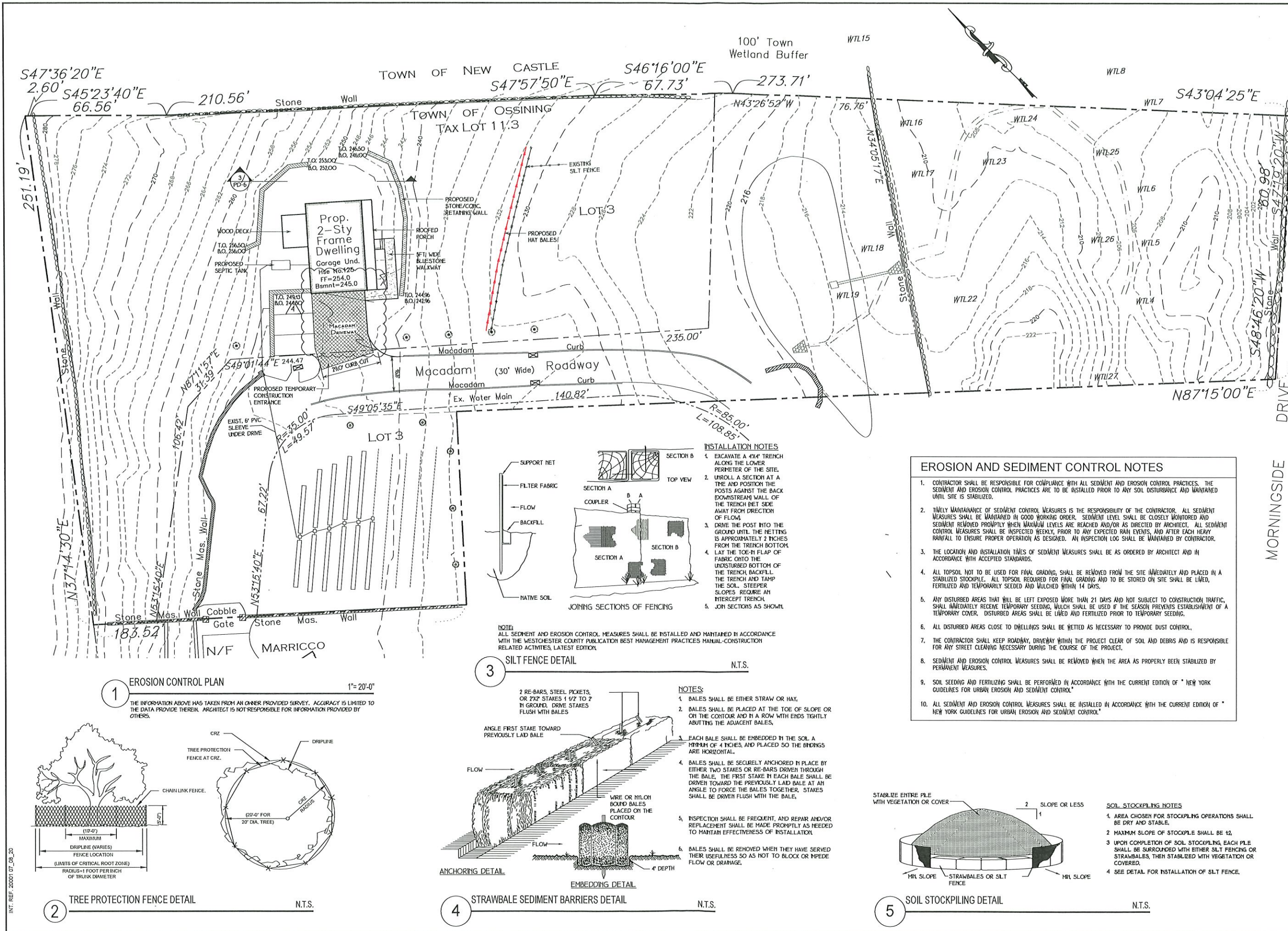




RFA & ASSOCIATES LLC

Rui F. Arraiano & Associates, LLC

140 VALLEY STREET, SLEEPY HOLLOW, NY 10591
PHONE: 914.332.9008

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1	11-11-19	AS PER BLDG. DEP.
2	04-24-20	ZONING CHART
3	05-18-20	AS PER PLAN. BD.
4	05-29-20	AS PER PLAN. BD.
5	06-04-20	AS PER PLAN. BD.
6	06-18-20	AS PER ARB
7	07-08-20	AS PER ARB

EROSION CONTROL PLAN, DETAILS AND NOTES

PROJECT INFO:

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINING, NEW YORK 10591

PROJECT #:

DATE:

SCALE:

DRAWN BY:

SEAL:



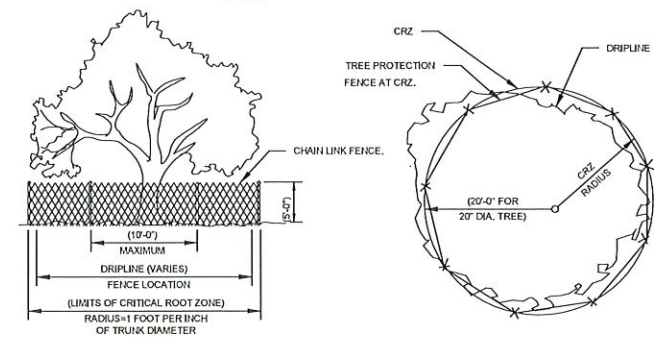
DRAWING:

EC-1

1 EROSION CONTROL PLAN

1"=20'-0"

THE INFORMATION ABOVE HAS TAKEN FROM AN OWNER PROVIDED SURVEY. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN. ARCHITECT IS NOT RESPONSIBLE FOR INFORMATION PROVIDED BY OTHERS.



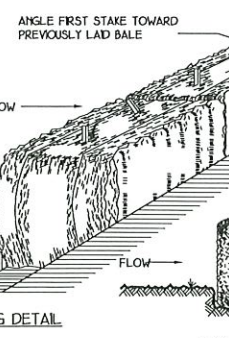
2 TREE PROTECTION FENCE DETAIL

N.T.S.

