

LOCATION PLAN



SUPERINTENDENT'S
COTTAGE AT
DALE CEMETERY

RESTORATION OF SUPERINTENDENT'S COTTAGE
DALE CEMETERY

LOCATED AT:
104 HAVELL STREET
OSSINING, NEW YORK 10522

OWNER:
TOWN OF OSSINING

ARCHITECT:
STEPHEN TILLY, Architect
22 Elm Street
Dobbs Ferry, New York 10522
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www.stillyarchitect.com

ISSUED FOR
09-09-2019

LIST OF ABBREVIATIONS

A/C	AIR CONDITIONING	LC	LEAD COATED
ACT	ACOUSTICAL TILE	MIN	MINIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
AFI	ABOVE FINISHED FLOOR	MO	MASONRY OPENING
ARCH	ARCHITECTURAL/ARCHITECT	MTD	MOUNTED
BD	BOARD	MTL	METAL
BIT	BITUMINOUS	NIC	NOT IN CONTRACT
BLDG	BUILDING	NTS	NOT TO SCALE
BLK	BLOCK	OPNG	OPENING
BM	BEAM	P/L	PROPERTY LINE
BTM	BOTTOM	PLY	PLYWOOD
CAB	CABINET	PSF	POUNDS PER SQUARE FOOT
CLG	CEILING	PSI	POUNDS PER SQUARE INCH
CLG HT	CEILING HEIGHT	PT	POINT
CT	CERAMIC TILE	PTD	PAINTED
CLO	CLOSET	PVC	POLY VINYL CHLORIDE
CMU	CONCRETE MASONRY UNIT	QTY	QUANTITY
COL	COLUMN	REINF	REINFORCED
CONC	CONCRETE	REQD	REQUIRED
CONT	CONTINUOUS	RM	ROOM
CONTR	CONTRACTOR	RO	ROUGH OPENING
CPT	CARPET	S&V	STAIN AND VARNISH
CTR	CENTER	SHT	SHEET
DN	DOWN	SIM	SIMILAR
DR	DOOR	SPECS	SPECIFICATIONS
DWG	DRAWING	SQ FT	SQUARE FOOT/FEET
ELEV	ELEVATION	ST	STREET
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	STL	STEEL
EXTG	EXISTING	STOR	STORAGE
EXT	EXTERIOR	STRUCT	STRUCTURAL
FIN	FINISH	SUB FLR	SUB FLOOR
FL/FLR	FLOOR	T&G	TONGUE AND GROOVE
FT	FOOT/FEET	TERR	TERRAZZO
FTG	FOOTING	THK	THICKNESS
GA	GAUGE	THRU	THROUGH
GALV	GALVANIZED	TYP	TYPICAL
GC	GENERAL CONTRACTOR	VENT	VENT/VENTILATION
GWB	GYP SUM WALL BOARD	VERT	VERTICAL
GYP BD	GYP SUM WALL BOARD	VIF	VERIFY IN FIELD
HB	HOSE BIBB	VOL	VOLUME
HDWR	HARDWARE	W/	WITH
HORIZ	HORIZONTAL	W/O	WITHOUT
HVAC	HEATING VENTILATING & A/C	WD	WOOD
INSUL	INSULATION	WWF	WELDED WIRE FABRIC
INT	INTERIOR		

LIST OF DRAWINGS

NUMBER	TITLE	DATE ISSUED
T-100	TITLE SHEET	09-09-2019
D-100	DEMOLITION PLANS AND PHOTOS	09-09-2019
A-100	NEW CONSTRUCTIONS PLANS AND PHOTOS	09-09-2019
A-200	NEW CONSTRUCTION ELEVATIONS	09-09-2019
A-350	PORCH SECTION AND DETAILS	09-09-2019
A-810	WINDOW SCHEDULE AND DETAILS	09-09-2019

Design Criteria

GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION		WEATHER	FROST LINE DEPTH	TERMITE				
30 lbs./ sf.	100 / 110	N/A	YES	C	SEVERE	42"	MOD./ HVY.	15	YES	HIGH	1500 OR LESS

GENERAL NOTES

GENERAL NOTES:

- ALL DIMENSIONS ARE TO NEW ROUGH FRAMING OR TO FINISHED SURFACE OF EXISTING BUILDING UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS OR VERIFY WITH ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUT CONSTRUCTIONS, AND EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK. A PLUS / MINUS (+/-) INDICATES DIMENSIONS WHICH MAY VARY.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, AND LEFT THOROUGHLY CLEAN AND IN THE CONDITION FOUND AT THE BEGINNING OF WORK, OR BETTER.
- PROVIDE PLASTIC BARRIERS TO PREVENT DUST MIGRATION TO AREAS OUTSIDE WORK AREA. MAINTAIN THROUGH DURATION OF CONSTRUCTION.
- NEW AND EXISTING FINISHES, FIXTURES AND EQUIPMENT SUBJECT TO DAMAGE DURING CONSTRUCTION SHALL BE PROTECTED WITH PROTECTIVE COVERINGS, 1/4" MASONITE FLOOR PROTECTION SECURELY TAPED IN PLACE, PLASTIC SHEETING, AND OTHER METHODS AS APPROPRIATE. DAMAGE DUE TO FAILURE TO PROVIDE AND MAINTAIN ADEQUATE PROTECTION SHALL BE REPAIRED OR REPLACED AT ARCHITECT'S OPTION AT NO ADDITIONAL COST TO THE OWNER.
- UPON COMPLETION, ALL HVAC AIR FILTERS SHALL BE REPLACED IN EQUIPMENT SERVING THE WORK AREA AND ZONES ADJACENT TO THE WORK AREA.
- SUBMIT ANY SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.

