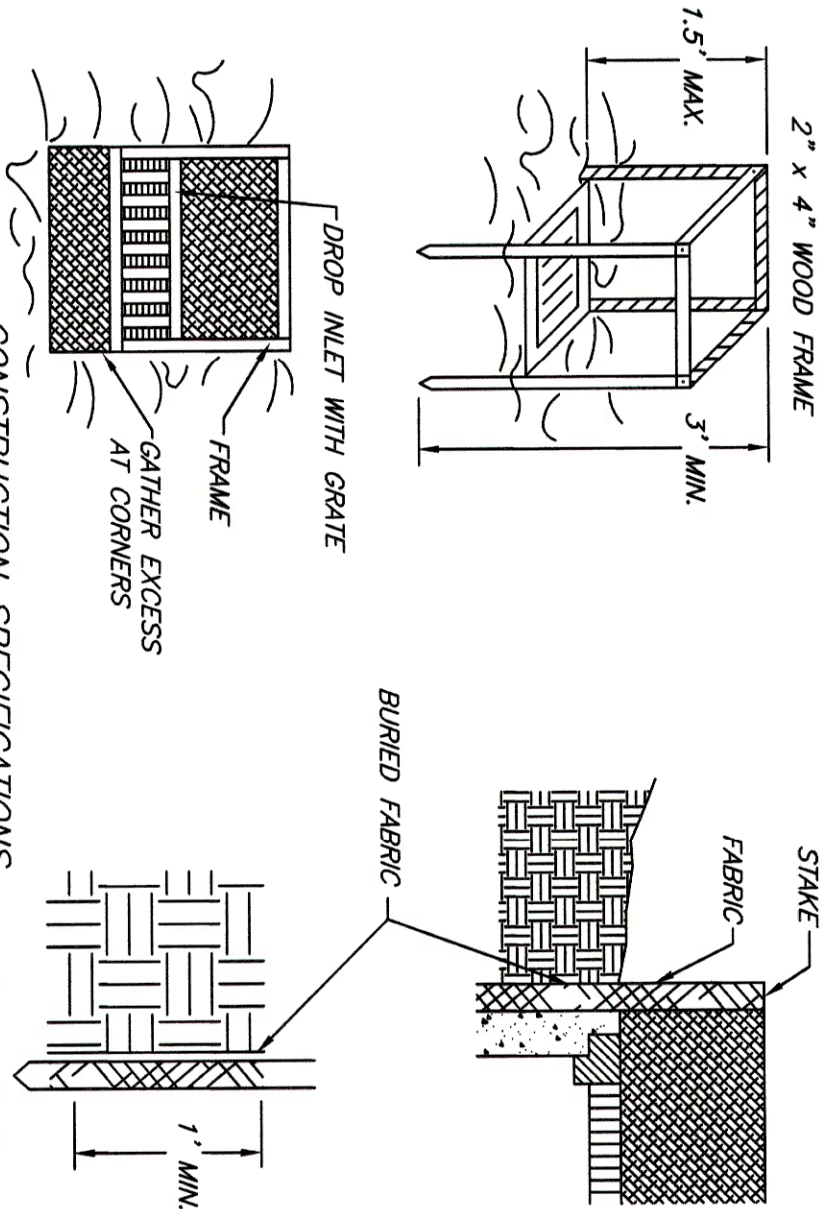
1) SILT FENCE DETAIL
NOT TO SCALE

EC-1) NOT TO SCALE



2 DETAIL FOR SEEDING
EC-1 NOT TO SCALE

EC-1 NOT TO SCALE



1. FILTER FABRIC SHALL HAVE AN EGS OF 40-65. BUILDUP MAY BE USED FOR SHOT/TEAM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 3" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
7. THE CONTRACTOR MAY SUBMIT AN ALTERNATIVE DETAIL FOR DROP INLET PROTECTION TO BE APPROVED BY THE ENGINEER.

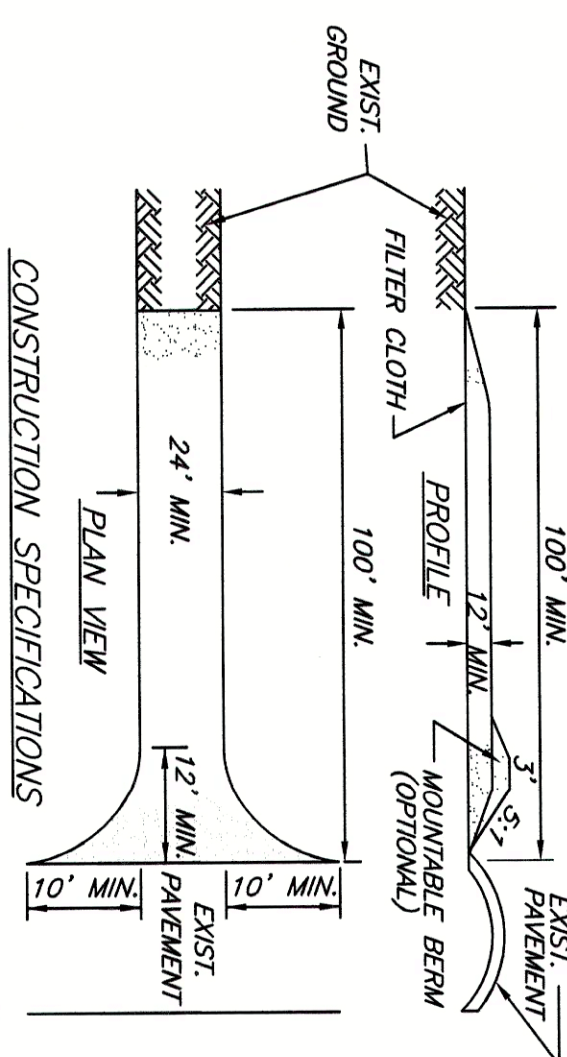
DESIGN PROFESSIONALS

□ 367 Windsor Highway □ 1073 Main Street, Suite 203
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 Email:charlespmayassoc@aol.com Website:www.charlespmayassociates.com

3	FILTER FABRIC DROP INLET PROTECTION
EC-1	NOT TO SCALE

EC-1) NOT TO SCALE

NOTE: OPTIONAL DETAIL WOULD BE TO TRENCH AND STAKE HAY BALES AROUND ENTIRE DROP INLET.

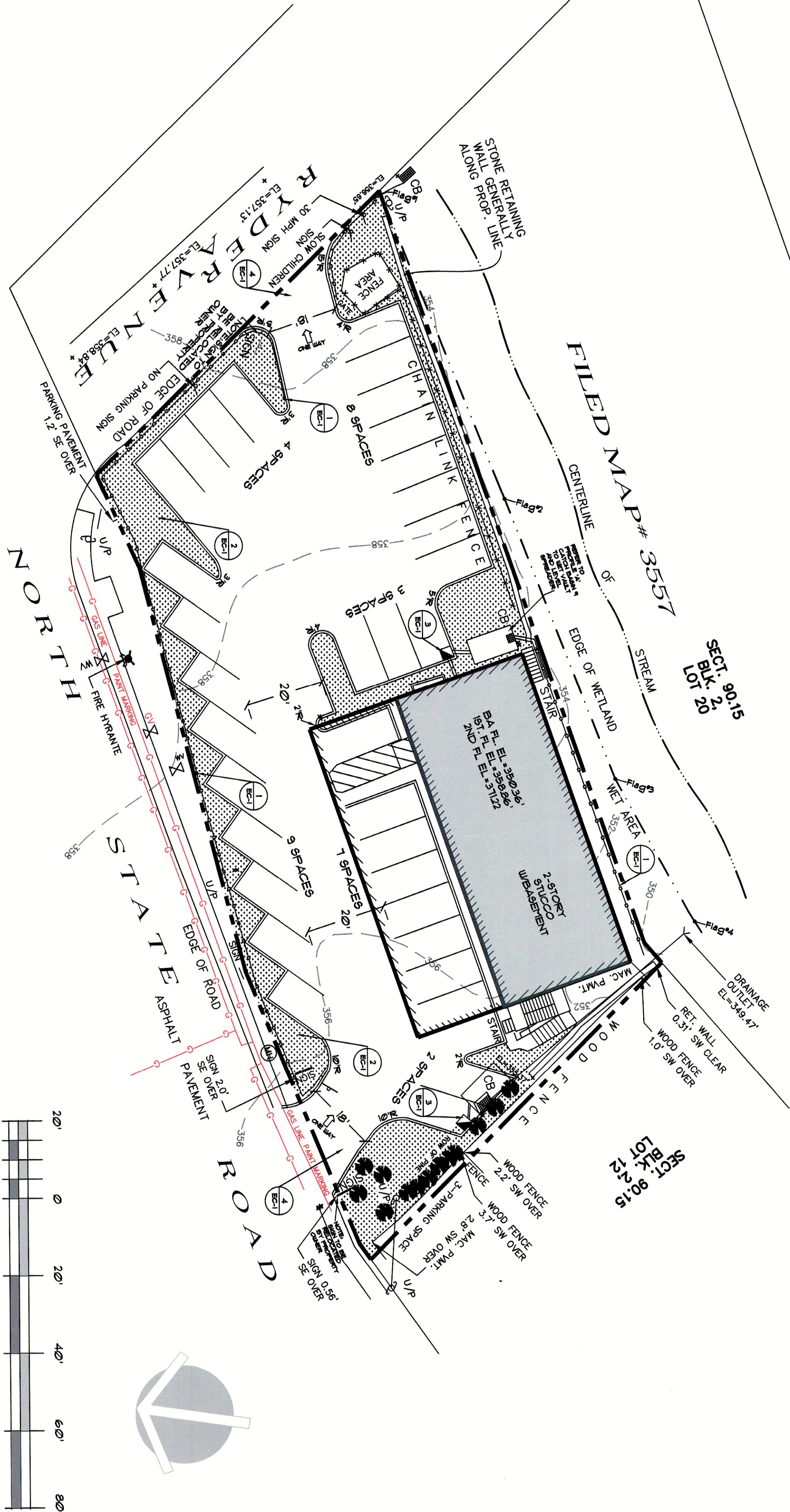


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 10 FEET.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASE OR DECREASE OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIRECTED TOWARDS CONSTRUCTION AREAS SHALL BE FORCED ACROSS THE ENTRANCE. IF FLOWING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES WILL BE REEMMENTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT FLOW OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT IMMEDIATELY DISPOSED, WASHED OR TRACED OVER PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN DRAINS ARE AN APPROVED SEDIMENT TREATING DEVICE:
 - A. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

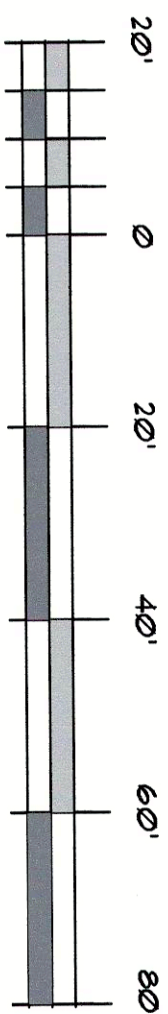
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EC-1	NOT TO SCALE

EC-1 NOT TO SCALE



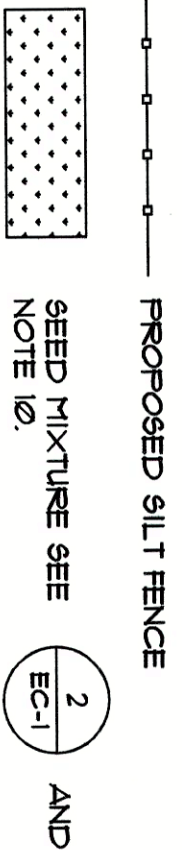
PLANTING PLAN

SCALE: 1" = 20'-0"