3 SILT FENCE DETAIL

N.T.S.

2 RE-BARS, STEEL PICKETS, OR 2X2 STAKES 1 1/2 TO 2 IN GROUND. DRIVE STAKES FLUSH WITH BALES.



4 STRAWBALE SEDIMENT BARRIERS DETAIL

N.T.S.

INSTALLATION NOTES

- EXCAVATE A 4"x4" TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK DOWNSTREAM WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEP SLOPES REQUIRE AN INTERCEPT TRENCH.
- JOIN SECTIONS AS SHOWN.

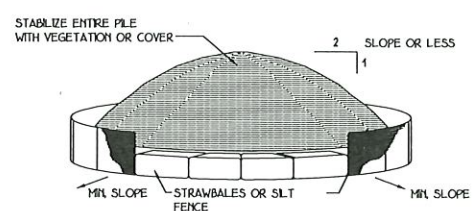
NOTE: ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WESTCHESTER COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION.

EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE AND MAINTAINED UNTIL SITE IS STABILIZED.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL SEDIMENT MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. SEDIMENT LEVEL SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED AND/OR AS DIRECTED BY ARCHITECT. ALL SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY, PRIOR TO ANY EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAINFALL TO ENSURE PROPER OPERATION AS DESIGNED. AN INSPECTION LOG SHALL BE MAINTAINED BY CONTRACTOR.
- THE LOCATION AND INSTALLATION TIMES OF SEDIMENT MEASURES SHALL BE AS ORDERED BY ARCHITECT AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING, SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND TO BE STORED ON SITE SHALL BE LIVED, FERTILIZED AND TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING, MULCH SHALL BE USED IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIVED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS CLOSE TO DWELLINGS SHALL BE NETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP ROADWAY, DRIVEWAY WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED WHEN THE AREA AS PROPERLY BEEN STABILIZED BY PERMANENT MEASURES.
- SOIL SEEDING AND FERTILIZING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL."

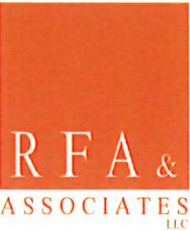
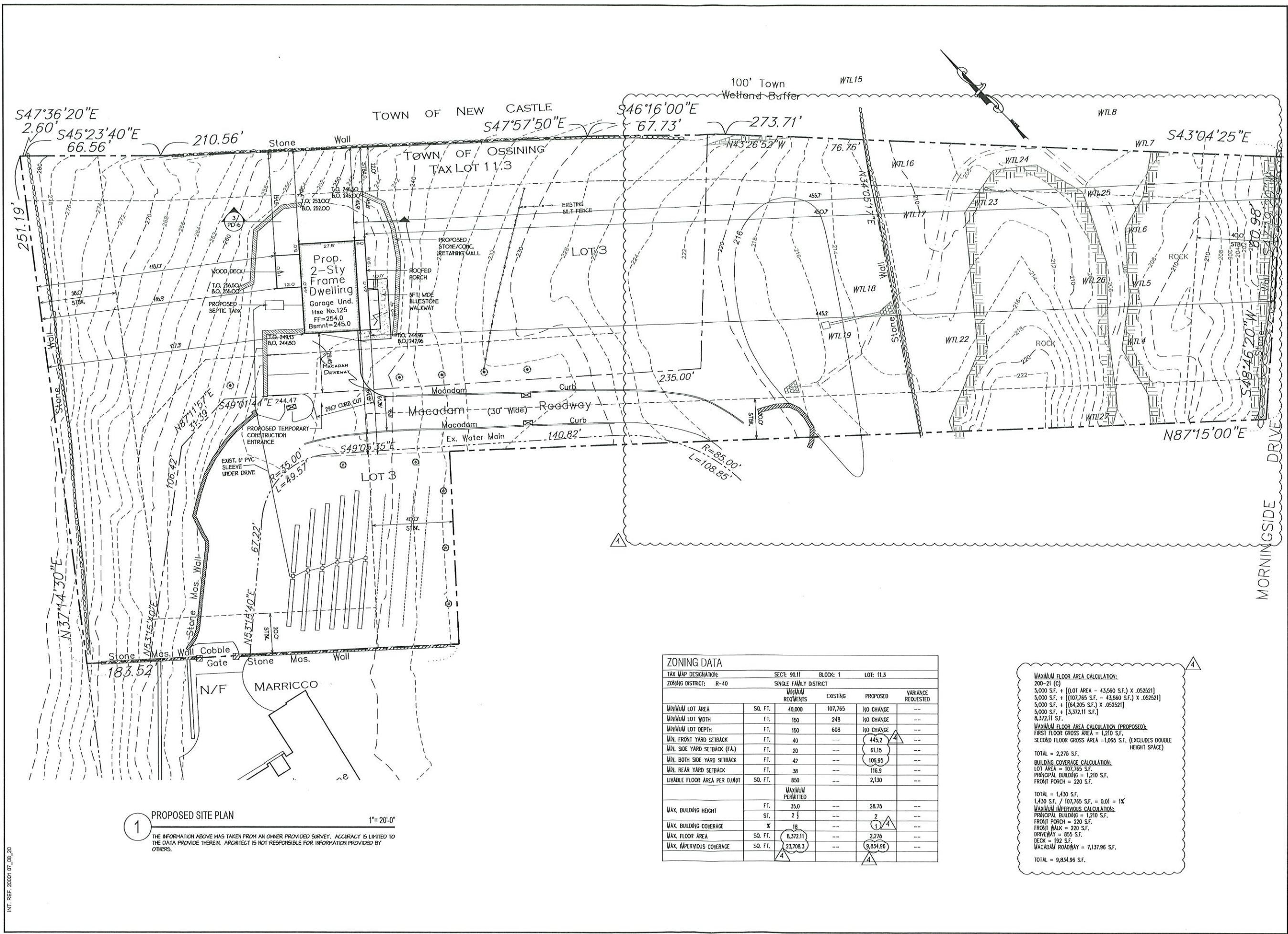
SOIL STOCKPILING NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 4:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE DETAIL FOR INSTALLATION OF SILT FENCE.