DEMOLITION NOTES

GENERAL DEMOLITION NOTES:

- REMOVAL AND DISPOSAL OF ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS SHALL BE DONE IN ACCORDANCE WITH DRAWINGS, SPECIFICATIONS, AND ALL APPLICABLE CODES AND LOCAL LAWS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL REQUIRED INSPECTIONS, TESTING AND APPROVALS.
- PROVIDE PENETRATIONS AS INDICATED AND REQUIRED FOR PROPOSED NEW CONSTRUCTION.
- REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL GOVERNING BODIES HAVING JURISDICTION, AND BY WORKERS LICENSED TO PERFORM THE WORK.
- ELECTRICAL AND PLUMBING ITEMS SHALL BE REMOVED BY LICENSED ELECTRICIANS AND PLUMBERS, AND PROPERLY DISCONNECTED AND CAPPED AS REQUIRED BY CODE.
- DO NOT REMOVE OR ALTER STRUCTURAL ELEMENTS EXCEPT WHERE SPECIFICALLY INDICATED. PROVIDE TEMPORARY BRACING AND SHORING APPROVED BY THE STRUCTURAL ENGINEER WHEREVER REMOVAL OR ALTERATION OF FRAMING IS REQUIRED.
- PROTECT AND MAINTAIN THE FUNCTIONALITY OF ALL LIFE SAFETY ELEMENTS, INCLUDING FIRE, SMOKE, AND CARBON MONOXIDE DETECTORS AND ALARMS, FIRE SUPPRESSION SYSTEMS, ETC.
- USE OF CUTTING TORCHES IS STRICTLY PROHIBITED.
- DISPOSE OF REMOVED ITEMS AND MATERIALS IN COMPLIANCE WITH ALL STATE, COUNTY AND LOCAL REGULATIONS. BURNING IS PROHIBITED.
- PROVIDE PLASTIC BARRIERS TO PREVENT DUST MIGRATION TO AREAS OUTSIDE DEMOLITION AREA. MAINTAIN THROUGH DURATION OF CONSTRUCTION.
- PROVIDE AND MAINTAIN PROTECTION FROM RAIN AT ALL OPENINGS. MAINTAIN DRY CONDITIONS WITHIN THE BUILDING AT ALL TIMES.
- FINISHES, FIXTURES AND EQUIPMENT INDICATED TO REMAIN AND SUBJECT TO DAMAGE DURING DEMOLITION SHALL BE PROTECTED WITH PROTECTIVE PADS, 1/4" MASONITE FLOOR PROTECTION SECURELY TAPED IN PLACE, PLASTIC SHEETING, AND OTHER METHODS AS APPROPRIATE. DAMAGE DUE TO FAILURE TO PROVIDE PROPER PROTECTION SHALL BE REPAIRED OR REPLACED AT ARCHITECT'S OPTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION, CLEANED, AND LEFT IN THE CONDITION FOUND AT THE BEGINNING OF WORK, OR BETTER.
- NOISY OPERATIONS ARE LIMITED TO THE HOURS OF 9:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY UNLESS OTHERWISE APPROVED BY THE OWNER.
- MAINTAIN WORK AREAS AT A NEGATIVE PRESSURE RELATIVE TO THE REMAINDER OF THE BUILDING, AND COVER OPENINGS INTO ADJACENT SPACES.
- REPAIR OR INSTALL NEW FIRE SAFING OR CLOSURES AT ALL OPENINGS AND PENETRATIONS THROUGH FLOORS AND FIRE WALLS, USING MATERIALS AND METHODS APPROVED BY THE BUILDING OFFICIAL.

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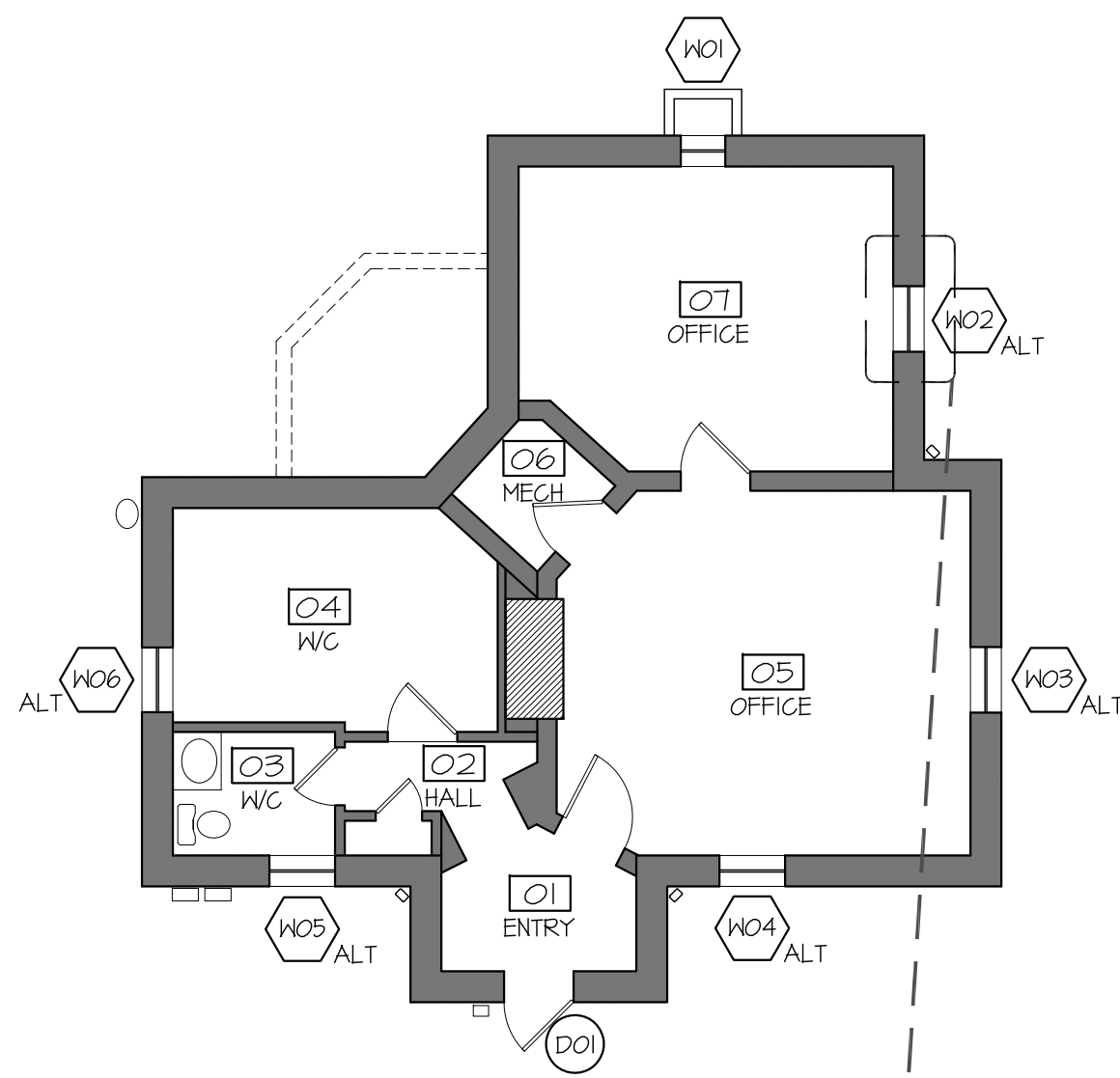
Title: TITLE SHEET,
GENERAL NOTES