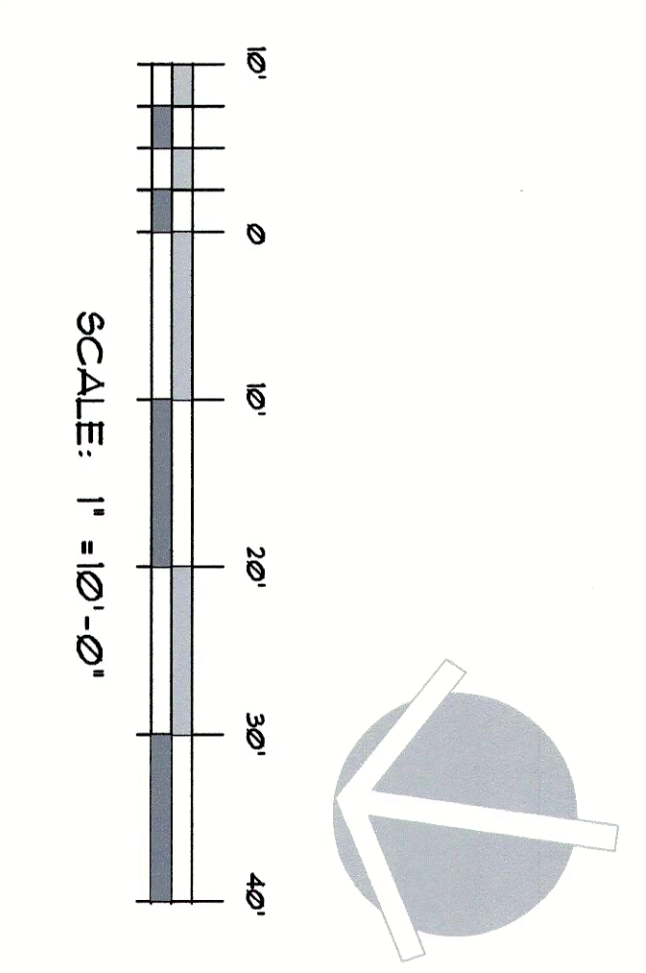
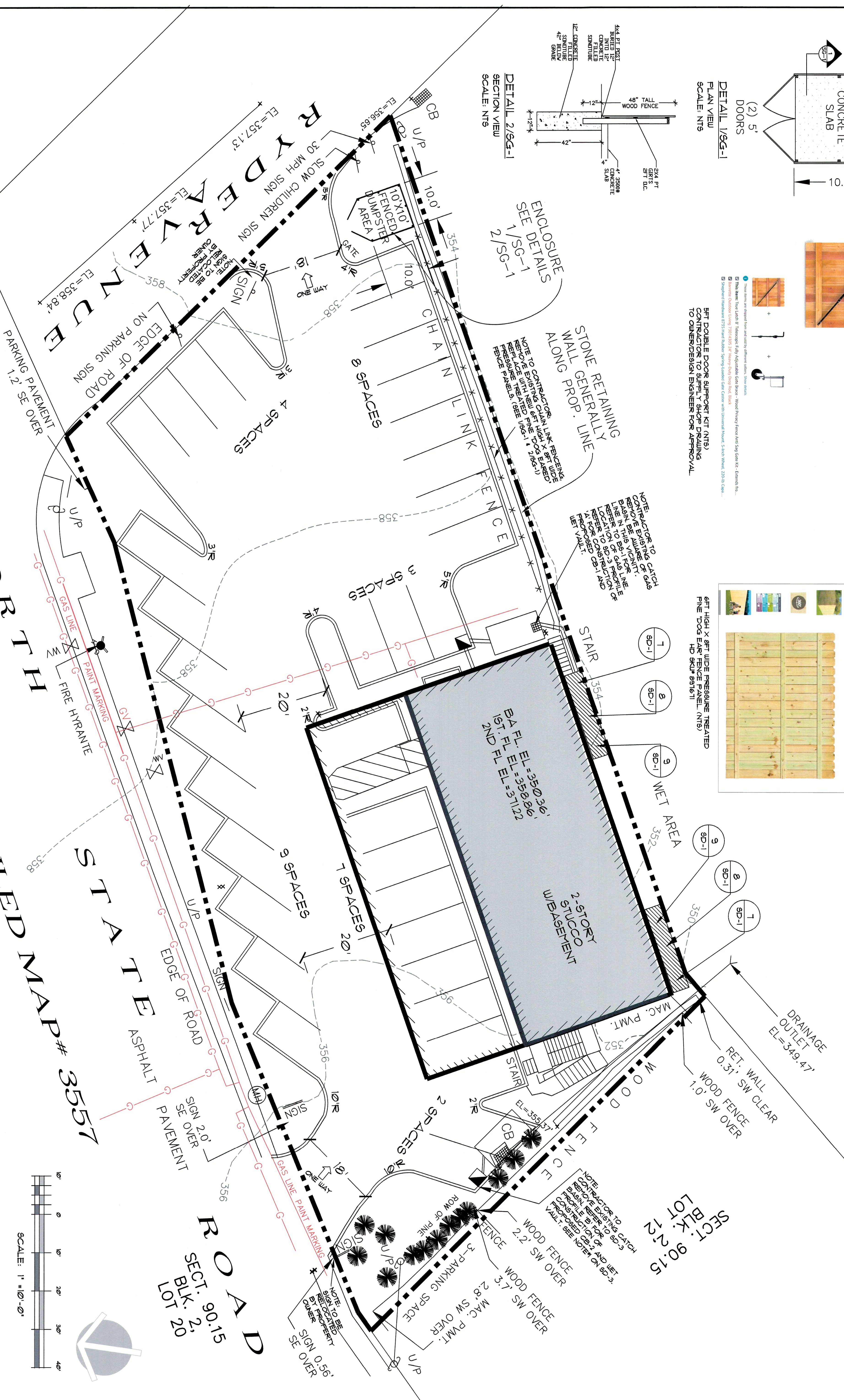
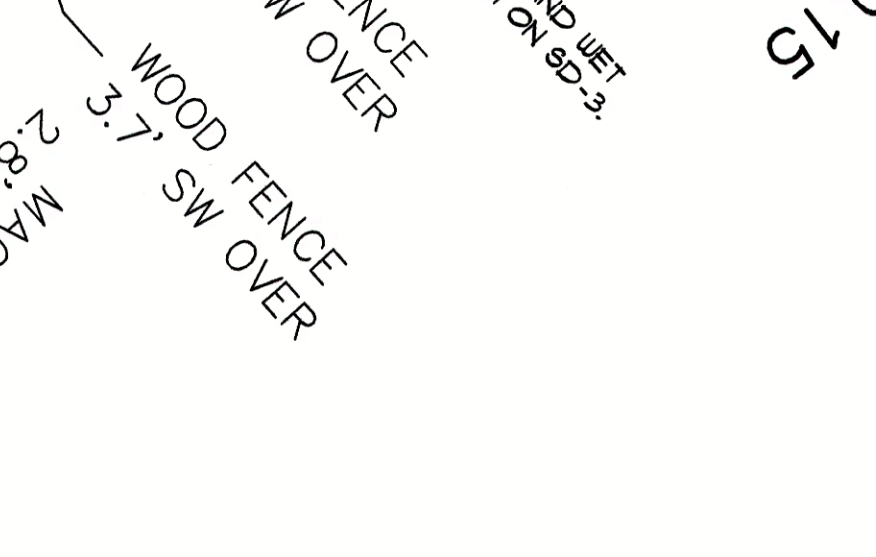
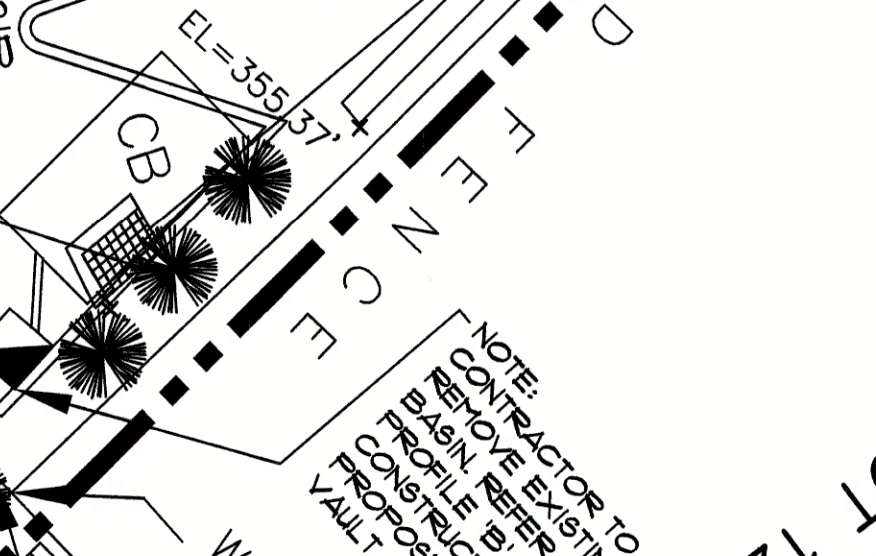
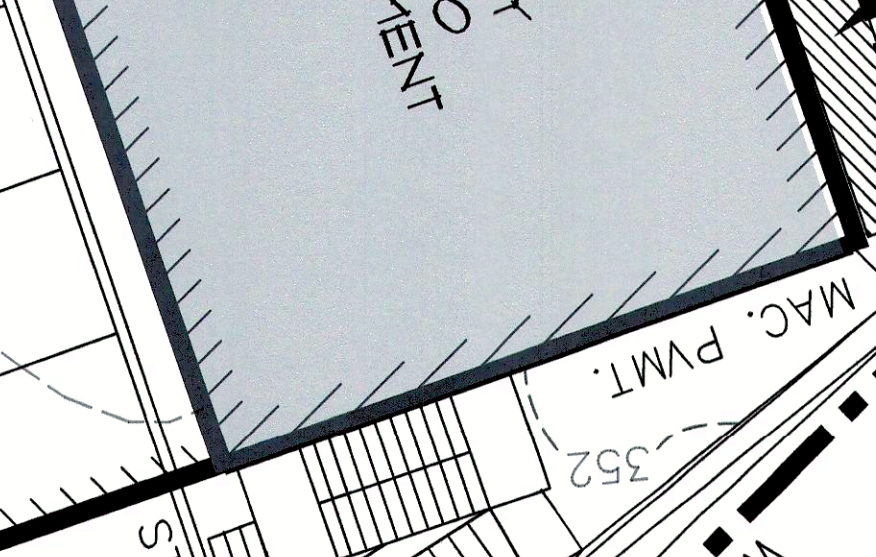
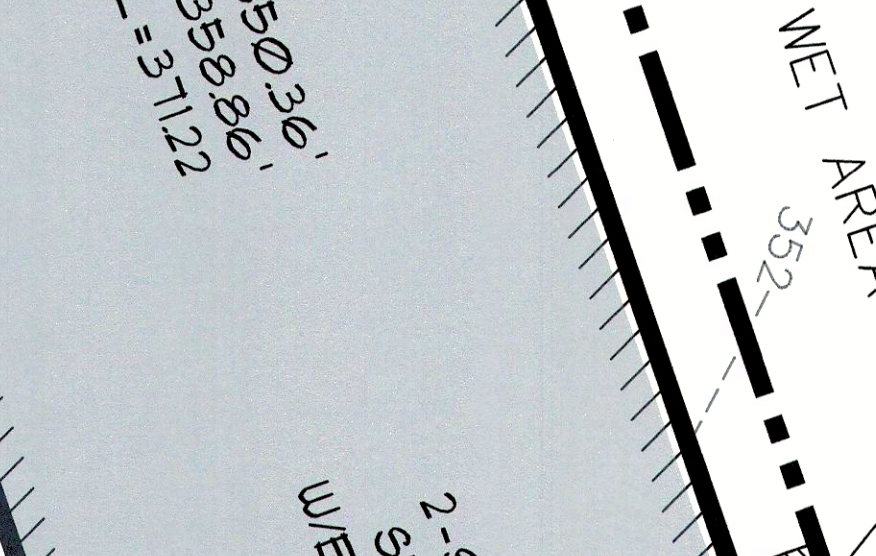
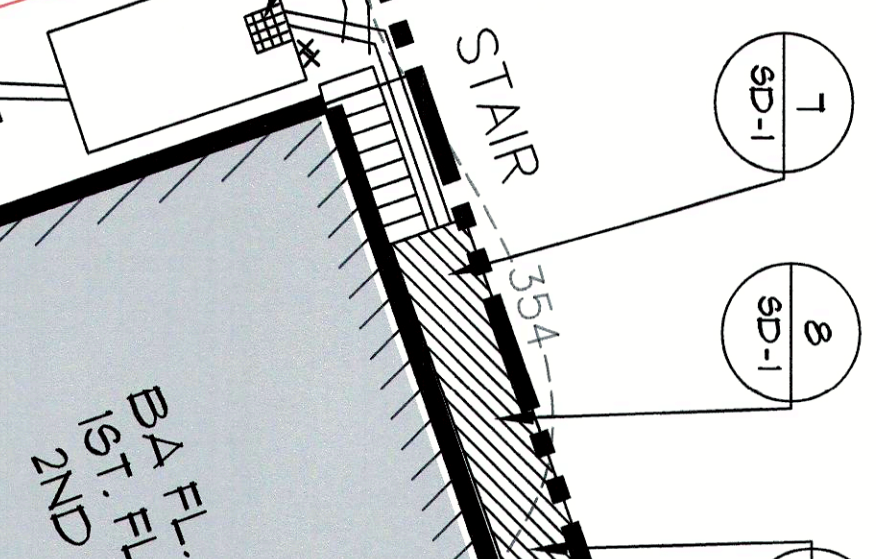
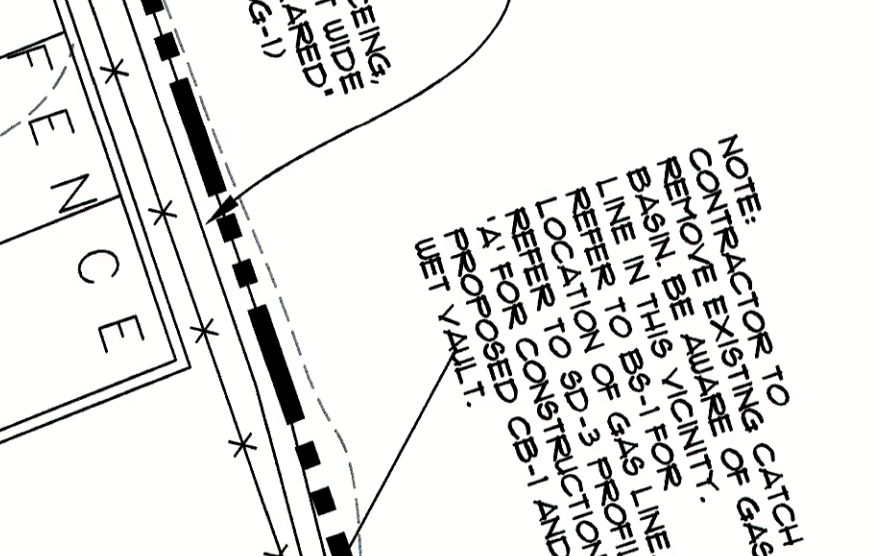
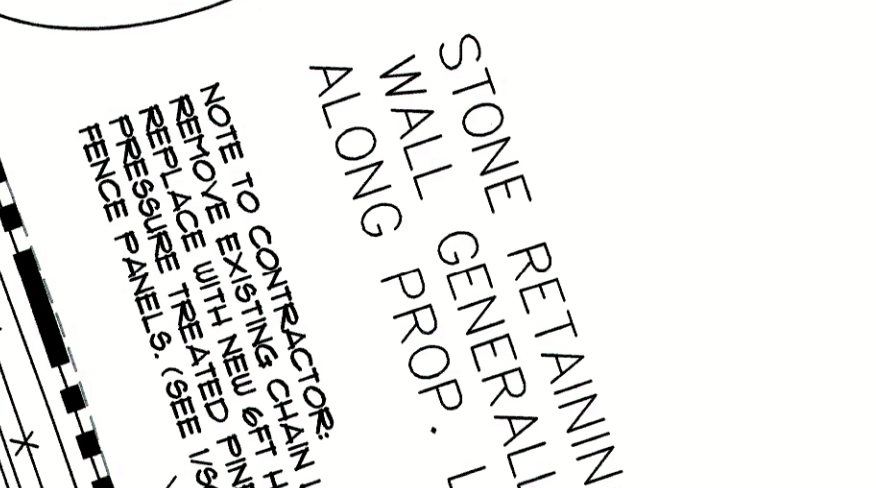
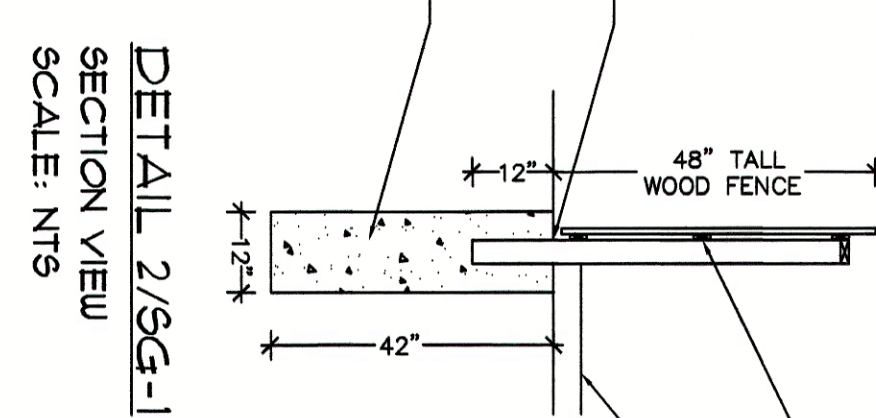
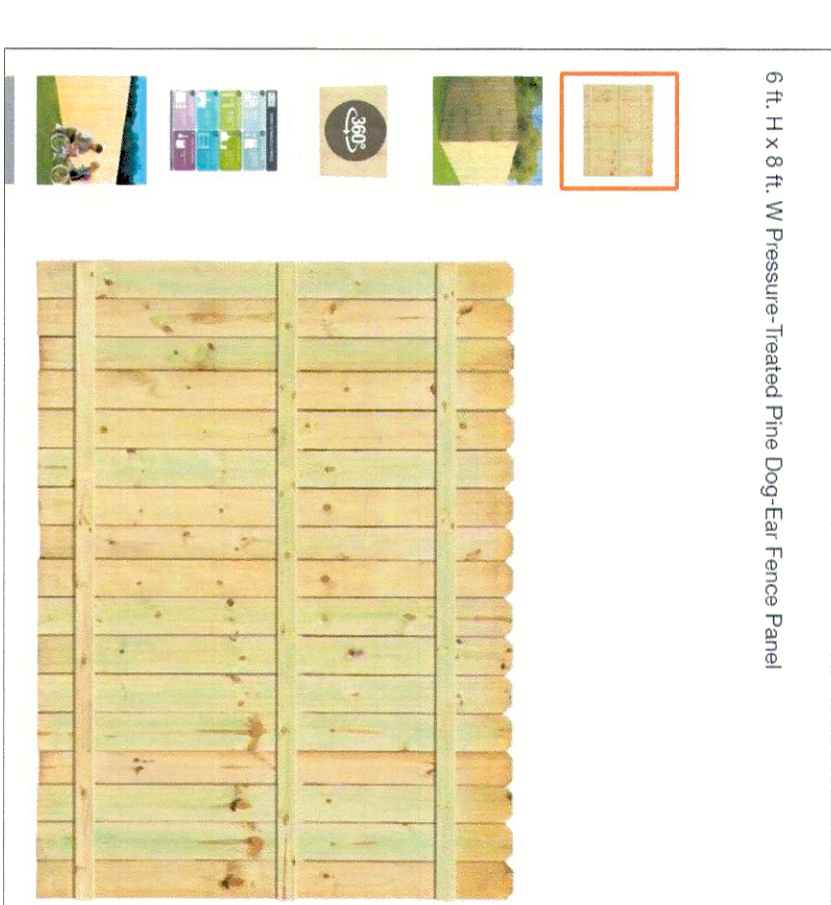
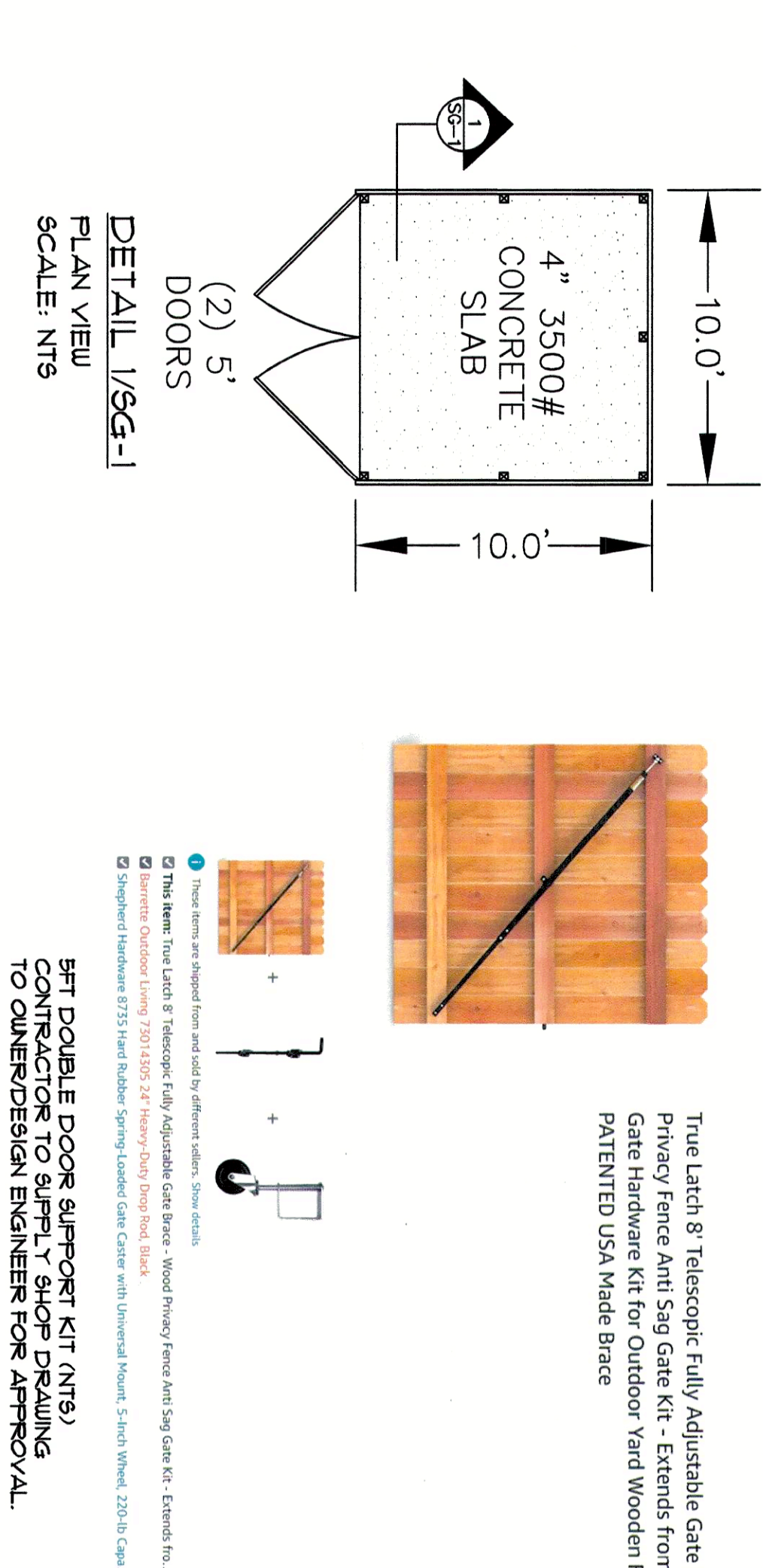
SCALE: 1" = 20'-0"