5 SOIL STOCKPILING DETAIL

N.T.S.



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6	06-18-20	AS PER ARB
7	07-08-20	AS PER ARB

PROPOSED SITE PLAN

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINING, NEW YORK 10591

SHEET TITLE:

PROJECT #:
DATE:
SCALE:
DRAWN BY:

SEAL:

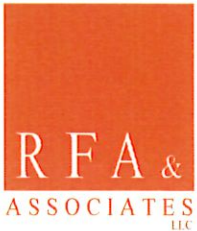


DRAWING:

PD-2

ZONING DATA				
TAX MAP DESIGNATION: SEC. 90.11 BLOCK 1 LOT: 11.3				
ZONING DISTRICT: R-40 SINGLE FAMILY DISTRICT				
		MAXIMUM REQUIREMENTS	EXISTING	PROPOSED VARIANCE REQUESTED
MINIMUM LOT AREA	SQ. FT.	40,000	107,765	NO CHANGE ---
MINIMUM LOT WIDTH	FT.	150	248	NO CHANGE ---
MINIMUM LOT DEPTH	FT.	150	608	NO CHANGE ---
MIN. FRONT YARD SETBACK	FT.	40	---	445.2 4
MIN. SIDE YARD SETBACK (E.A.)	FT.	20	---	61.15 ---
MIN. BOTH SIDE YARD SETBACK	FT.	42	---	106.95 ---
MIN. REAR YARD SETBACK	FT.	38	---	116.9 ---
LIVABLE FLOOR AREA PER DUNIT	SQ. FT.	850	---	2,130 ---
		MAXIMUM PERMITTED		
MAX. BUILDING HEIGHT	FT.	35.0	---	28.75 ---
	ST.	2 1/2	---	2 1/4 4
MAX. BUILDING COVERAGE	%	18	---	1 1/4 4
MAX. FLOOR AREA	SQ. FT.	8,372.11	---	2,276 ---
MAX. IMPERVIOUS COVERAGE	SQ. FT.	23,708.3	---	9,834.96 4

MAXIMUM FLOOR AREA CALCULATION:
200-21 (C)
5,000 S.F. + ((LOT AREA - 43,560 S.F.) X .052521)
5,000 S.F. + ((107,765 S.F. - 43,560 S.F.) X .052521)
5,000 S.F. + ((64,205 S.F.) X .052521)
5,000 S.F. + (3,372.11 S.F.)
8,372.11 S.F.
MAXIMUM FLOOR AREA CALCULATION (PROPOSED):
FIRST FLOOR GROSS AREA = 1,210 S.F.
SECOND FLOOR GROSS AREA = 1,066 S.F. (EXCLUDES DOUBLE HEIGHT SPACE)
TOTAL = 2,276 S.F.
BUILDING COVERAGE CALCULATION:
LOT AREA = 107,765 S.F.
PRINCIPAL BUILDING = 1,210 S.F.
FRONT PORCH = 220 S.F.
TOTAL = 1,430 S.F.
1,430 S.F. / 107,765 S.F. = 0.01 = 1%
MAXIMUM IMPERVIOUS CALCULATION:
PRINCIPAL BUILDING = 1,210 S.F.
FRONT PORCH = 220 S.F.
FRONT WALK = 220 S.F.
DRIVEWAY = 855 S.F.
DECK = 192 S.F.
MACADAM ROADWAY = 7,137.96 S.F.
TOTAL = 9,834.96 S.F.



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5	06-04-20	AS PER PLAN. BD.
6	06-18-20	AS PER ARB
7	07-08-20	AS PER ARB

SHEET TITLE: PROPOSED FOUNDATION/BASEMENT PLAN
AND PROPOSED FIRST FLOOR PLAN

PROJECT INFO: PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSING, NEW YORK 10591

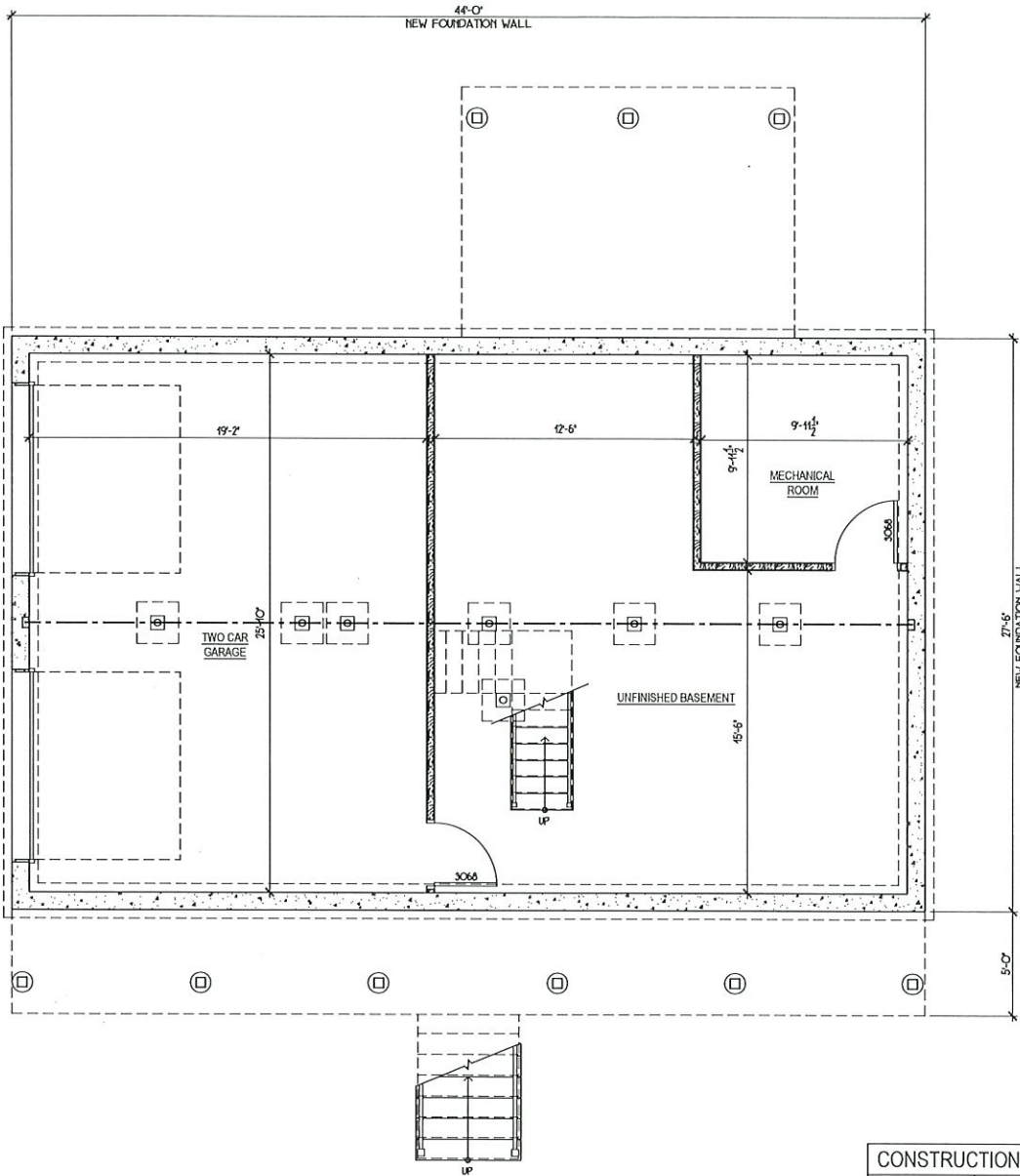
PROJECT #: 20001
DATE: February 20, 2020
SCALE: AS NOTED
DRAWN BY: RFA, DFA