Scale: As Noted

Drawn by: sy, sr, da, sos

TITLE SHEET,
GENERAL NOTES

T-100

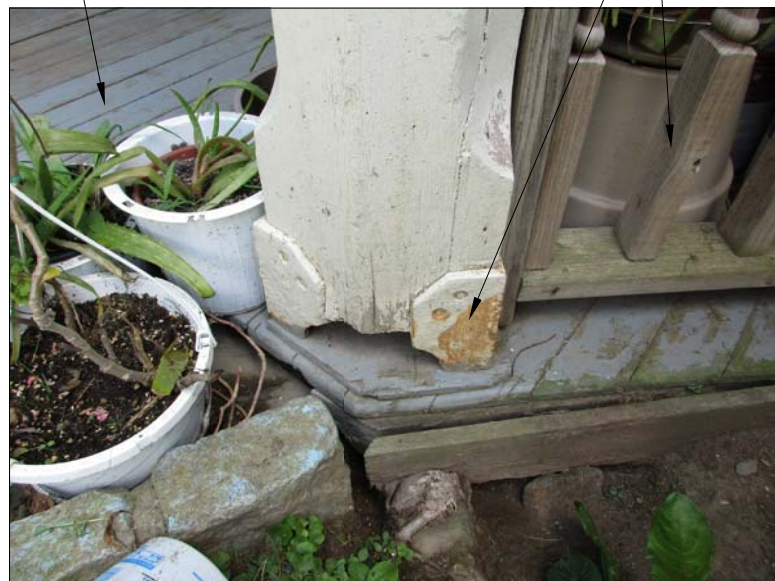


1 BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

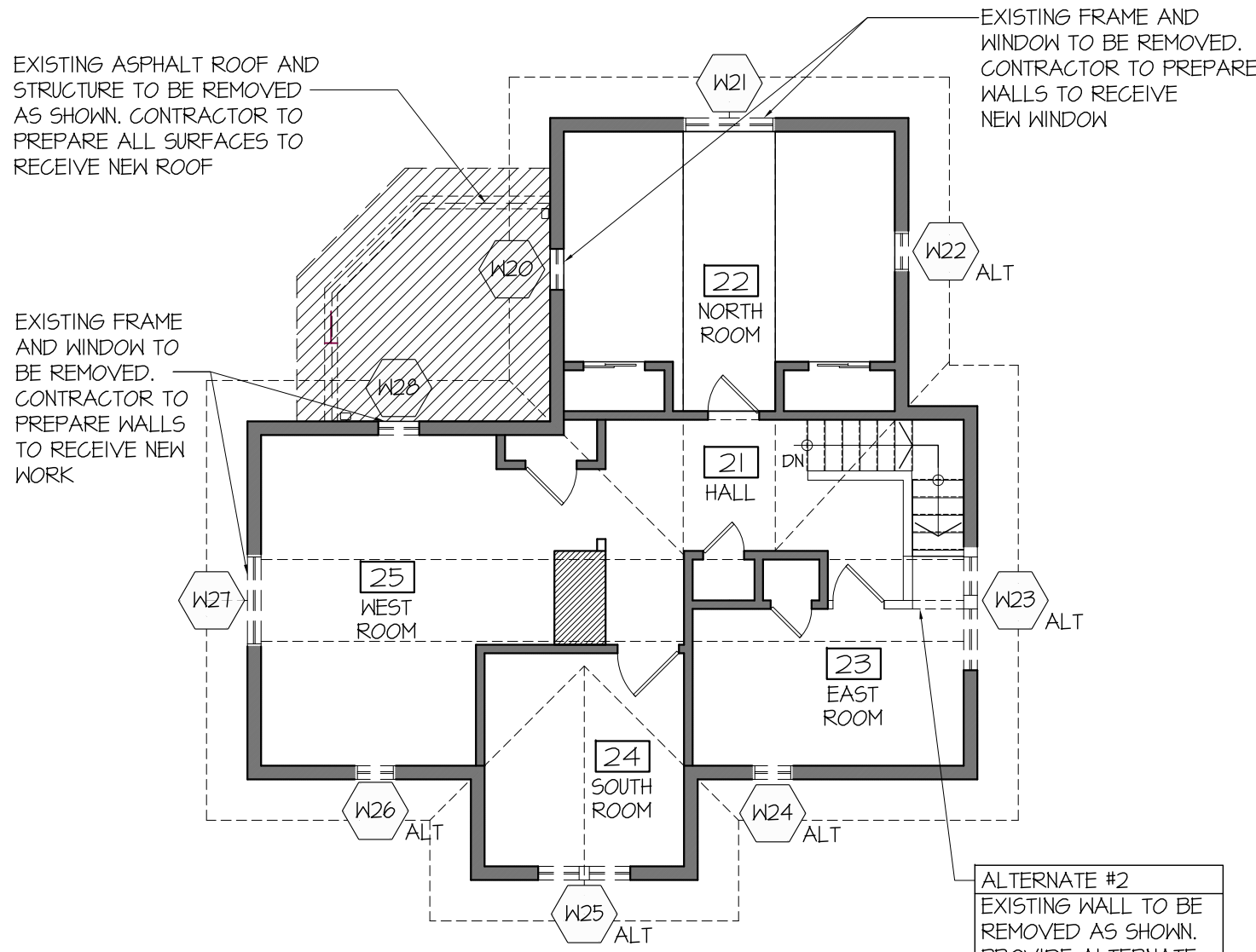
SHORE WALL AS REQUIRED FOR LINTEL REPLACEMENT. EXISTING MARBLE LINTEL TO BE REMOVED; CONTRACTOR TO PREPARE WALL TO RECEIVE NEW LINTEL; SEE A-350