LEGEND:



PROPERTY LINE

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[illegible]

CHARLES P. MAY & ASSOCIATES, P.C.

**DESIGN
PROFESSIONALS**



□ 367 Windsor Highway □ 1073 Main Street, Suite 203
New Windsor, New York 12553 Fishkill, New York 12524
8 4 5 - 5 6 7 - 3 0 3 0 8 4 5 - 8 9 6 - 2 7 4 7

Email: charlespmayassoc@aol.com Website: www.charlespmayassociates.com

A circular professional seal for Charles P. May, a Registered Landscape Architect in the State of New York. The seal features the text "REGISTERED LANDSCAPE ARCHITECT" around the top and "CHARLES P. MAY" around the bottom. In the center is the State of New York coat of arms, with "STATE OF NEW YORK" written on the left and "NO. 704" on the right.

540 NORTH STATE ROAD
BRIARCLIFF MANOR NEW YORK
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK
PARCEL 90.15-2-11

DATE	DRAWN	CHECKED
8/24/21	CV	CFH

SCALE 1"=10'

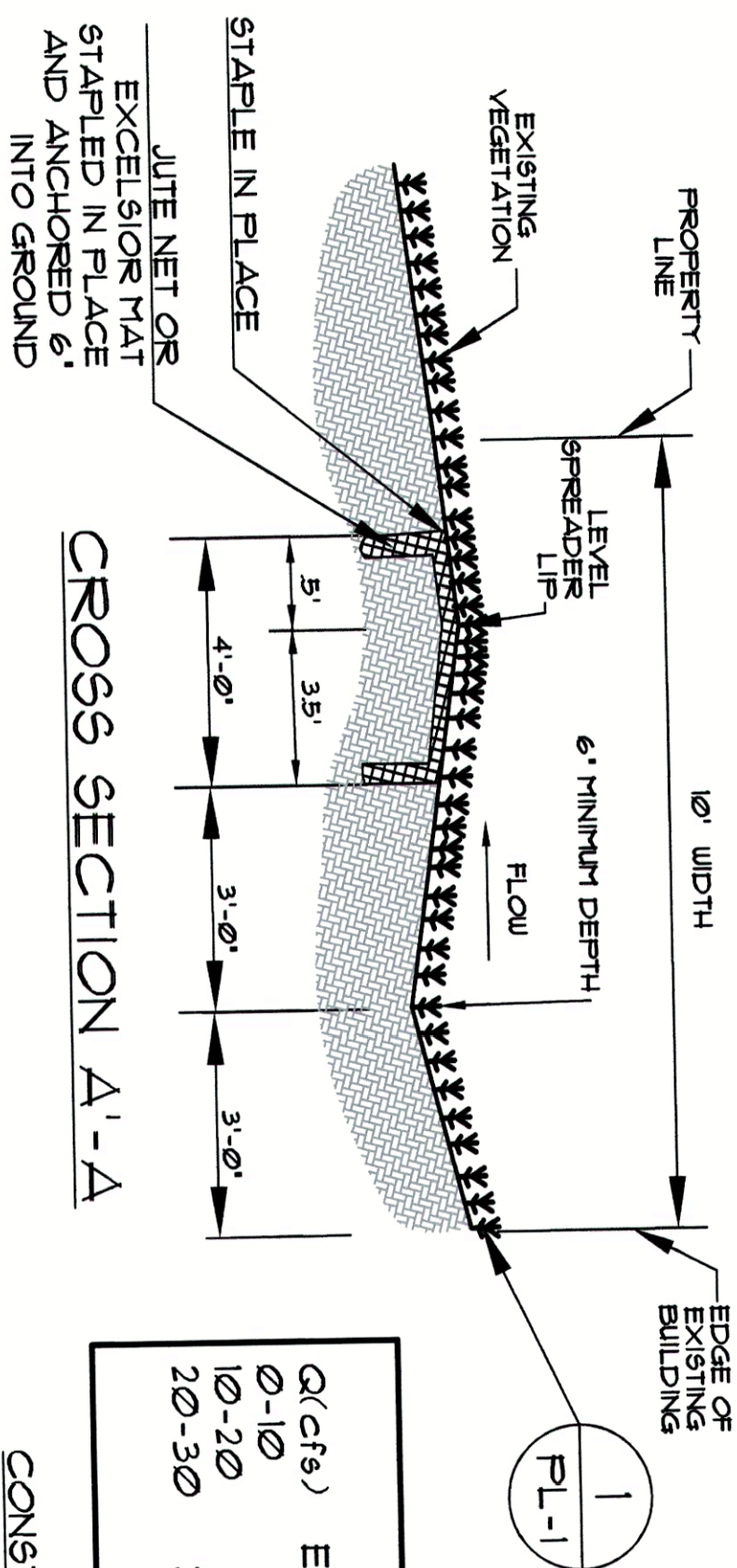
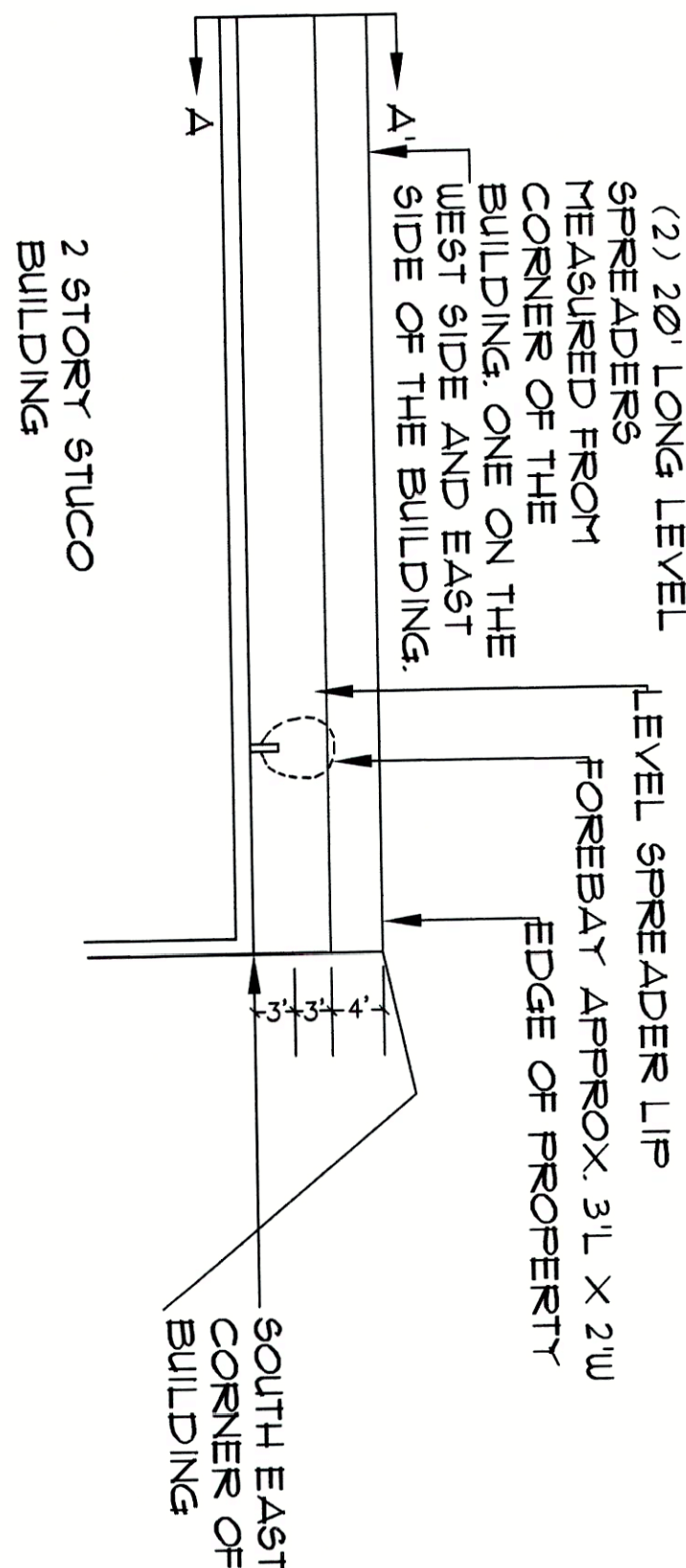
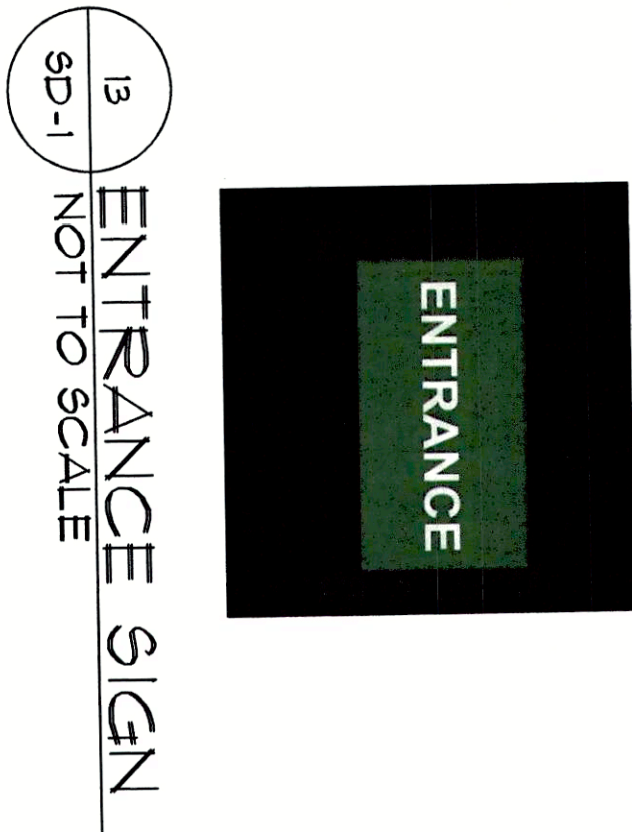
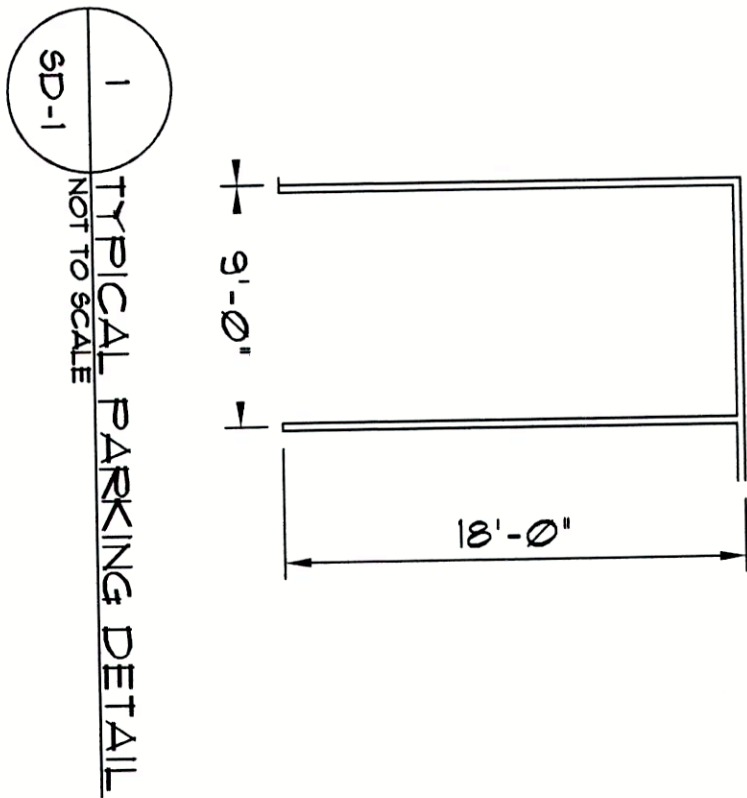
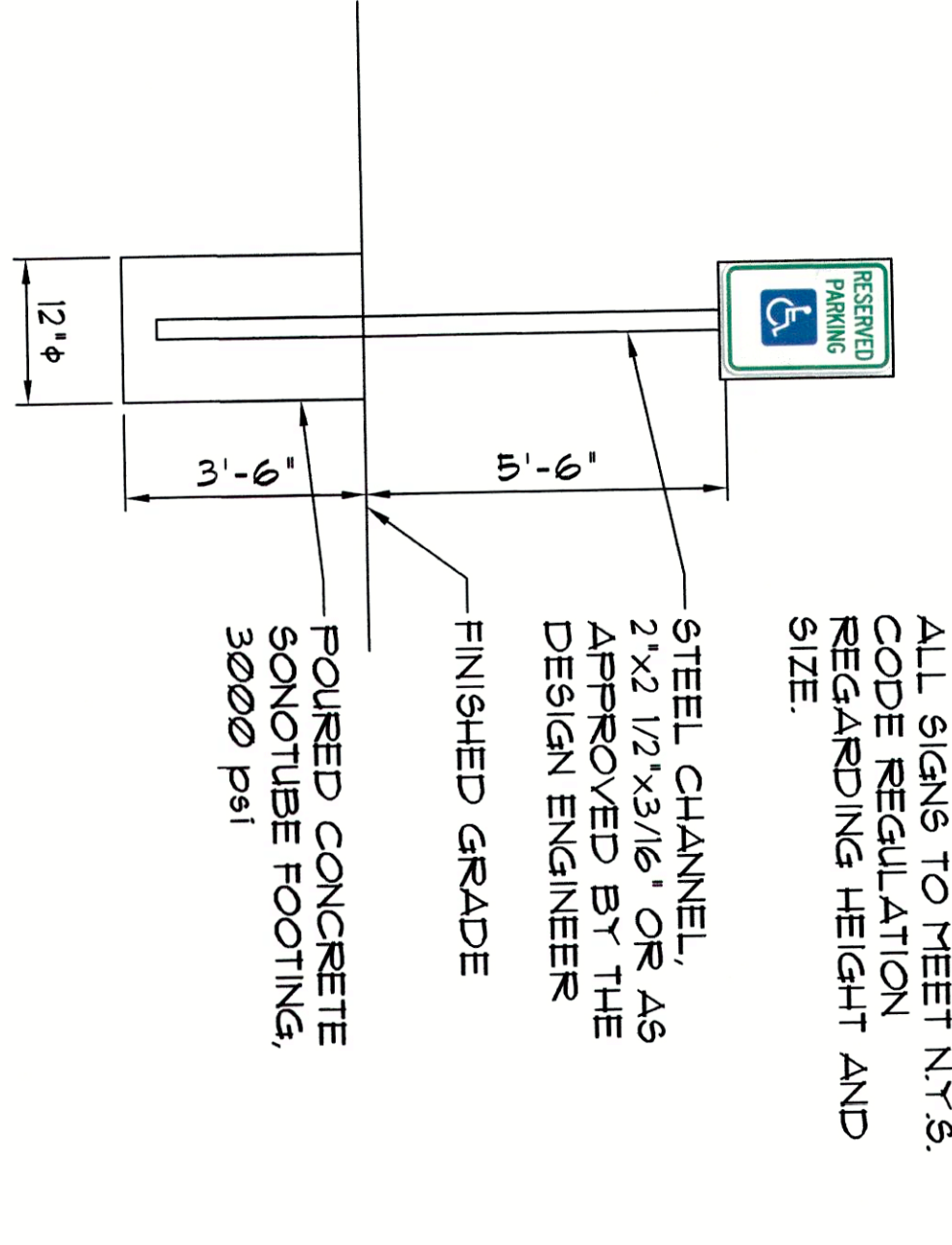
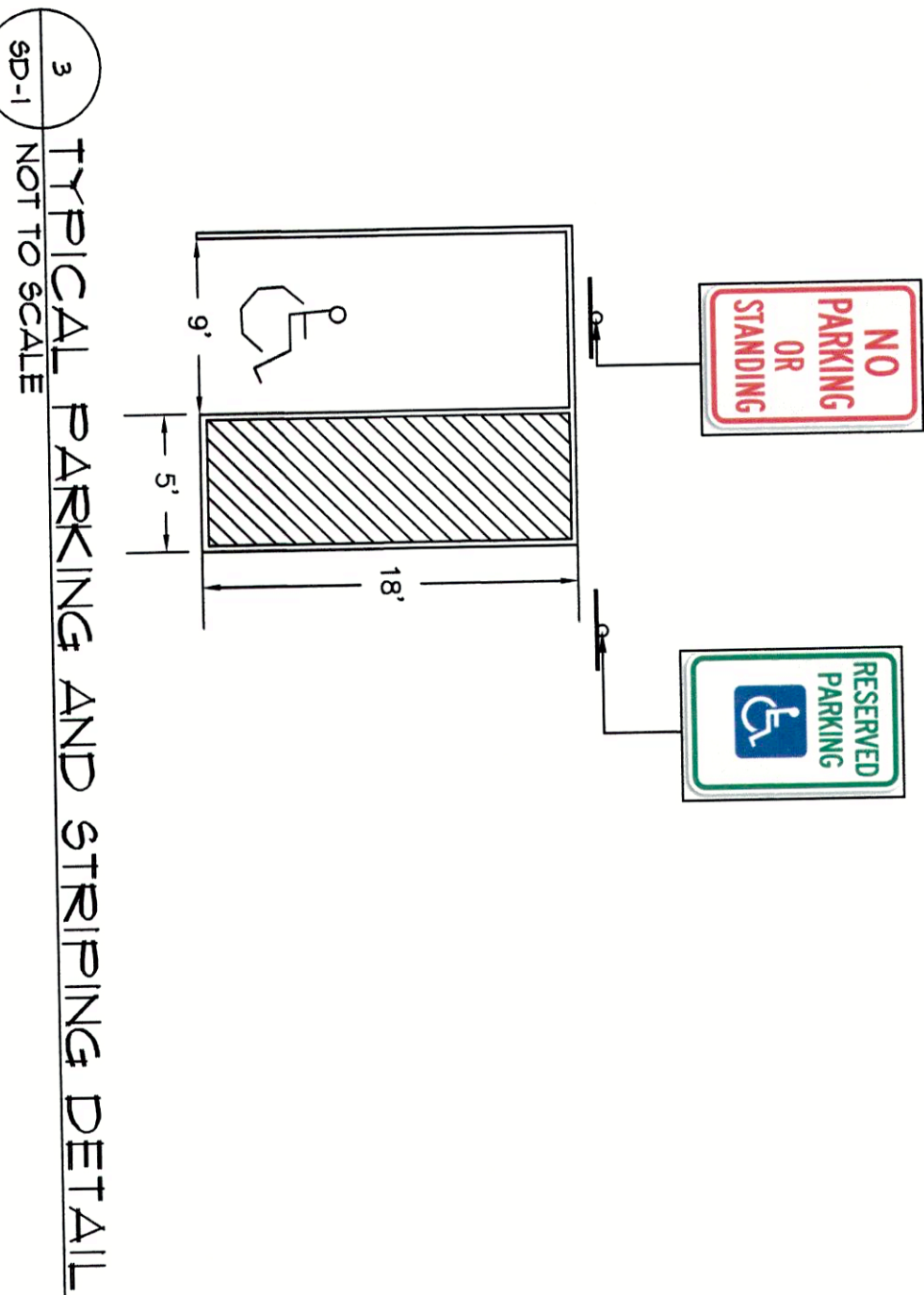
SHEET TITLE

SITE GRADING
PLAN

PROJECT NUMBER
2021-06

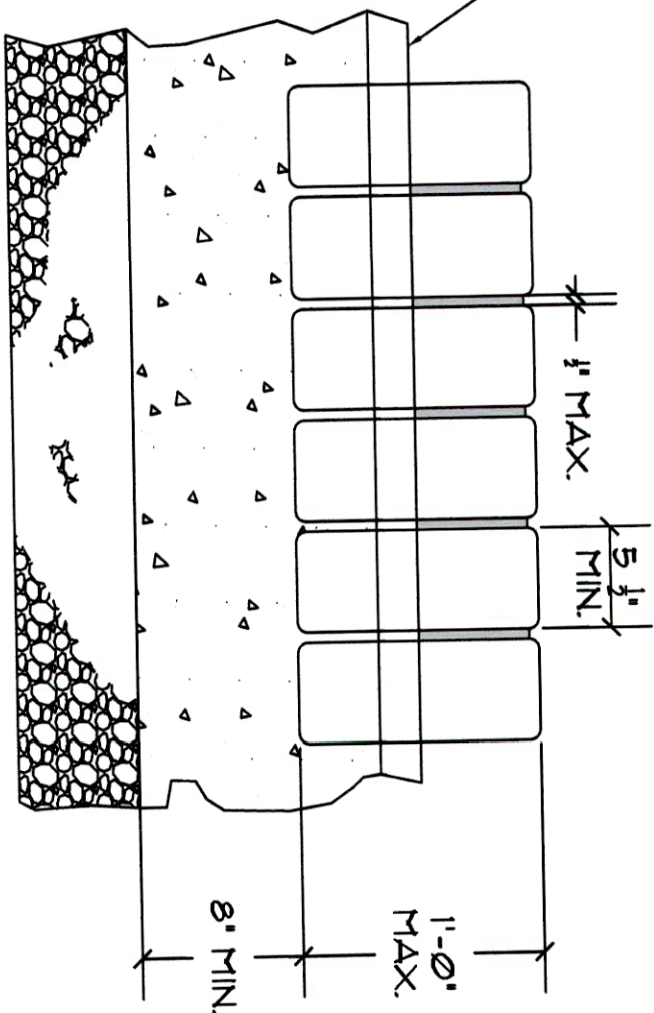
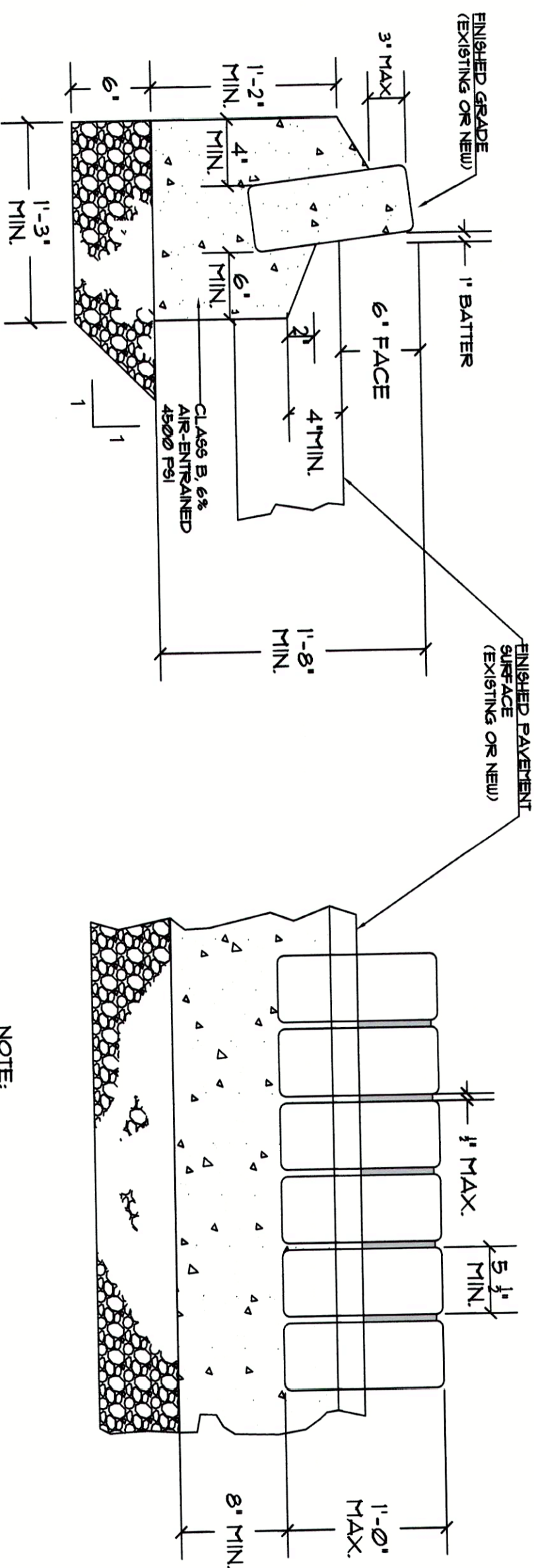
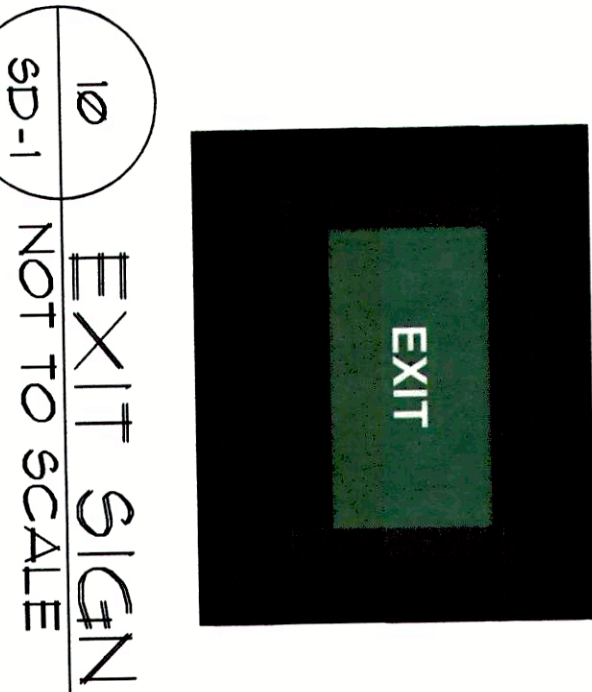
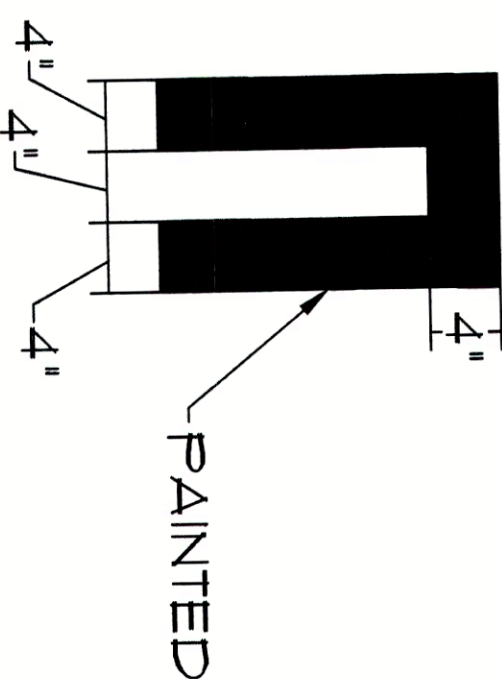
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DRAWING NUMBER
SHEET 6 of 10