SEAL:



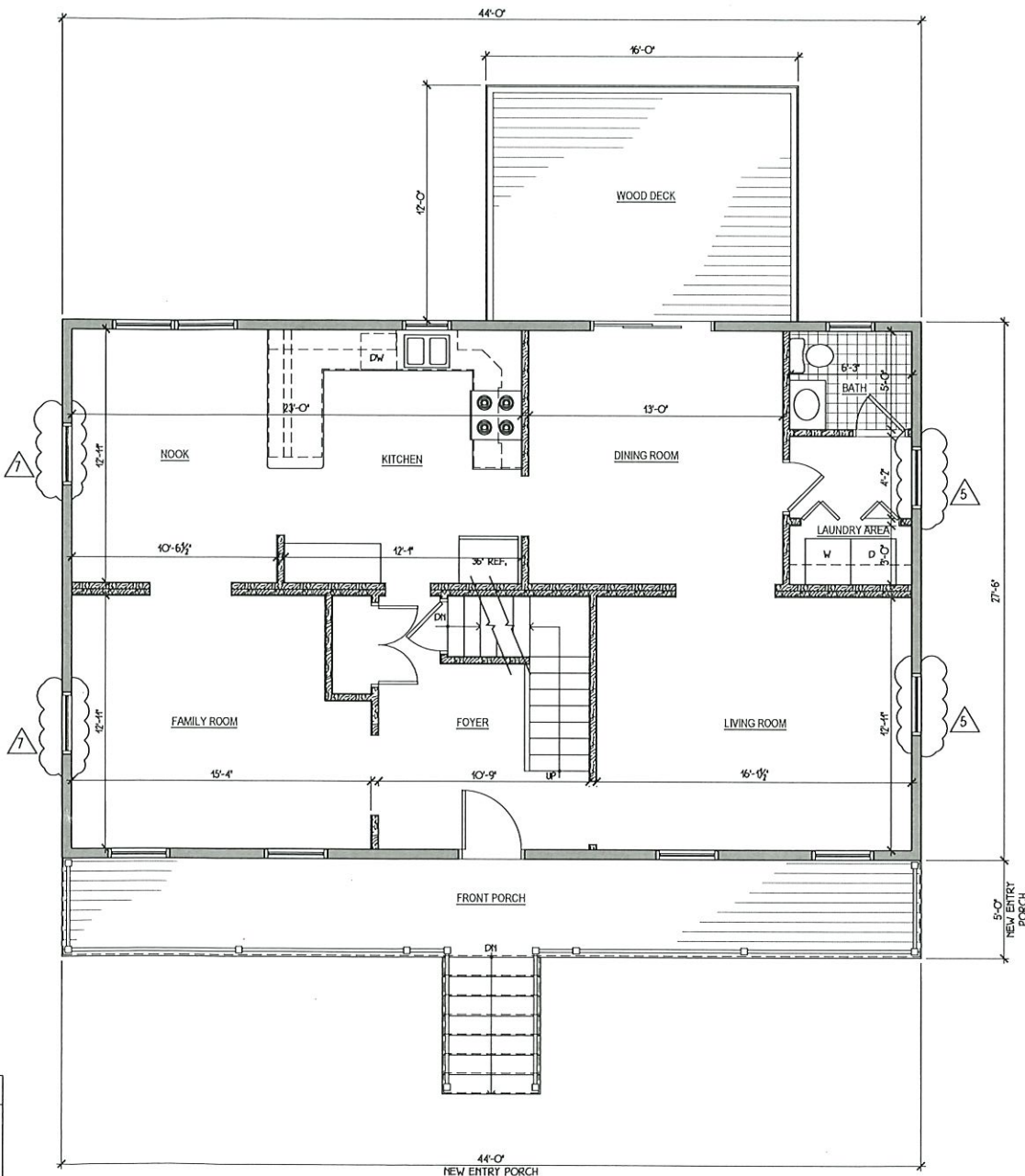
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PD-3
OPTION B