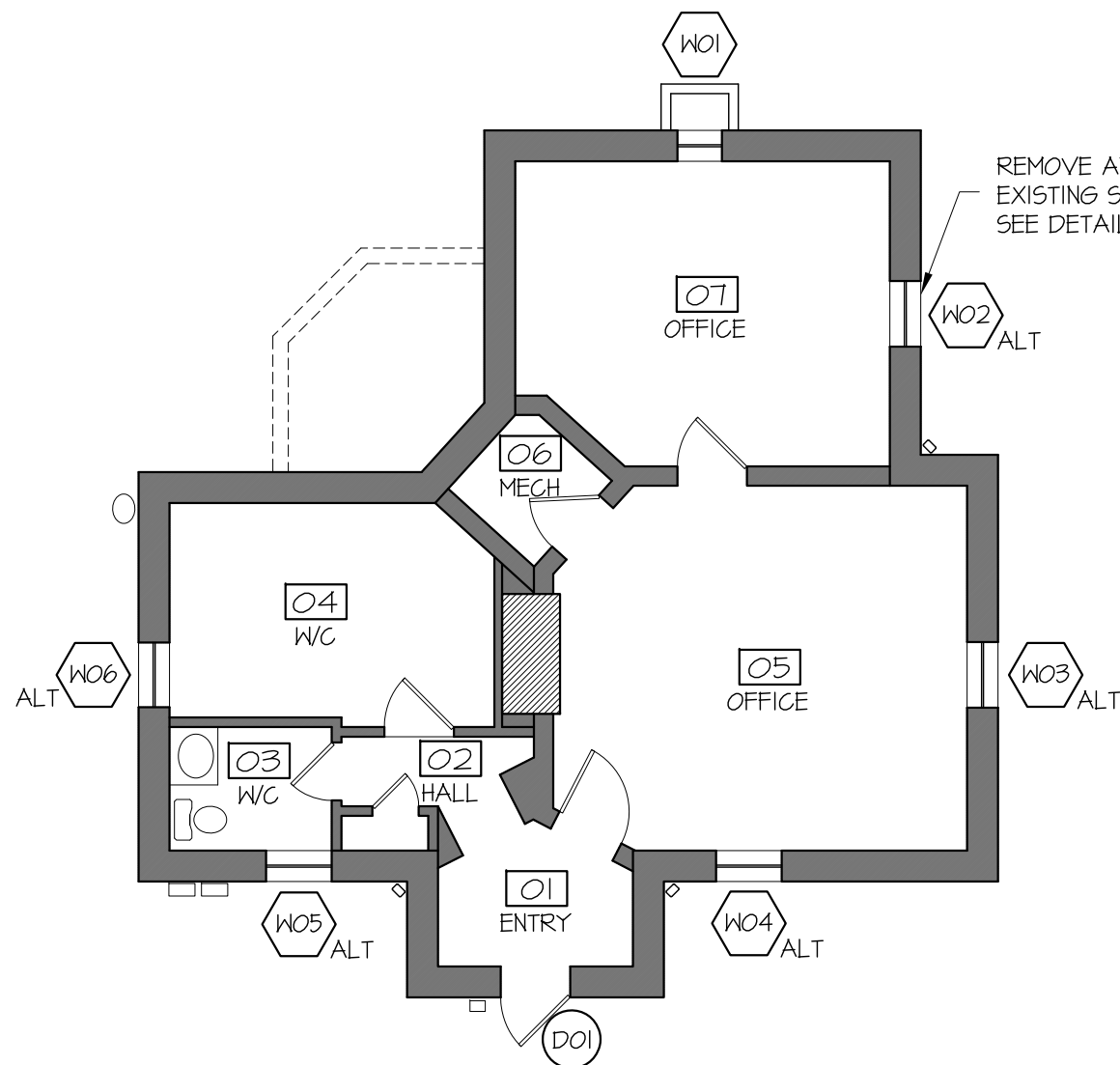


EXISTING WOOD DECKING TO BE REMOVED AND FRAMING TO BE PREPARED TO RECEIVE NEW WORK. EXISTING WOOD RAILING TO BE REMOVE ENTIRELY, TYP. EXISTING METAL BASE FOR THE WOOD POST TO BE REPAIRED AS REQD AND PTD, W/COLOR SELECTED BY ARCHITECT

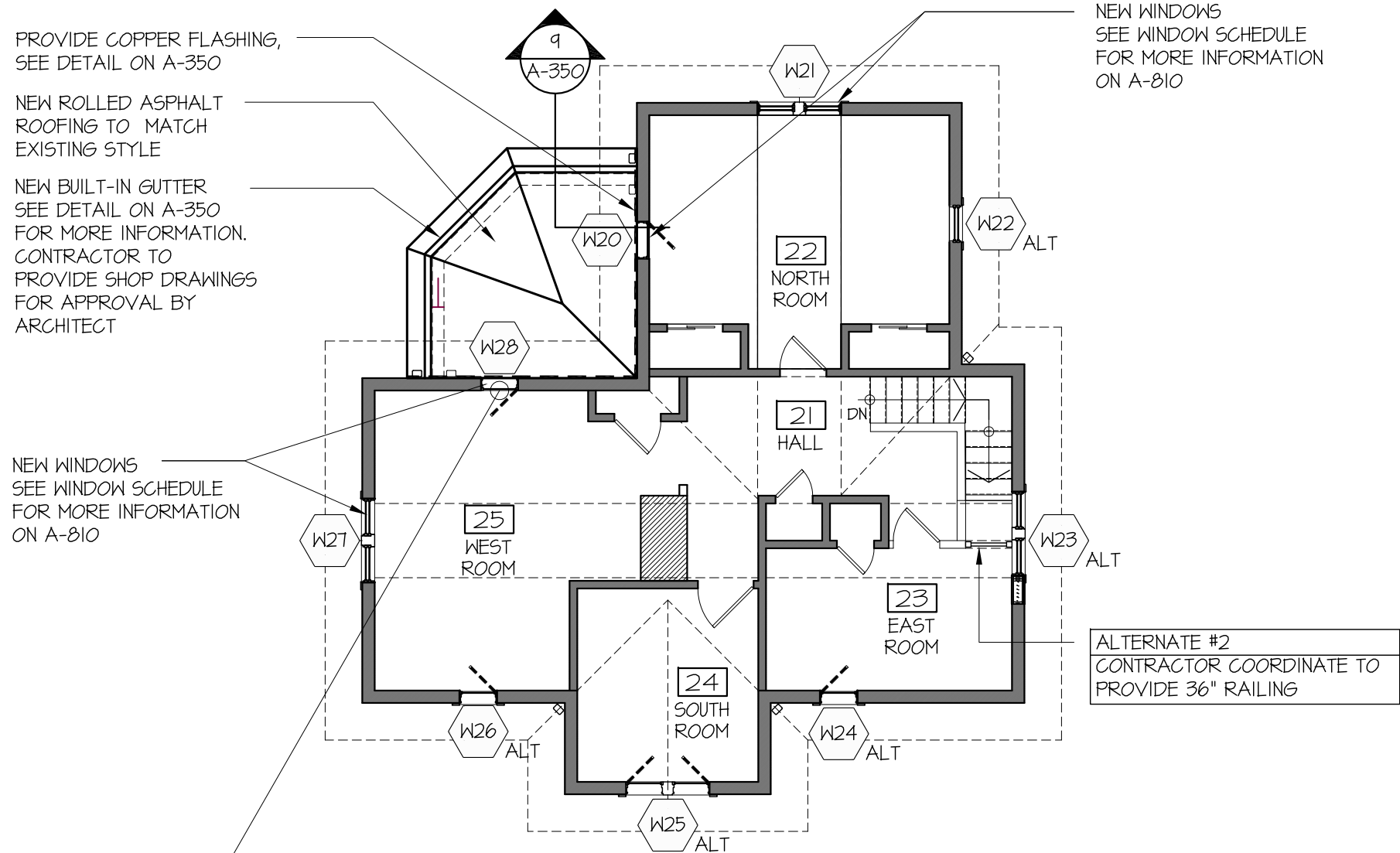


EXISTING WOOD BRACKETS TO BE REPAIRED AS REQUIRED TO MATCH TYP. EXISTING BOARD TO BE REMOVED EXISTING WOOD CEILING PLANKS TO BE REMOVED