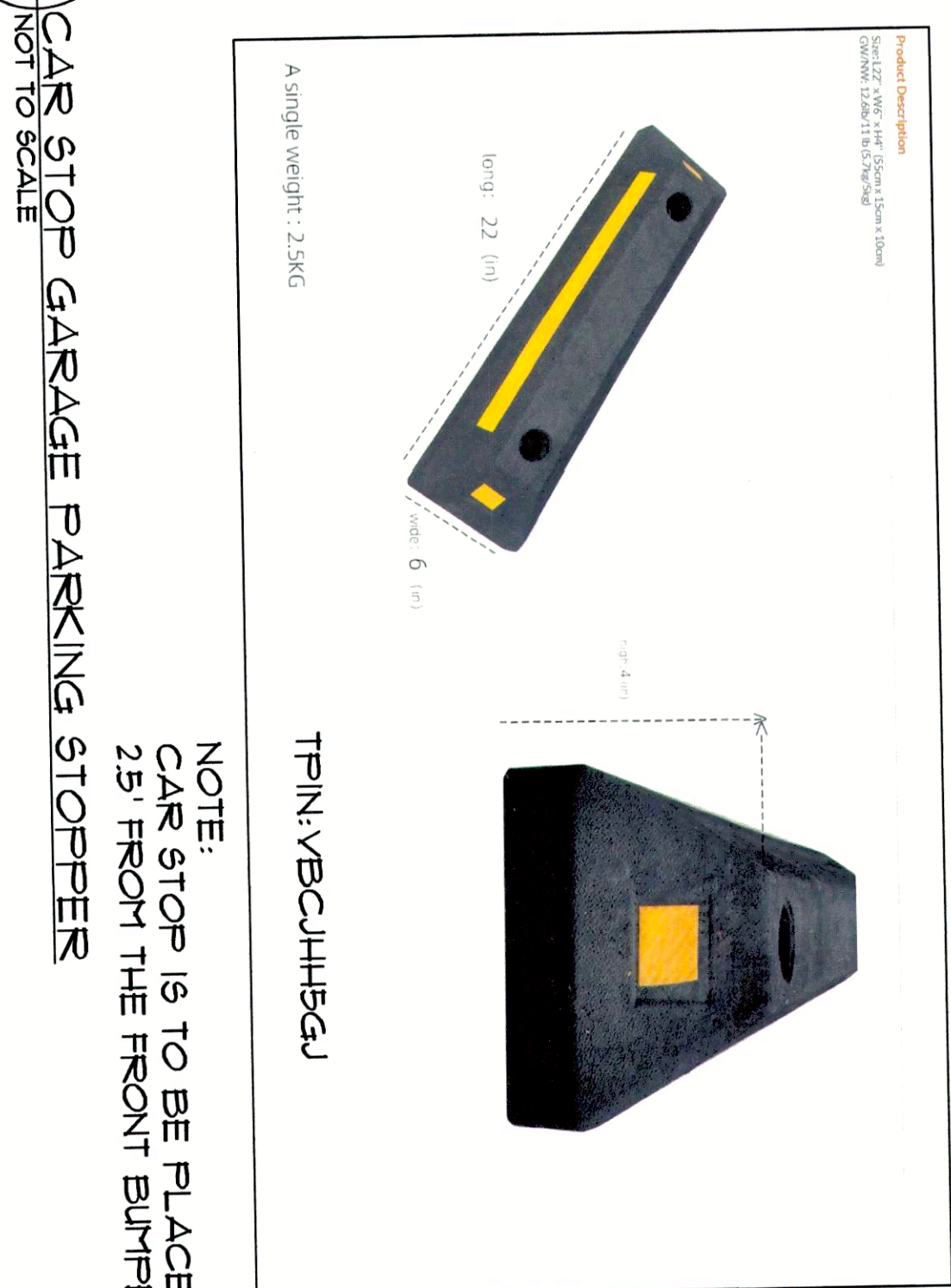


Q/C(FS)	EW(Ft)	D(Ft)	LENGTH(Ft)
0-10	10	0.5	10
10-20	16	0.6	20
20-30	24	0.7	30

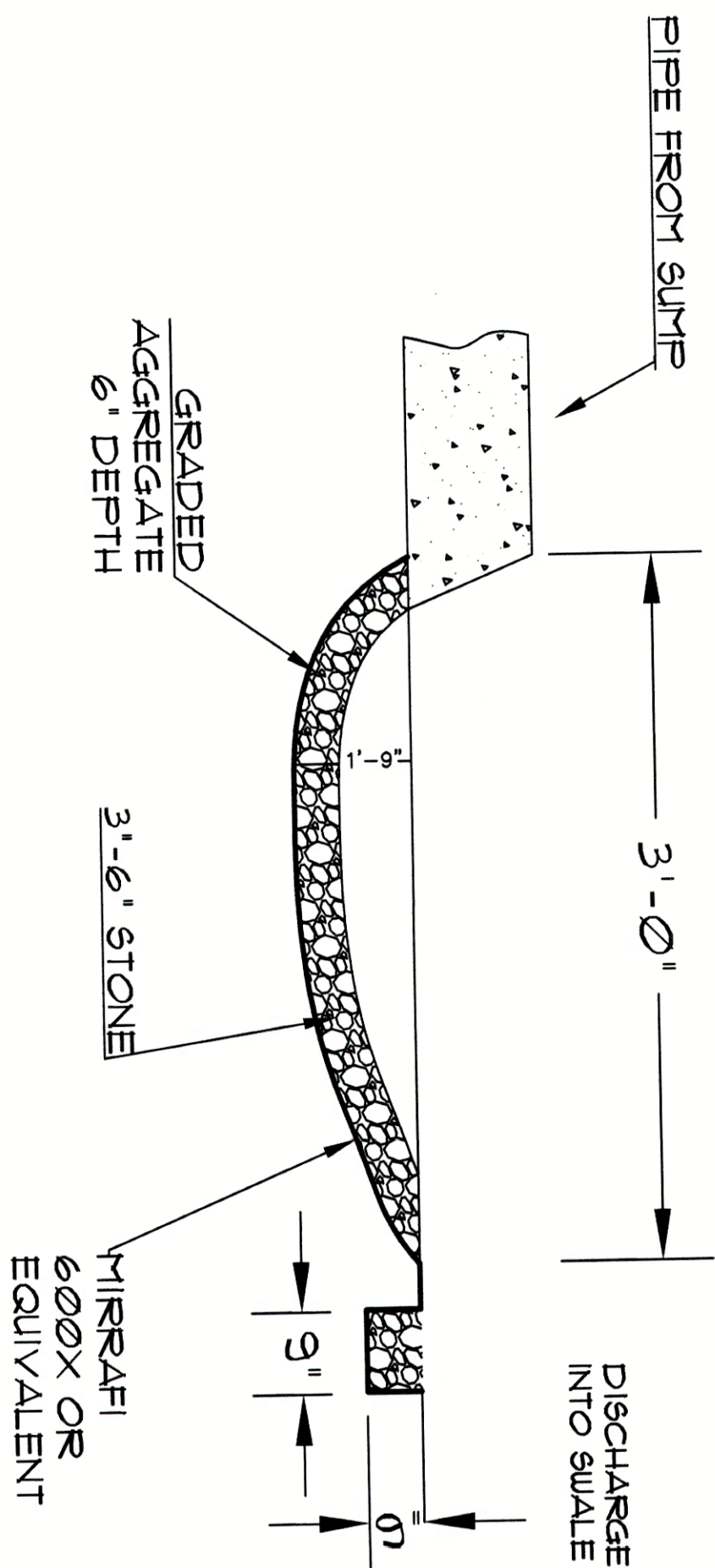
- CONSTRUCTION SPECIFICATIONS
- THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 6 INCHES OVER THE LIP AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOD AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.
 - ENSURE THAT THE LIP IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
 - THE LIP SHALL BE CONSTRUCTED ON UNDISTURBED SOIL NOT FILL.
 - THE RUNOFF DISCHARGE WILL BE OUTLETED ONTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
 - SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.



NOTE:
JOINTS TO BE 1/2" WIDE USING 1/2" INTO CENT MORTAR STRUCK WITH CONCRETE TOOL.



NOTE:
CAR STOP IS TO BE PLACED 25' FROM THE FRONT BUMPER

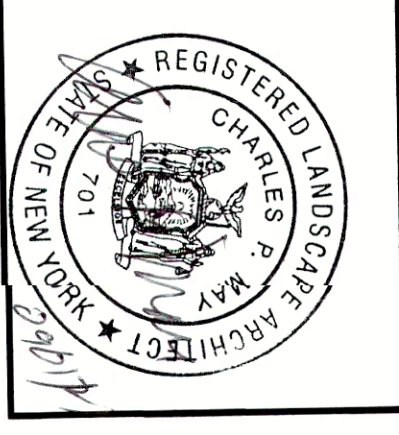


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PROJECT NUMBER	1071-06
DRAWING NUMBER	SD-1
SHEET 1 of 10	