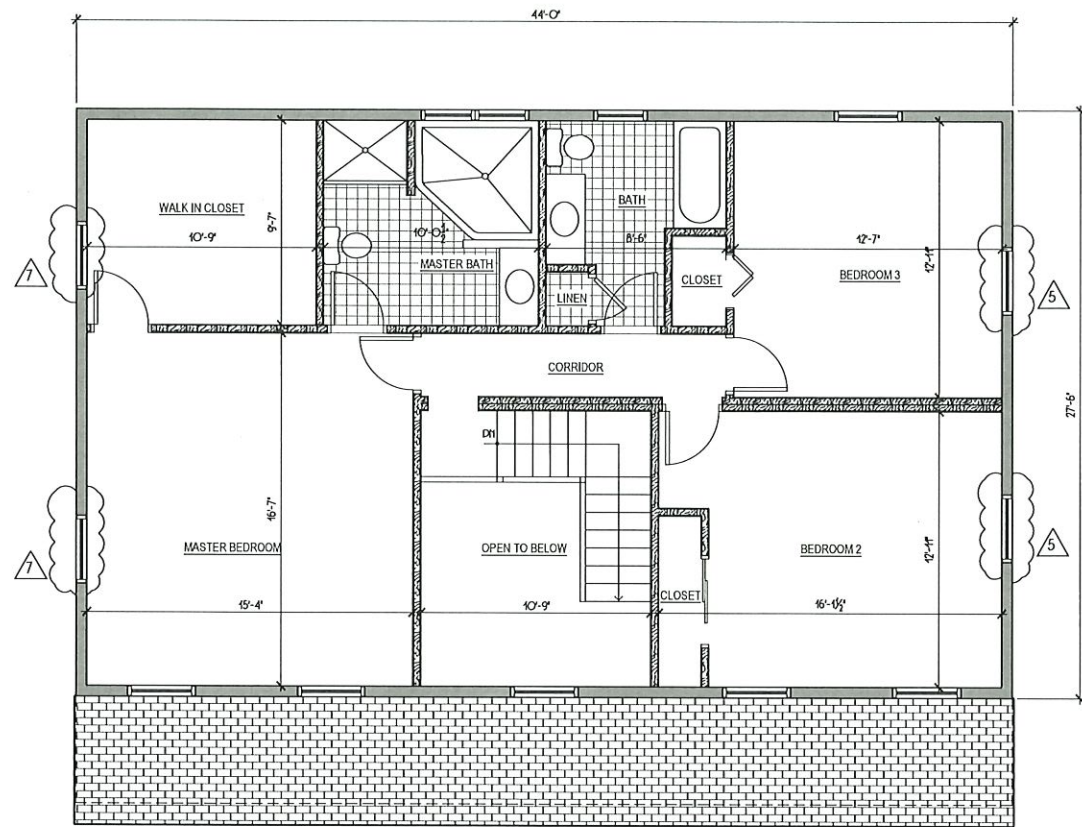
1 PROPOSED FOUNDATION/ BASEMENT PLAN
1/4" = 1'-0"

CONSTRUCTION LEGEND:	
	NEW 10" POURED CONCRETE FOUNDATION WALL
	NEW 2x6 WOOD STUDS @ 16" O.C., W/ R-20 BATT INSULATION
	NEW 2x4 WOOD STUDS @ 16" O.C., W/ 1/2" GYPSUM BOARD EACH SIDE
	DOOR
	INDICATES DOOR
	WINDOW



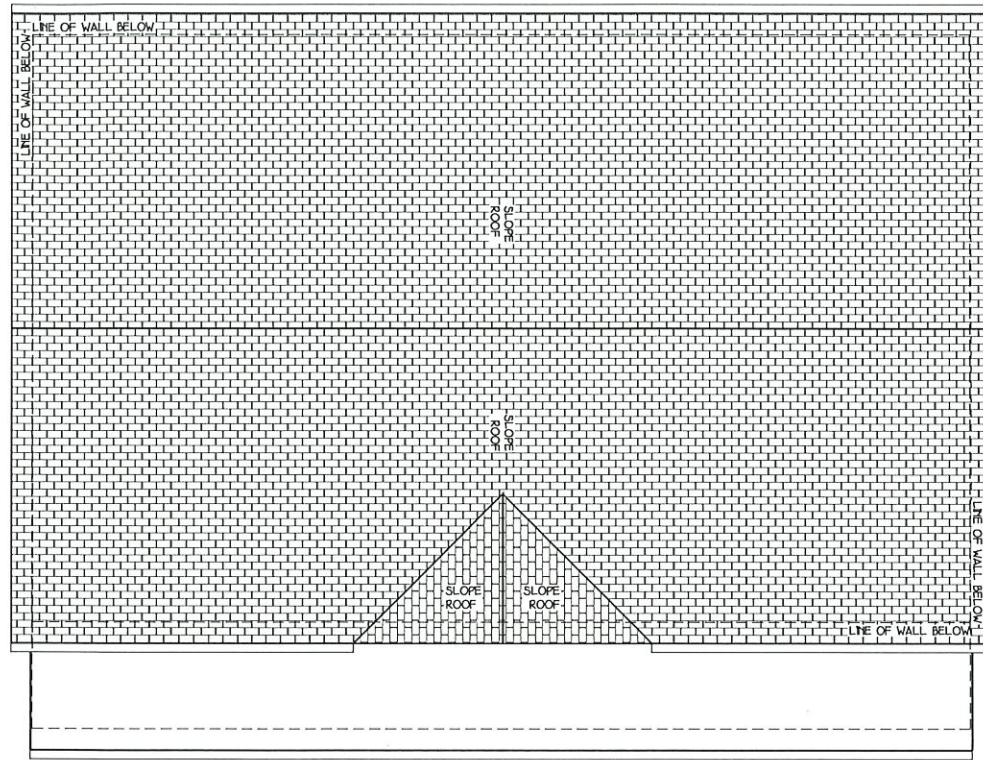
2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

INT. REF. 20001 07_08_20



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION LEGEND:	
	NEW 10" POURED CONCRETE FOUNDATION WALL
	NEW 2x6 WOOD STUDS @ 16" O.C. 1/2" R-20 BATT INSULATION
	NEW 2x4 WOOD STUDS @ 16" O.C. 1/2" GYPSUM BOARD EACH SIDE
	DOOR
	INDICATES DOOR
	WINDOW