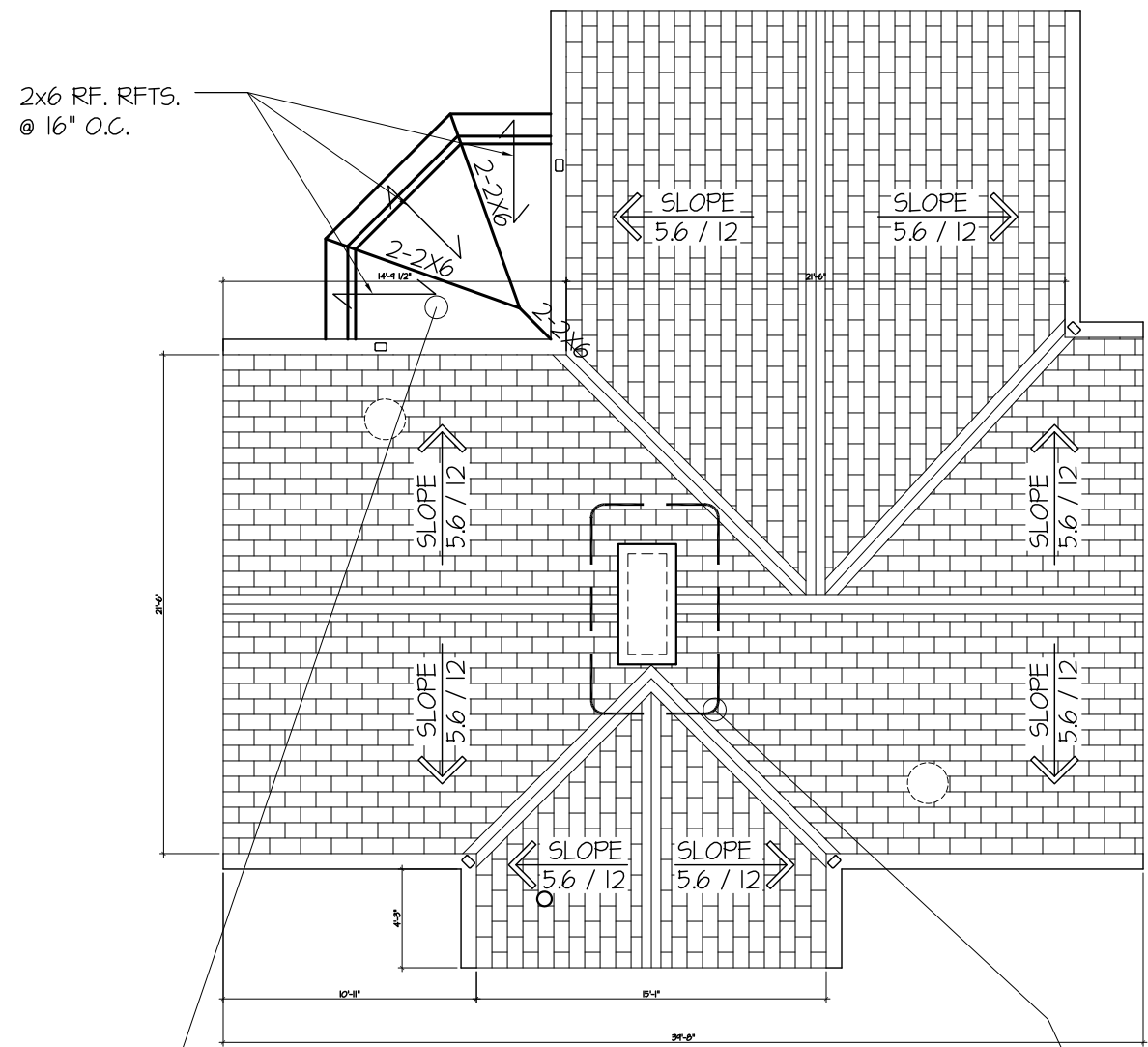




1 BASEMENT CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"



3 ROOF CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"

EXISTING WINDOWS TO BE REPLACED FROM SASH; CONTRACTOR TO V.I.F. OPENINGS

EXISTING WINDOW TRIMS TO BE RESTORED AS REQUIRED; PAINT TO MATCH COLOR TO EXISTING OR EQUAL WITH APPROVAL FROM ARCHITECT.

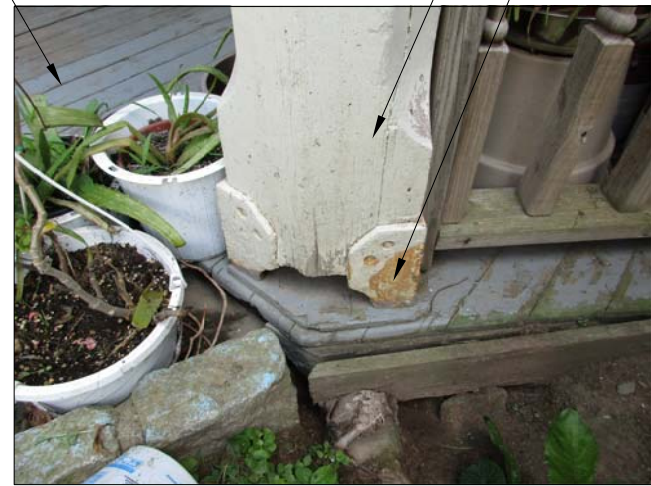
NEW COPPER FLASHING CONT. AROUND ROOF PERIMETER MEET WALLS. SEE 3 ON A-100



EXISTING METAL BASE TO WOOD POST TO BE REPAIRED AS REQD AND PAINTED WITH COLOR SELECTED BY ARCHITECT
EXISTING WOOD POST TO BE RESTORED AND PAINTED TO MATCH EXIST.