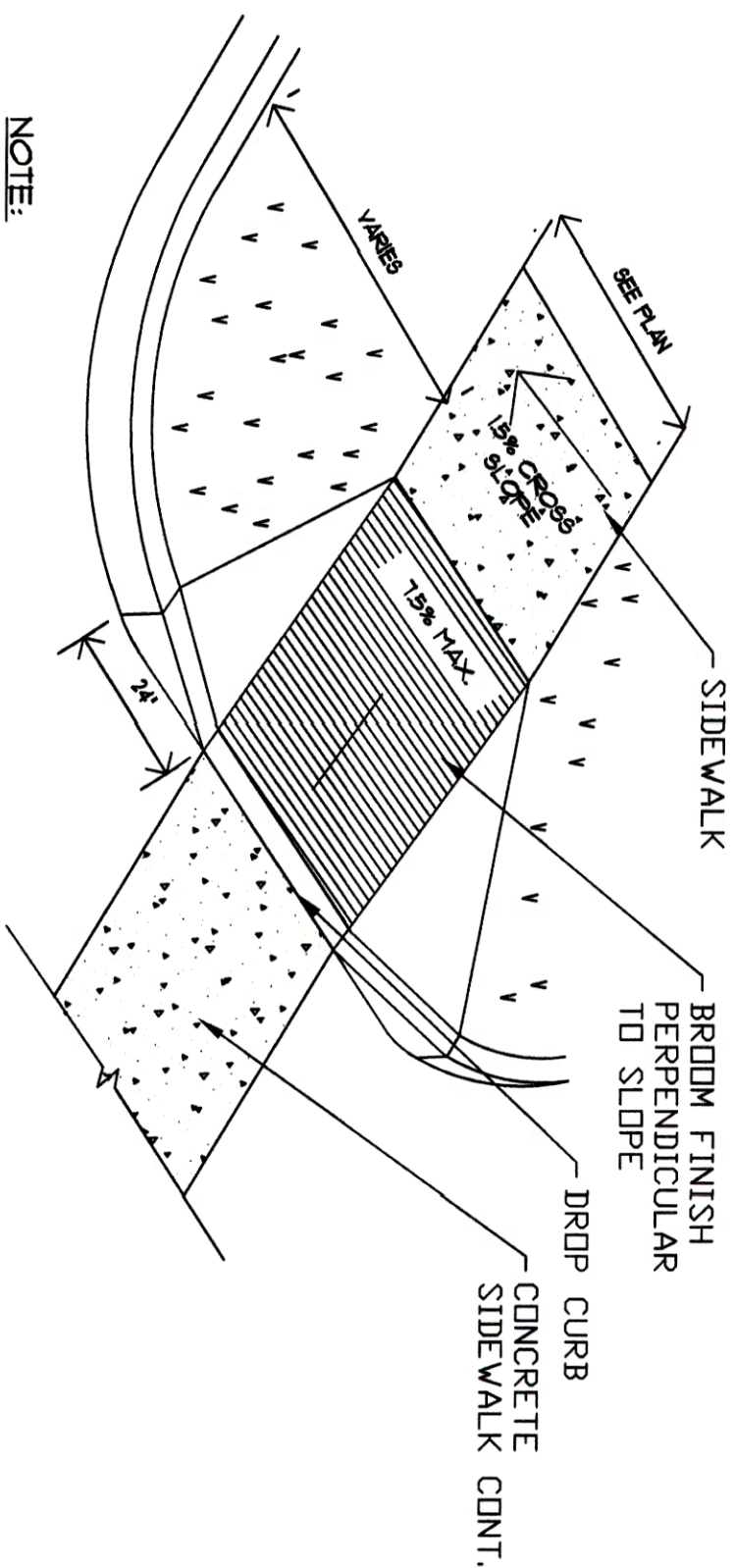
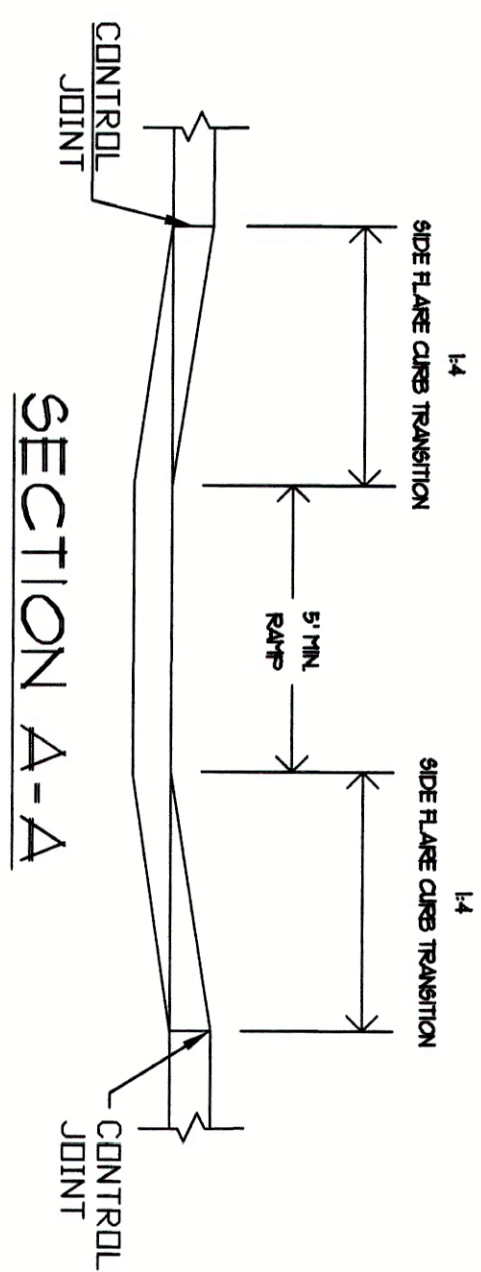
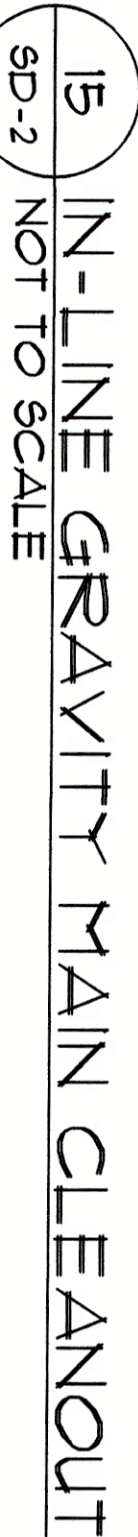
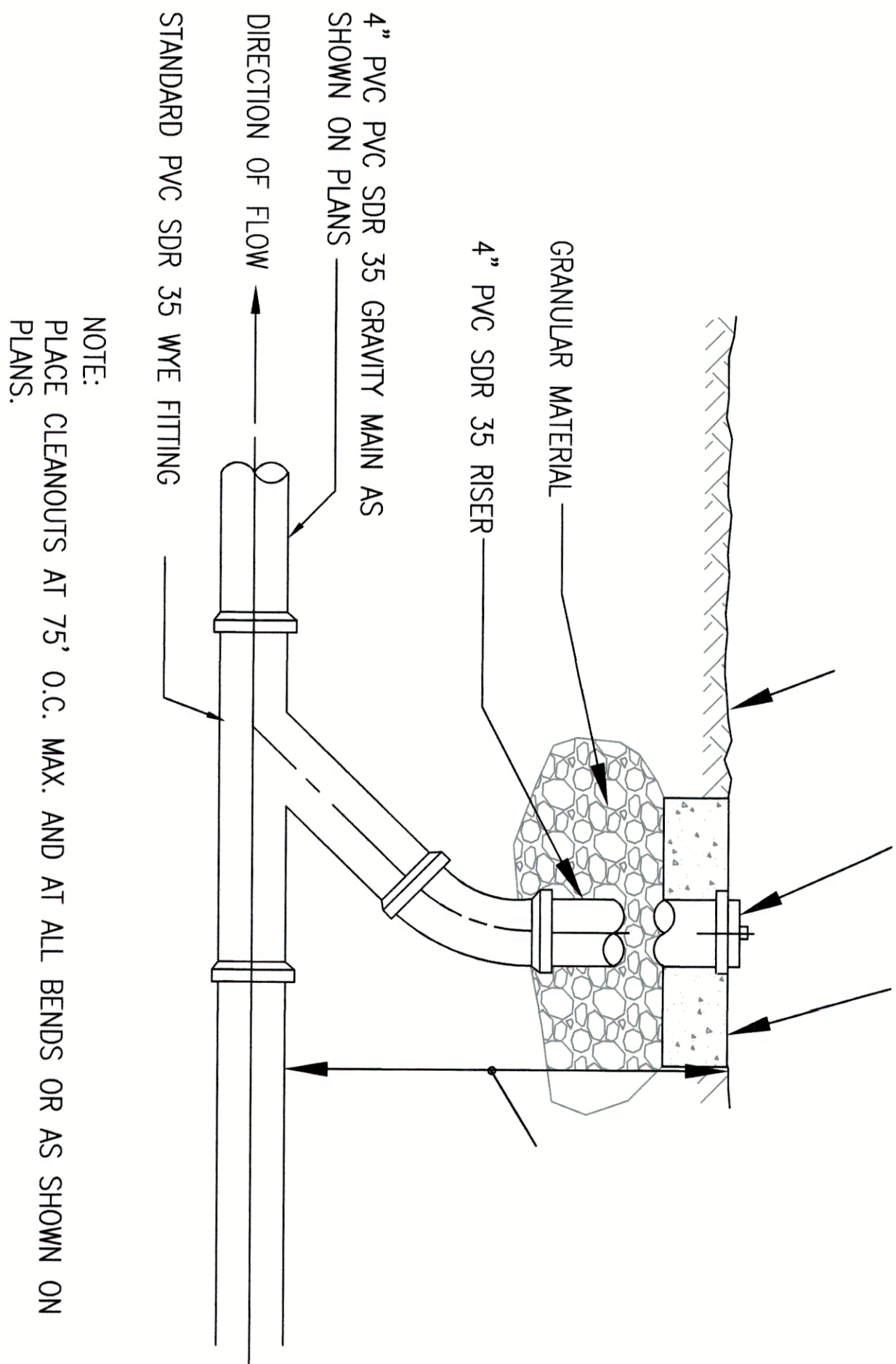
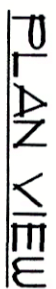
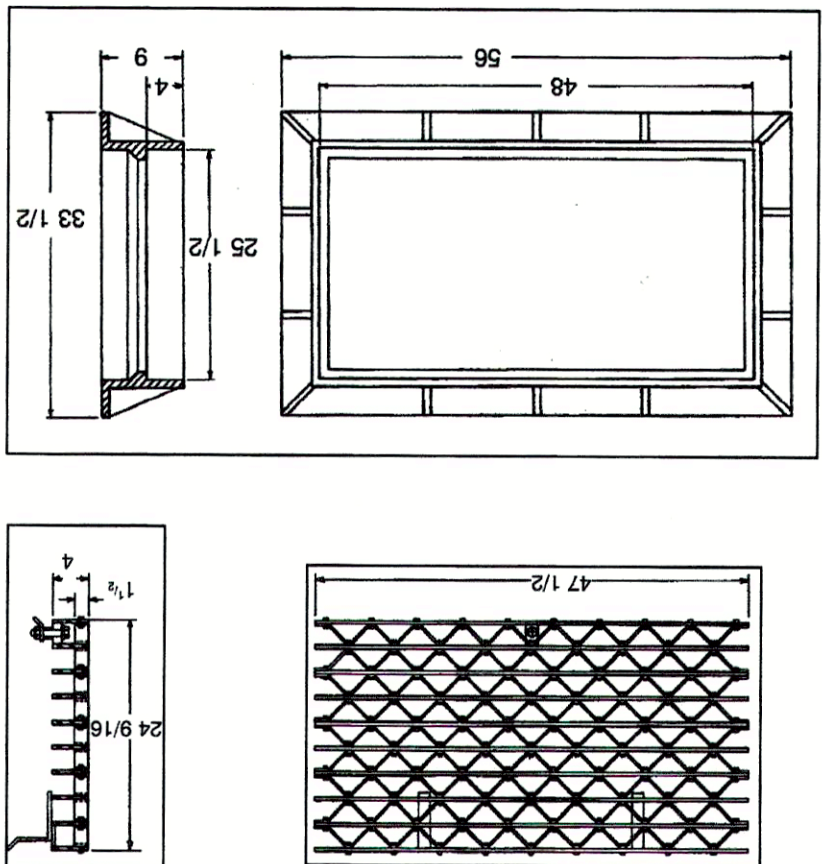
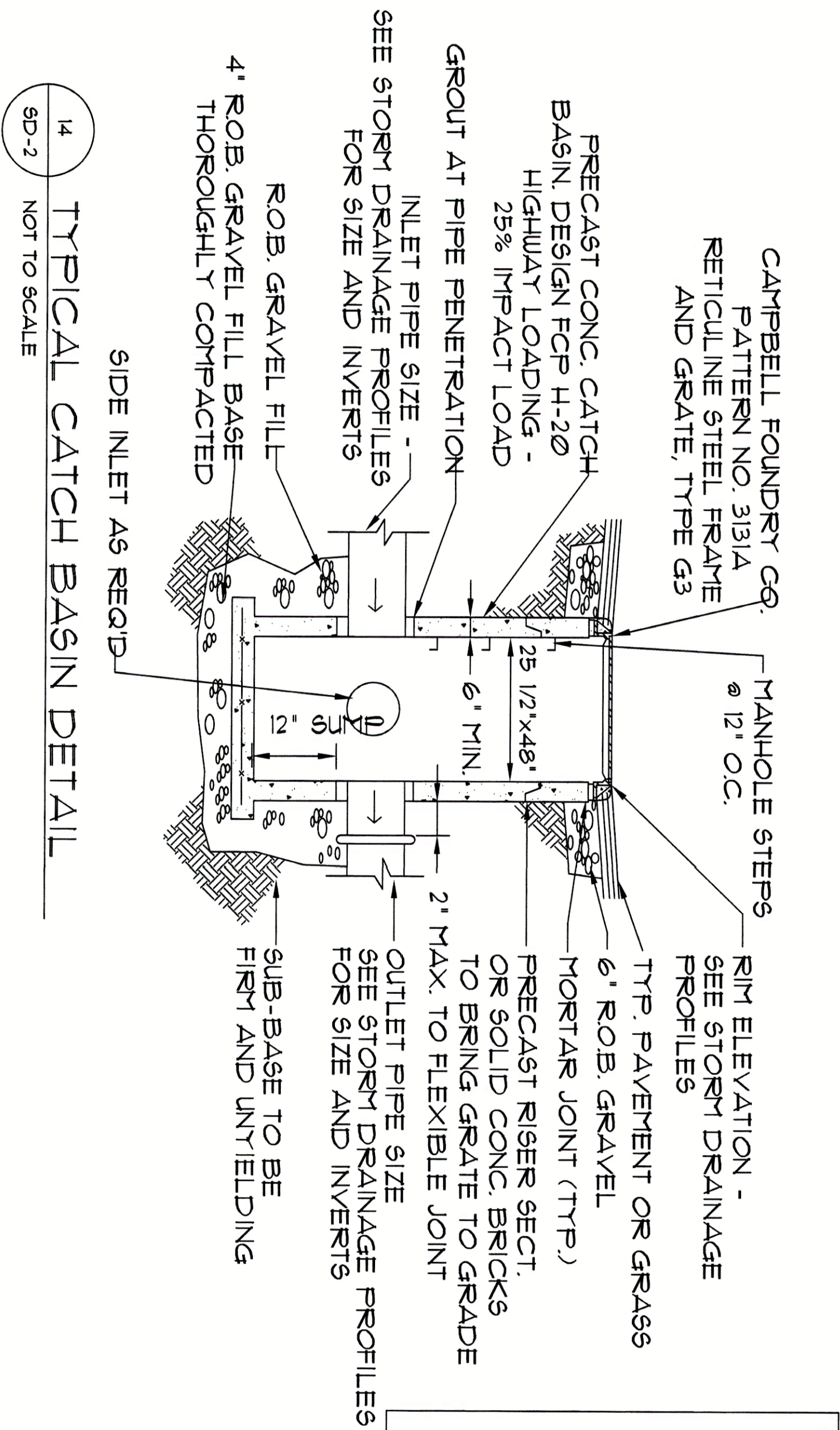
DATE	8/24/21	DRAWN	CV	CHECKED	CPH
SCALE	NTS				
SHEET TITLE	SITE DETAIL 5 SHEET				