2 PROPOSED ROOF PLAN
1/4" = 1'-0"



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5	06-04-20	AS PER PLAN. BD.
6	06-18-20	AS PER ARB
7	07-08-20	AS PER ARB

SHEET TITLE: PROPOSED SECOND FLOOR PLAN AND
PROPOSED ROOF PLAN

PROJECT INFO: PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSING, NEW YORK 10591

PROJECT #: 20001
DATE: February 20, 2020
SCALE: AS NOTED
DRAWN BY: RFA, DFA

SEAL:

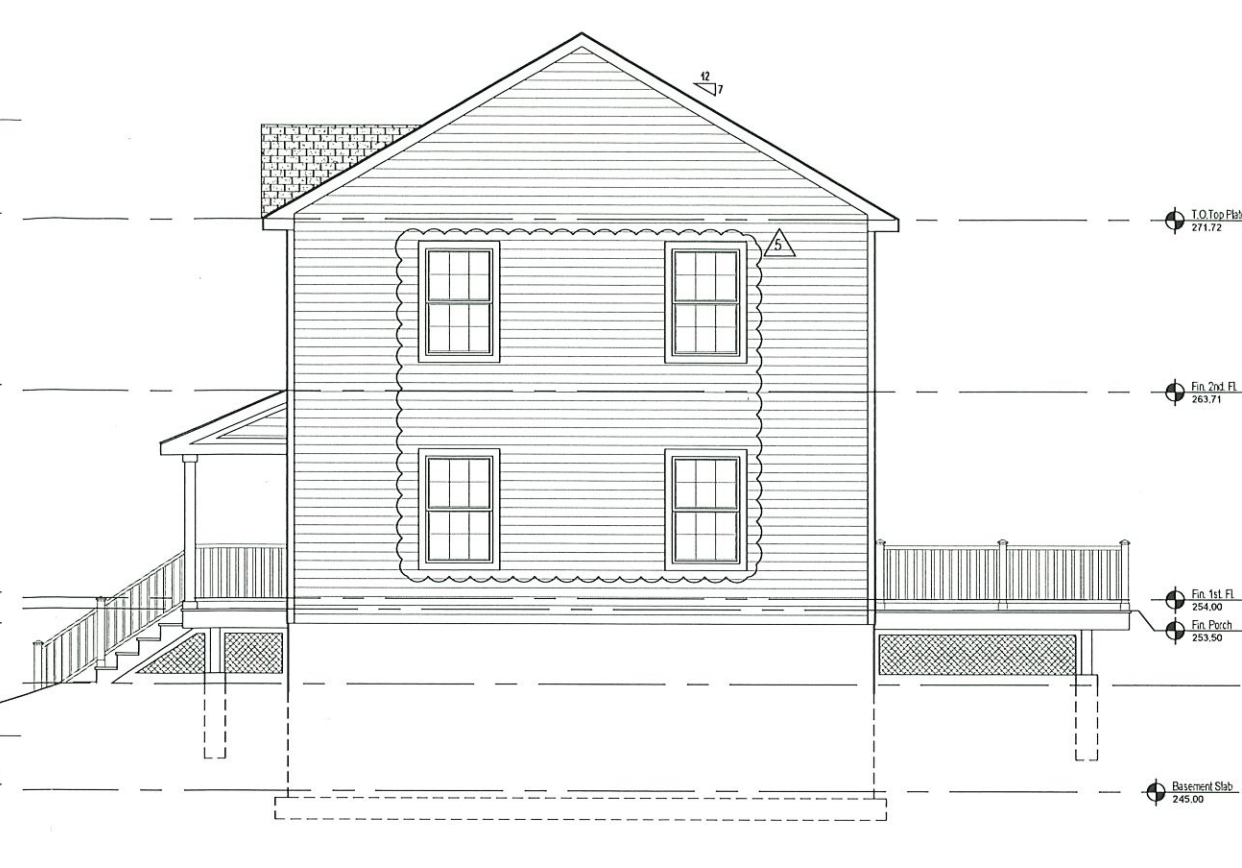


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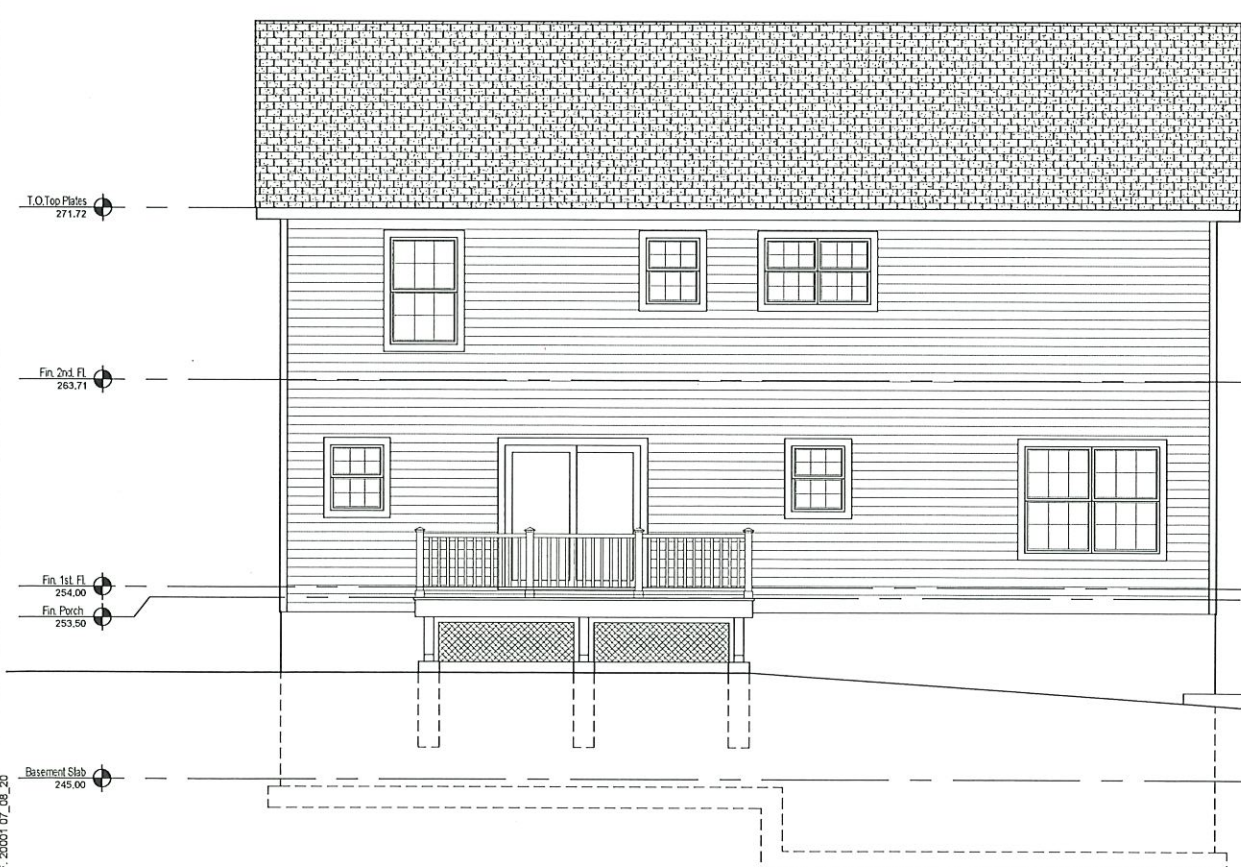
PD-4
OPTION B