NEW 3 1/2" x 1/2" IPE WOOD DECKING TO MATCH EXISTING; PAINTED TO MATCH EXISTING OR AS SPECIFIED BY ARCHITECT.

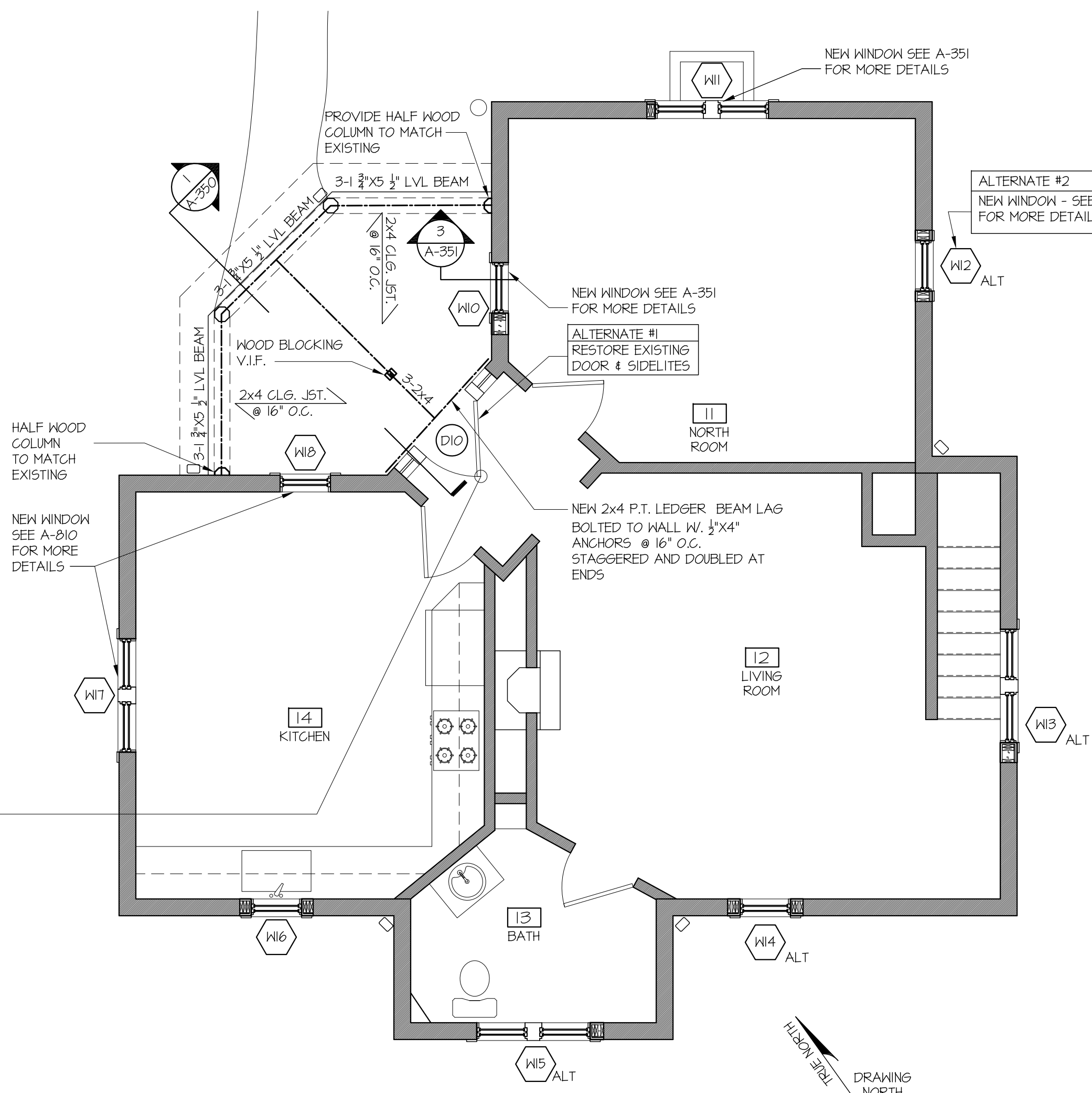
CONTRACTOR NEEDS TO RE-GRADE TO SEND WATER AWAY FROM BUILDING AND WINDOW WELL
NEW WINDOW TO MATCH EXISTING



EXISTING INTERIOR CASING TRIM TO BE RESTORED AS REQD; PAINT TO MATCH EXISTING OR AS APPROVED BY ARCHITECT
EXISTING SIDELIGHTS TO BE RESTORED AS REQD; PAINT TO MATCH EXISTING OR COLOR SELECTED BY ARCHITECT; REPLACE PLEXIGLASS LITES WITH NEW GLASS AND MUNTINS TO BE MATCH EXISTING TYP.
EXISTING ENTRY WOOD DOOR TO BE RESTORED AS REQUIRED TO MATCH EXISTING



ALTERNATE #1: FRONT DOOR
RESTORE THE EXISTING FRONT DOOR, INCLUDING TRANSOM AND SIDELITES. REPLACE PLEXIGLASS LITES WITH CATEGORY 1 SAFETY GLASS PER CODE. REPAIR/REPLACE MUNTINS AS REQUIRED. RETAIN AND CLEAN EXISTING DOOR HARDWARE. PREP AND PAINT.

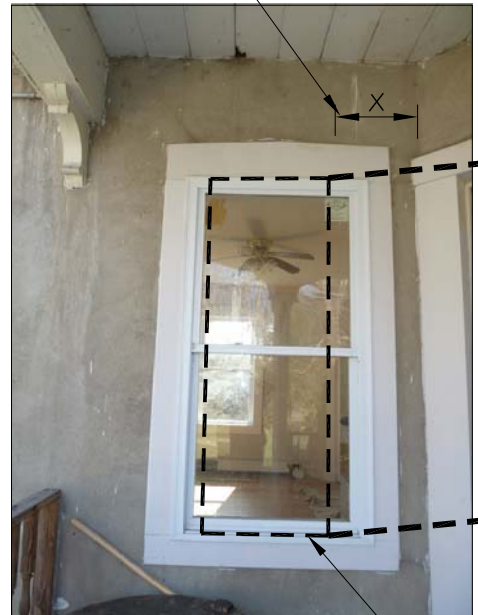


4 GROUND FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



NEW IN-BUILT GUTTER SEE 1 ON A-350 FOR MORE INFORMATION
NEW ROOFING TO BE INSTALLED OVER NEW ROOF FRAMING. SEE DETAIL 1 ON A-350
NEW COPPER FLASHING CONT. AROUND ROOF PERIMETER MEET WALLS. SEE 2 ON A-100

EXISTING EXT WOOD TRIM TO MATCH EXISTING
CONTRACTOR INSTALL NEW WINDOW TO MATCH EXISTING DIMENSION OF W18 WINDOW



NEW WINDOW TO MATCH W18 ON SIDE, TRIM AND INTERIOR CASING TO MATCH EXISTING; CONTRACTOR TO PATCH MALL TO MATCH EXISTING STUCCO.