540 NORTH STATE ROAD
BRIARCLIFF MANOR
TOWN OF OSSING
WESTCHESTER COUNTY, NEW YORK
PARCEL 9015-2-11

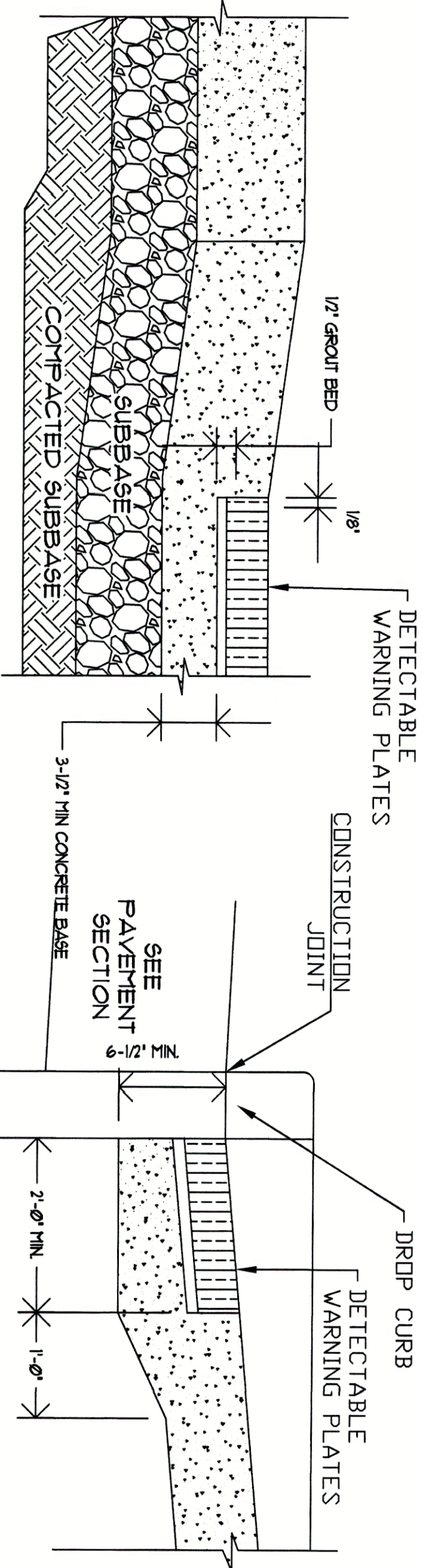
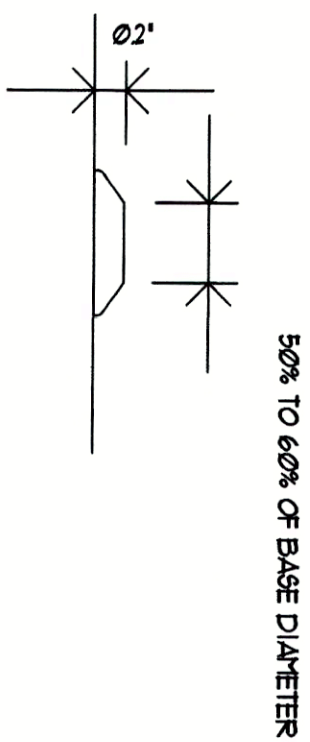
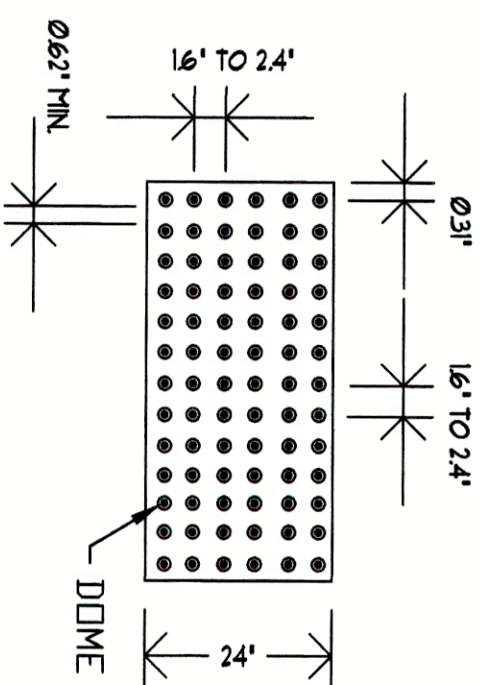
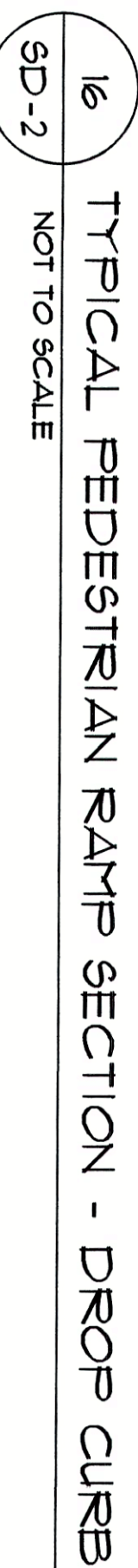


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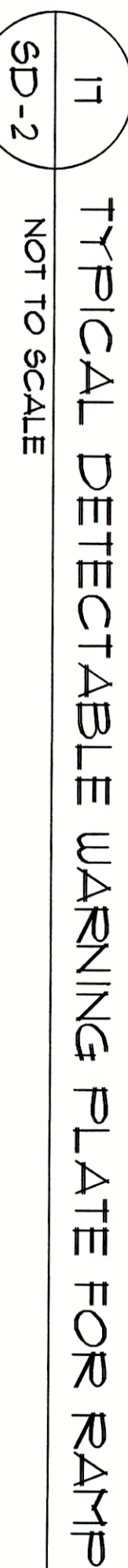
REVISIONS				
NO.	DATE	BY	CHKD	DESCRIPTION



1. ALL WORK SHALL CONFORM WITH THE NHDOT STANDARD SPEC'S FOR CONSTRUCTION AND MATERIALS DATED MAY 1, 2016, AND ALL ADDENDUMS THERE TO SPECIFICALLY SECTION 600-8. SIDEWALKS, DRIVEWAYS AND BICYCLE PATHS.
2. SLOPE RAMP AND SIDE FLARES AS INDICATED IN THE PLANS OR AS ORDERED BY THE ENGINEER
3. DETECTABLE WARNING PLATES SHALL BE PROVIDED ON THE SIDEWALK LOCATION SHOWN ON SL-1 AT PECKHAM ROAD ON THE DETECTABLE WARNING PLATE IS NOT REQUIRED ON THE KAPPAUS DETECTABLE WARNING ENTRANCE TO THE SHERBURN



1. DETECTABLE WARNING PLATE SHALL BE WASHABLE TILE ADA TRUNCATED DOME PAVEMENTS OR APPROVED EQUAL FROM NYSDOT'S APPROVED LIST. CONTRACTOR TO MATCH THE COLOR OF THE EXISTING DETECTABLE WARNING SURFACE ON THE SW CORNER OF PECKHAM ROAD AND ROUTE 44.

[illegible]

CHARLES P. MAY & ASSOCIATES, P.C.

**DESIGN
PROFESSIONALS**



□ 367 Windsor Highway □ 1073 Main Street, Suite 203
New Windsor, New York 12553 Fishkill, New York 12524
845-567-3030 845-896-2747

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540 NORTH STATE ROAD
BRIARCLIFF MANOR
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK
PARCEL 90.15-2-11

DATE	DRAWN	CHECKED
8/24/21	CV	CFM
SCALE N.T.S.		
SHEET TITLE		
SITE DETAILS		
SHEET		

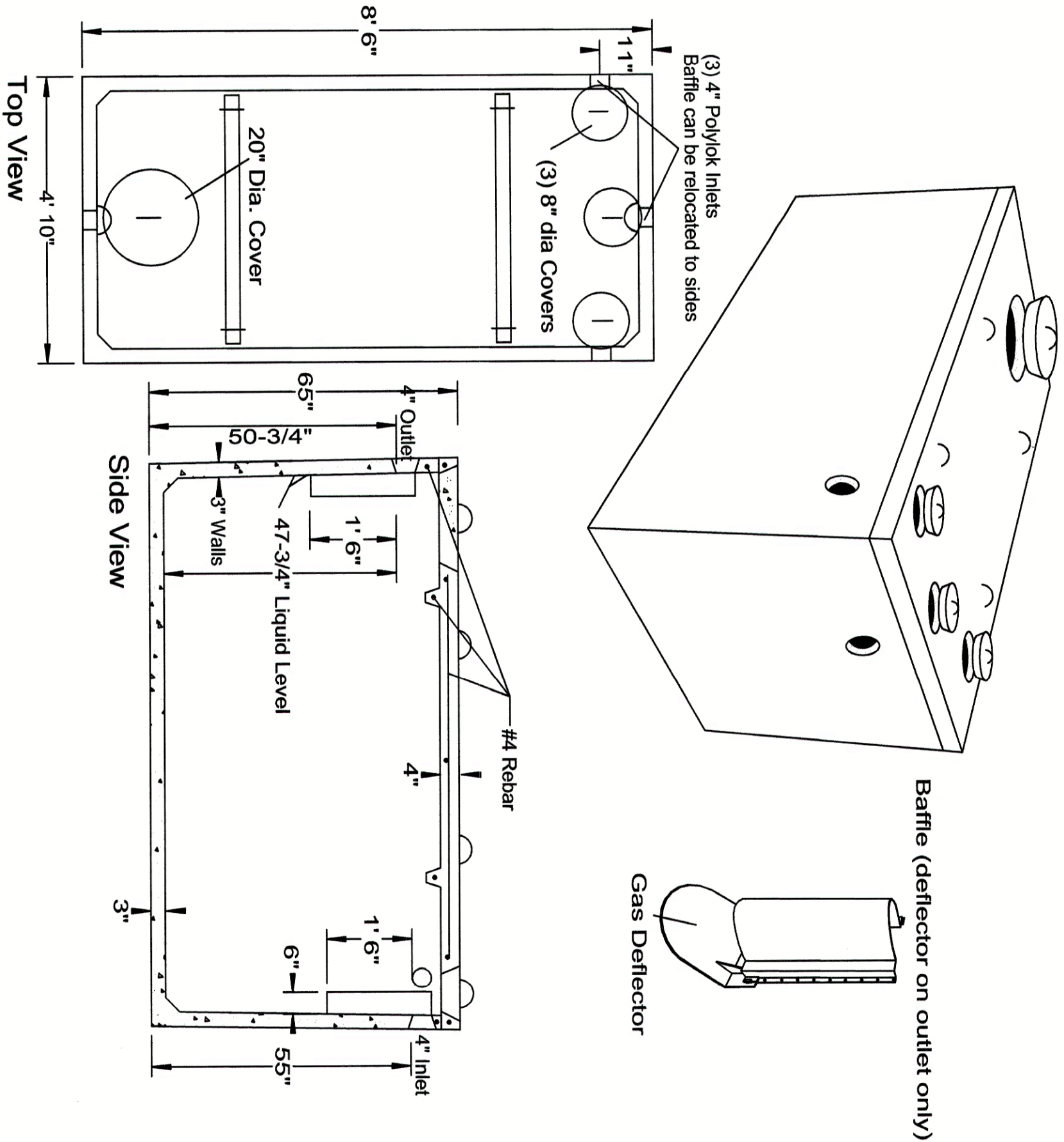
PROJECT NUMBER
2021-06

SD-2

DRAWING NUMBER

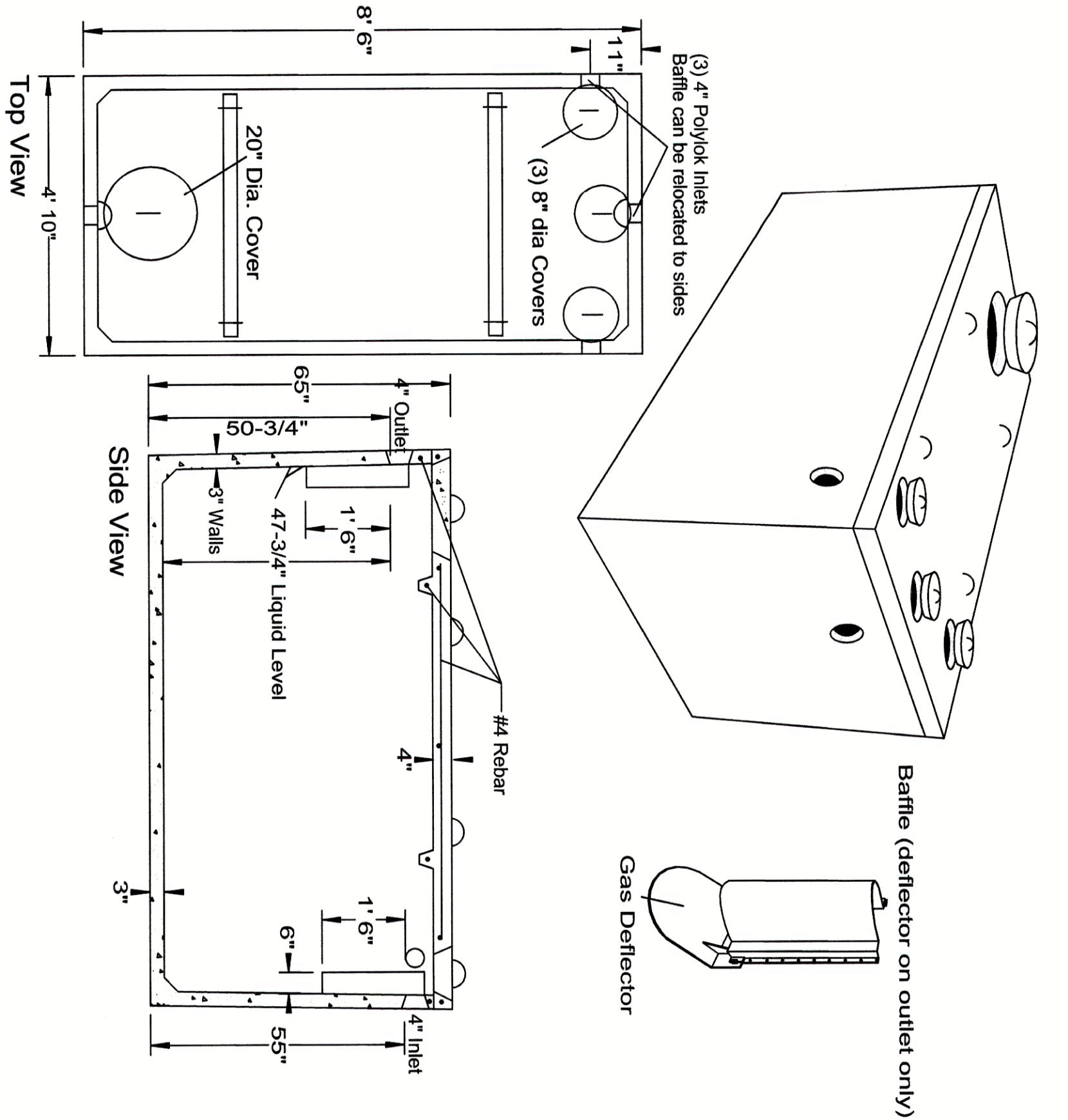
SHEET 8 of 10

STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL. WHERE SUCH ALTERATIONS ARE MADE THE LICENSED PROFESSIONAL MUST SIGN, SEAL, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATION.