1 PROPOSED FRONT ELEVATION 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION 1/4" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION 1/4" = 1'-0"

RFA & ASSOCIATES LLC
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6	06-18-20	AS PER ARB
7	07-08-20	AS PER ARB

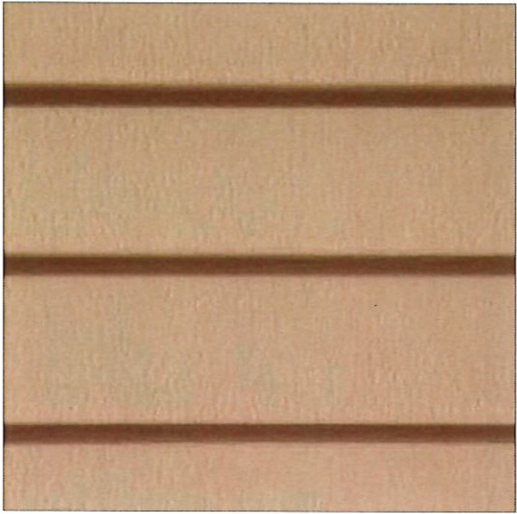
SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS
 PROJECT INFO: PROPOSED 2 STORY RESIDENCE FOR:
 JOHN MARRICCO
 125 MORNINGSIDE DRIVE
 OSSINING, NEW YORK 10591

PROJECT #: 20001
 DATE: February 20, 2020
 SCALE: AS NOTED
 DRAWN BY: RFA, DFA

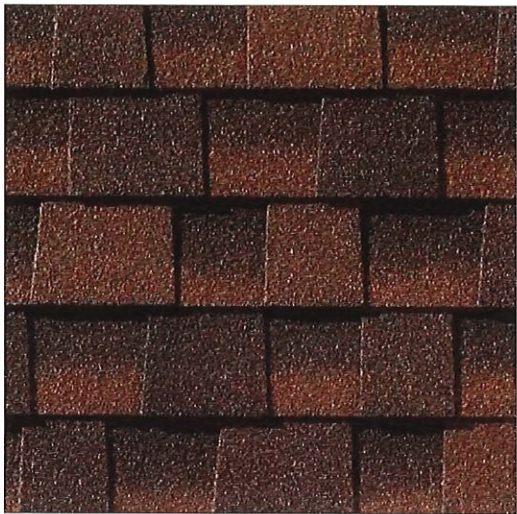


DRAWING:
PD-5
 OPTION B

INT. REF. 20001_07_08_20



SIDING/ CORNER BOARDS:
CERTAINTED 4" EXPOSURE HORIZONTAL VINYL SIDING
COLOR: BUCKSKIN



ROOFING:
GAF TIMBERLINE HD ARCHITECTURAL SHINGLES
COLOR: HICKORY



SHUTTERS:
RAISED PANEL VINYL SHUTTERS
COLOR: BROWN



GARAGE DOORS:
COLONIAL HORIZONTAL SQUARE PATTERN WITH GLASS TOP
OF DOOR, STEEL MATERIAL CONTENT
COLOR: WHITE



EXTERIOR LIGHT:
EXTERIOR LIGHT MODEL 78421-WH
COLOR: WHITE
LOCATIONS:
FRONT DOOR
REAR SLIDING GLASS DOOR
GARAGE DOORS



RETAINING WALL STONE



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OR TO ALTER THE SEAL AND THE
NOTATION ALTERED BY FOLLOWED BY HIS/HER
SIGNATURE AND THE DATE OF SUCH
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6	06-18-20	AS PER ARB
7	07-08-20	AS PER ARB

PROPOSED FINISHES

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINING, NEW YORK 10591

SHEET TITLE:

PROJECT INFO:

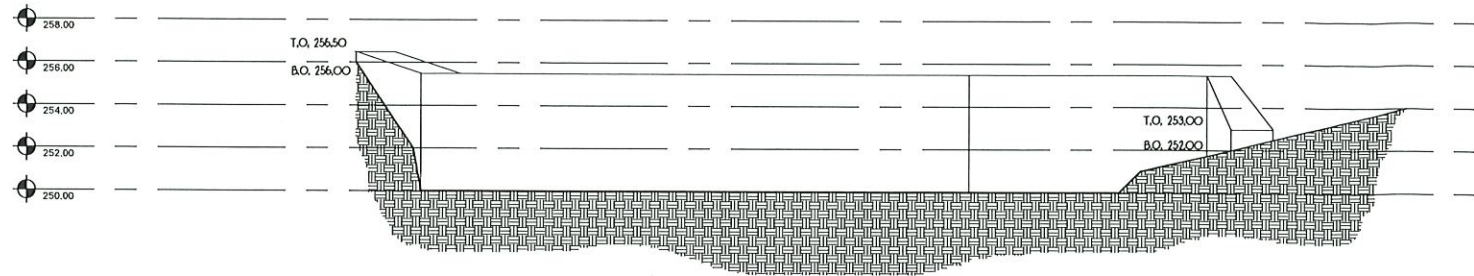
PROJECT #: 20001
DATE: February 20, 2020
SCALE: AS NOTED
DRAWN BY: RFA, DFA