NEW WINDOW TO MATCH EXISTING; CONTRACTOR TO VERIFY OPENING IN FIELD



NEW CROWN MOLDING TO MATCH EXISTING
CONTRACTOR V.I.F. STYLE AND DIMENSIONS TO MATCH
NEW 1x PT WOOD FASCIA TO MATCH EXISTING
NEW 1x PT WOOD SOFFIT TO MATCH EXISTING
EXISTING ROOF TAILS TO BE SALVAGED TO BE RESTORED AND REINSTALLED IN SAME LOCATION

ALTERNATE NOTES:

ALTERNATE #1: FRONT DOOR
RESTORE THE EXISTING FRONT DOOR, INCLUDING TRANSOM AND SIDELITES. REPLACE PLEXIGLASS LITES WITH CATEGORY 1 SAFETY GLASS PER CODE. REPAIR/REPLACE MUNTINS AS REQUIRED. RETAIN AND CLEAN EXISTING DOOR HARDWARE. PREP AND PAINT.

ALTERNATE #2: ADDITIONAL NEW WINDOWS
REPLACE THE 1ST. AND 2ND. FLOOR WINDOWS ON THE EAST AND SOUTH ELEVATIONS WITH CUSTOM OR MARVIN WINDOWS. SEE DRAWING A-810. WINDOWS MATCH OR ARE SIMILAR IN DETAIL TO THOSE OF THE BASE SCOPE ON THE NORTH AND WEST ELEVATIONS, INCLUDING MUNTINS, NEW TRIM.

ALTERNATE #3: PORCH ROOF UPGRADE
UPGRADE THE PORCH ROOF FROM THE BASE SCOPE OF ROLLED ASPHALT TO SOLDERED FLAT-SEAM, LEAD COATED COPPER.

ALTERNATE #4: MAIN ROOF, ASPHALT SHINGLE
REPLACE EXISTING ROOF WITH NEW ASPHALT SHINGLE ROOF, INCLUDING COPPER FLASHING/D RIP EDGE; RESTORE/REPLACE AND PAINT ROOF EAVES, RAFTER TAILS; INSTALL NEW COPPER-PAINTED ALUMINUM 5" HALF-ROUND GUTTERS AND 4" ROUND LEADERS

ALTERNATE #5: MAIN ROOF, METAL PANEL
REPLACE EXISTING ROOF WITH NEW ATAS STANDING SEAM METAL PANEL ROOF, INCLUDING COPPER/APPROPRIATE FLASHING/D RIP EDGE; RESTORE/REPLACE AND PAINT ROOF EAVES, RAFTER TAILS; INSTALL NEW COPPER-PAINTED ALUMINUM 5" HALF-ROUND GUTTERS AND 4" ROUND LEADERS. CHANGE EXISTING COPPER CHIMNEY FLASHING TO ALUMINUM.

ALTERNATE #6: PAINT ALL STUCCO
PAINT ENTIRE STUCCO EXTERIOR ONE COLOR, AS IDENTIFIED BY ARCHITECT.

ALTERNATE #7: CHIMNEY UPGRADE
UPGRADE FROM BASE SCOPE OF REBUILDING EXISTING TO MATCHING BRICK WITH CORBELS AS SHOWN IN 1865 IMAGE.

GENERAL NOTES:

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- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUT CONSTRUCTIONS, AND EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK. A PLUS / MINUS (+/-) INDICATES DIMENSIONS WHICH MAY VARY.

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Date: April 12, 2019

Title: New Construction Plans
and Photos

Scale: As Noted

Drawn by: sy, sr, da, sos

NEW CONSTRUCTION
PLANS AND PHOTOS

A-100

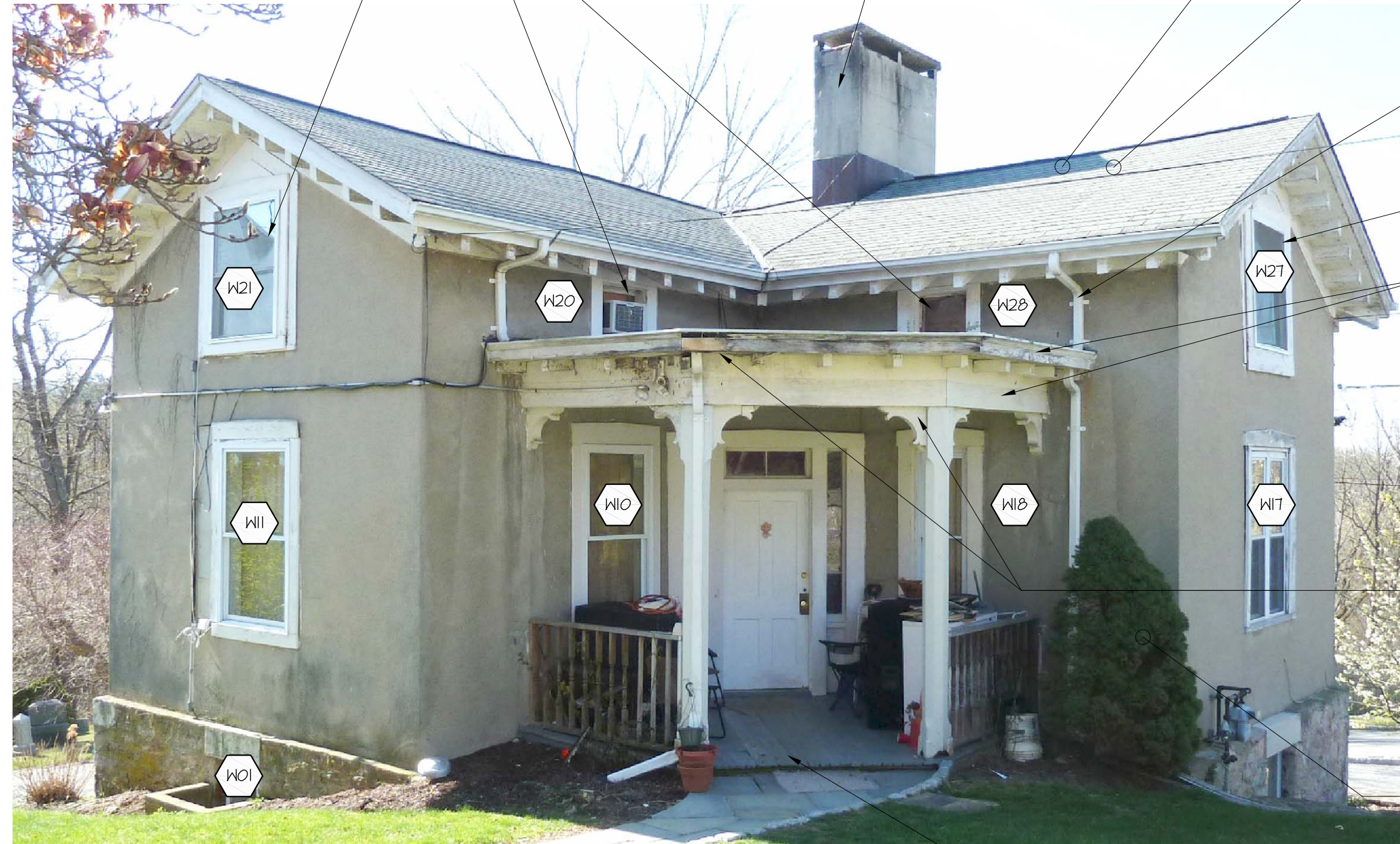
PREP & PAINT ALL VISIBLE WOODWORK/TRIM
AND PORCH.
ALL WOOD COMPONENTS, NEW/RESTORED/REPLACED TO BE PREPPED
& PAINTED. BACK-PRIME ALL NEW & RESTORED/REINSTALLED
COMPONENTS, INCLUDING FASCIA, EAVE BOARDS, SOFFITS & PORCH
FLOOR.