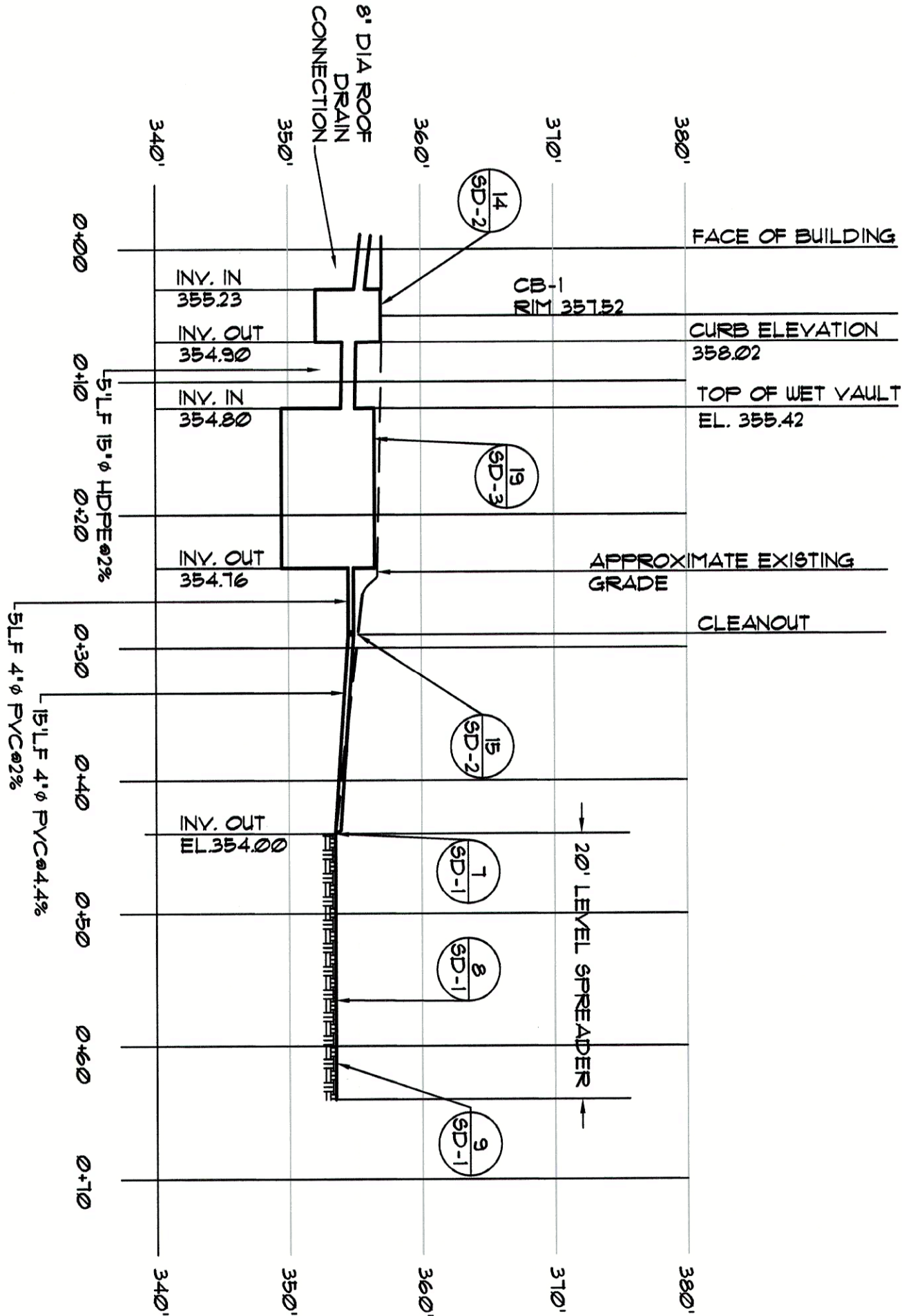
SPECIFICATIONS	PRECAST WET VAULT MODEL ST-1000 / 1000 GALLONS
Concrete Min. Strength: 4,000 psi at 28 days Reinforcement: #4 bar gr. 60, Foria Ferro 5 lb/cy Air Entrainment: 6% Construction Joint: Buyl/ Rubber Sealant Pipe Connection: Polylok Seal (patented) Weight = 8,700 lbs Load Rating: 300 psf	
Woodard's Concrete Products, Inc. 629 Lybolt Road, Bullyville, NY 10915 (845) 361-3471 / Fax 361-1050 Page 2A 7/17/14	

www.woodardsconcrete.com

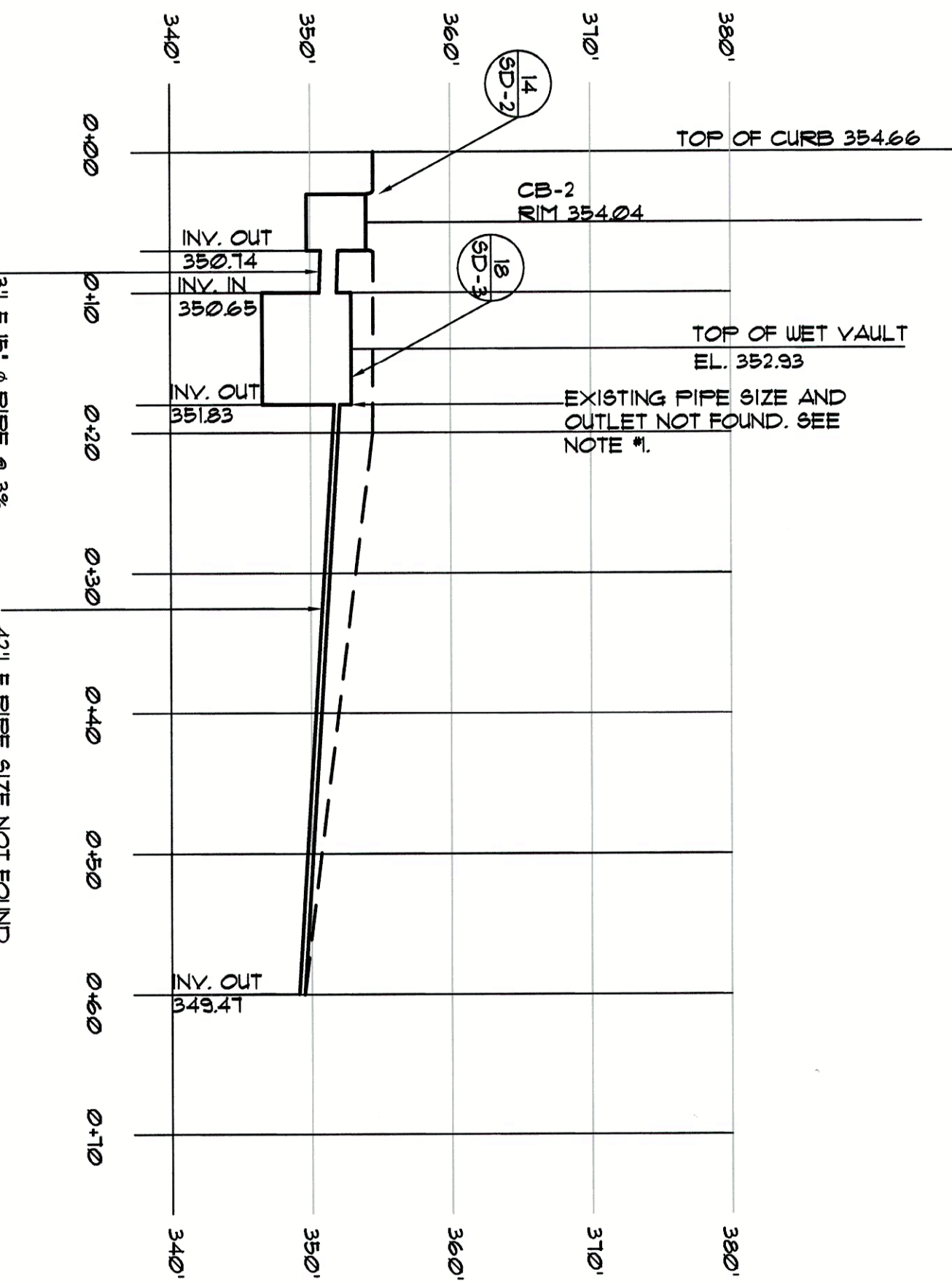


SPECIFICATIONS	PRECAST WET VAULT MODEL ST-1000 / 1000 GALLONS
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www.woodardsconcrete.com



18 1000 GAL. WET VAULT
SD-3 / NOT TO SCALE



19 3000 GAL. WET VAULT
SD-3 / NOT TO SCALE

NOTE #1:
EXISTING ELEVATIONS AT
CB-2 ARE APPROXIMATE. A
PROBE OF THE EXISTING
CB DETERMINED THE SURF
WAS FILL AND NO OUTLET
PIPE WAS FOUND. FINAL
PIPE INVERTS SHOULD BE
DETERMINED BY THE
DESIGN ENGINEER AND
CONTRACTOR.

PROFILE 'B' CATCH BASIN #2 TO 1000 GAL. WET VAULT
SCALE: HORIZ: 1"=10' VERT: 1"=10'

STATE LAW PROHIBITS ANY PERSON FROM ALTERING ANYTHING ON THIS
DRAWING AND/OR THE ACCOMPANYING SPECIFICATION, UNLESS IT IS
AUTHORIZED BY THE DESIGN ENGINEER. ANY UNAUTHORIZED
ALTERATIONS ARE MADE BY THE LICENSED PROFESSIONAL MUST SIGN
DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON
THE DRAWING AND/OR IN THE SPECIFICATION.

REVISIONS				
NO.	DATE	BY	CHKD	DESCRIPTION

CHARLES P. MAY & ASSOCIATES, P.C.

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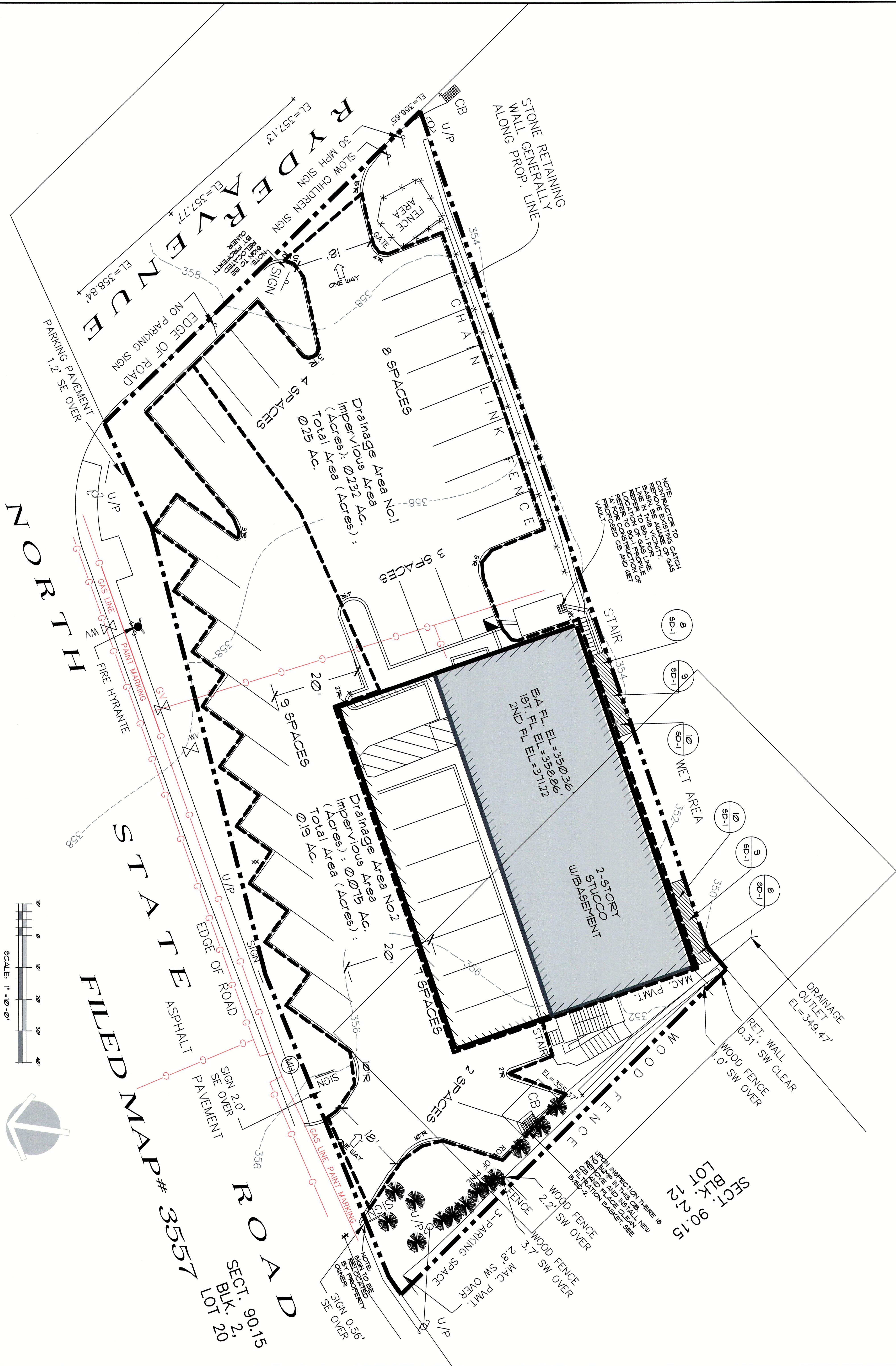
540 NORTH STATE ROAD
BRIARCLIFF MANOR
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK
PARCEL 9015-2-11

DATE	DRAWN	CHECKED
8/24/21	CV	CRH
SCALE: NTS		
SHEET TITLE		
SITE DETAILS		
SHEET		

PROJECT NUMBER
2021-06

SD-3

DRAWING NUMBER
SHEET 9 OF 10

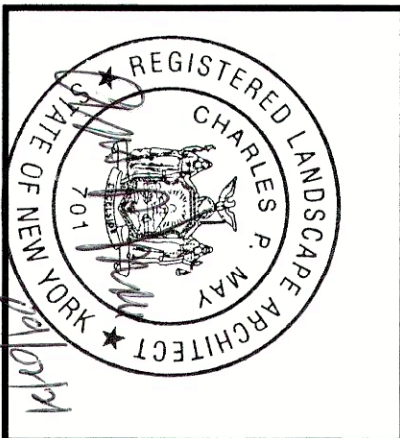


NOTE:
THIS DRAWING IS FOR WATERSHED OUTLINE ONLY NOT FOR CONSTRUCTION PURPOSES.

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DATE	DRAWN	CHECKED
8/24/21	CV	CFM
SCALE 1"=10'		
SHEET TITLE		
WATERSHED MAP		

540 NORTH STATE ROAD
BRIARCLIFF MANOR, NEW YORK
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK
PARCEL 90.15-2-11



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