SEAL:

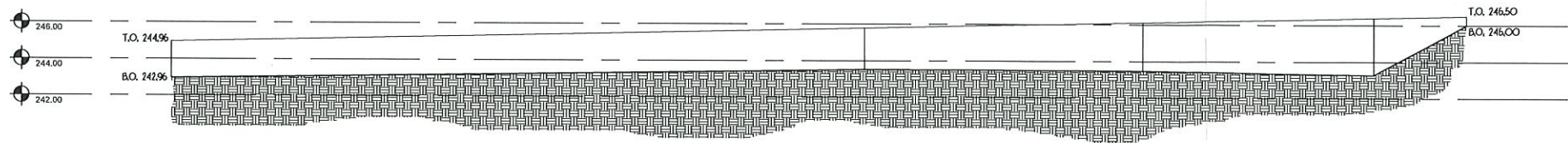


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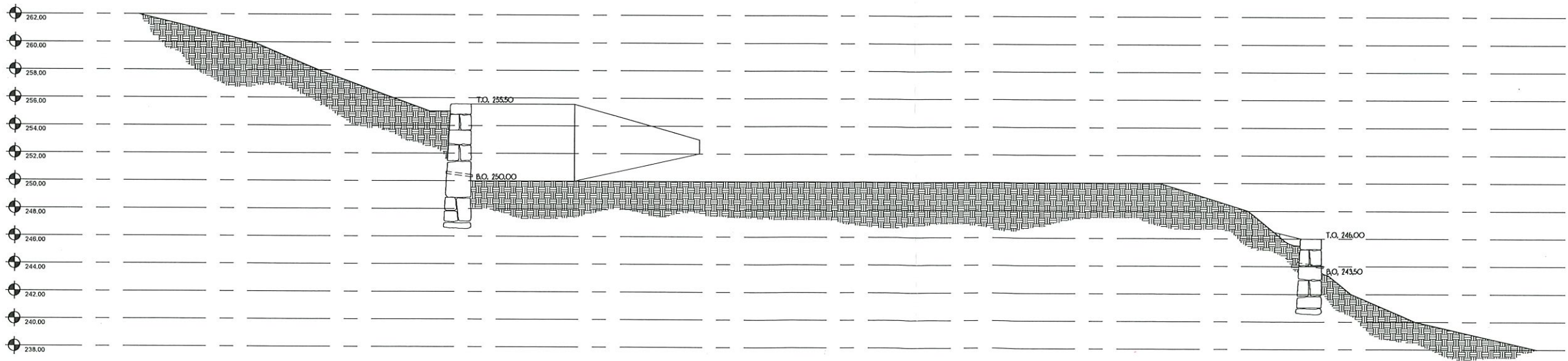
PD-6



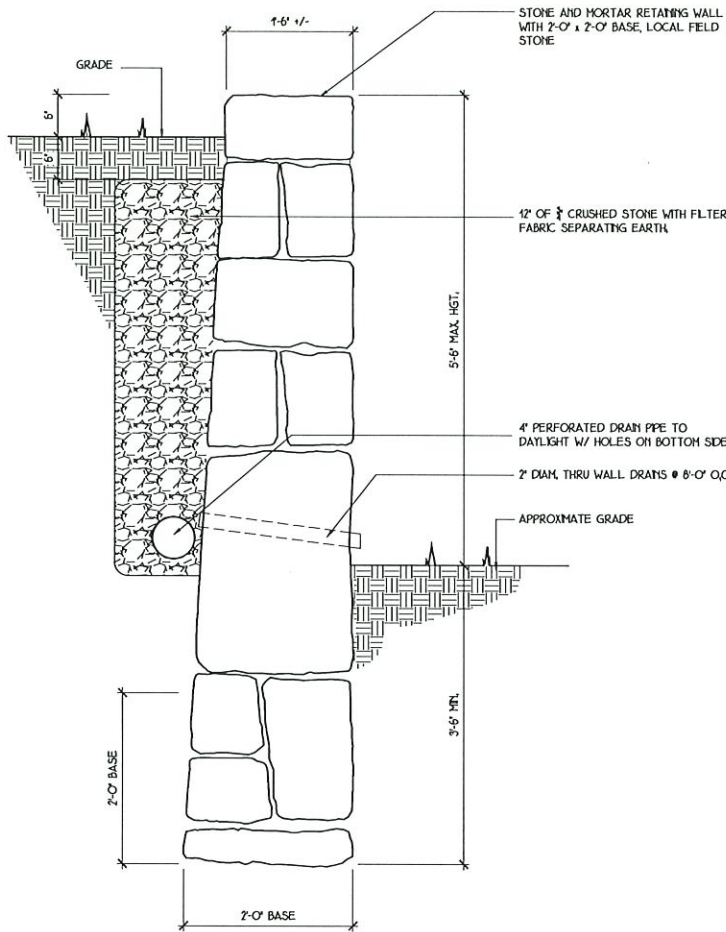
1 PROPOSED LEFT SIDE RETAINING WALL ELEVATION 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE RETAINING WALL ELEVATION 1/4" = 1'-0"



3 PROPOSED RETAINING WALL SECTION 1/4" = 1'-0"



4 PROPOSED RETAINING WALL DETAIL 1" = 1'-0"



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7	07-08-20	AS PER ARB

PROPOSED RETAINING WALL ELEVATIONS, SECTION AND DETAIL

PROPOSED 2 STORY RESIDENCE FOR:

JOHN MARRICCO
125 MORNINGSIDE DRIVE
OSSINING, NEW YORK 10591

SHEET TITLE:

PROJECT #:
DATE:
SCALE:
DRAWN BY:

SEAL:



DRAWING:

PD-7