PRIMER- 1 COAT OR AS SPECIFIED BY MANUFACTURER.
FINISH - 2 COATS

ASSUME LEAD PAINT MAY BE PRESENT ON ANY EXISTING MATERIALS.

WINDOW W20 & W26:
RESTORE SASH TO MATCH W22/24/26. RESTORE TRIM (INTERIOR &
EXTERIOR) & FLASH AS REQ'D ABOVE PORCH ROOF.

NEW WINDOWS
AS NOTED WINDOWS WITH HEXAGON SYMBOL
ARE NEW; SEE DETAILS ON A-B10 TYP.



1 NORTH + WEST ELEVATIONS
SCALE: N/A

ALTERNATE #4
MAIN ROOF, ASPHALT SHINGLE
REPLACE EXISTING ROOF WITH NEW
ASPHALT SHINGLE ROOF, INCLUDING
COPPER FLASHING/D RIP EDGE;
RESTORE/REPLACE AND PAINT ROOF
EAVES, RAFTER TAILS; INSTALL NEW
COPPER-PAINTED ALUMINUM 5" HALF-ROUND
GUTTERS AND 4" ROUND LEADERS

ALTERNATE #5
MAIN ROOF, METAL PANEL
REPLACE EXISTING ROOF WITH NEW ATAS
STANDING SEAM METAL PANEL ROOF,
INCLUDING COPPER/APPROPRIATE
FLASHING/D RIP EDGE; RESTORE/REPLACE
AND PAINT ROOF EAVES, RAFTER TAILS;
INSTALL NEW COPPER PAINTED ALUMINUM 5"
HALF-ROUND GUTTERS AND 4" ROUND
LEADERS. CHANGE EXISTING COPPER
CHIMNEY FLASHING TO ALUMINUM.

DOWNSPOUTS: REPLACE
EXISTING WITH NEW &
PLAIN-ROUND DOWNSPOUTS,
PAINTED ALUMINUM.

NEW WINDOWS
AS NOTED WINDOWS WITH
HEXAGON SYMBOL ARE NEW
SEE DETAILS ON A-B10 TYP.

PORCH ROOF, FASCIA & CEILING:
REPLACE EXISTING ROOF WITH NEW
ROLLED ASPHALT ROOFING MEMBRANE.
INCREASE SLOPE OF ROOF, INSERT
COPPER FLASHING AT WALL & BENEATH
WINDOW SILLS, & PATCH STUCCO AS
REQ'D.
REPLACE EXISTING RAFTERS, FASCIA,
SOFFIT, BEAM, BUILT-IN GUTTER &
CEILING AS REQ'D.

PORCH COLUMNS, RAFTER TAILS &
BRACKETS:
RESTORE (2) EXISTING COLUMNS,
RAFTER TAILS & BRACKETS.
ASSUME RAFTER TAILS TO BE
REPLACED IN-KIND.

ALTERNATE #6
PAINT ALL STUCCO
PAINT ENTIRE STUCCO EXTERIOR ONE
COLOR, AS IDENTIFIED BY ARCHITECT.

PORCH FLOOR:
REPLACE EXISTING WITH NEW 3 1/2" X 10" IPE WOOD
DECKING TO MATCH EXISTING, WITH AZEK
APRON. REPAIR/REPLACE FLOOR JOISTS AS
REQ'D. ASSUME 80% REPLACEMENT.

ALTERNATE #2
ADDITIONAL NEW WINDOWS
REPLACE THE 1ST AND 2ND FLOOR
WINDOWS ON THE EAST AND SOUTH
ELEVATIONS WITH CUSTOM OR MARVIN
WINDOWS. SEE DRAWING A-B10. WINDOWS
MATCH OR ARE SIMILAR IN DETAIL TO
THOSE OF THE BASE SCOPE ON THE NORTH
AND WEST ELEVATIONS, INCLUDING MUNTINS,
NEW TRIM.

ALTERNATE #4
MAIN ROOF, ASPHALT SHINGLE
REPLACE EXISTING ROOF WITH NEW
ASPHALT SHINGLE ROOF, INCLUDING
COPPER FLASHING/D RIP EDGE;
RESTORE/REPLACE AND PAINT ROOF
EAVES, RAFTER TAILS; INSTALL NEW
COPPER-PAINTED ALUMINUM 5" HALF-ROUND
GUTTERS AND 4" ROUND LEADERS

ALTERNATE #5
MAIN ROOF, METAL PANEL
REPLACE EXISTING ROOF WITH NEW ATAS
STANDING SEAM METAL PANEL ROOF,
INCLUDING COPPER/APPROPRIATE
FLASHING/D RIP EDGE; RESTORE/REPLACE
AND PAINT ROOF EAVES, RAFTER TAILS;
INSTALL NEW COPPER PAINTED ALUMINUM 5"
HALF-ROUND GUTTERS AND 4" ROUND
LEADERS. CHANGE EXISTING COPPER
CHIMNEY FLASHING TO ALUMINUM.

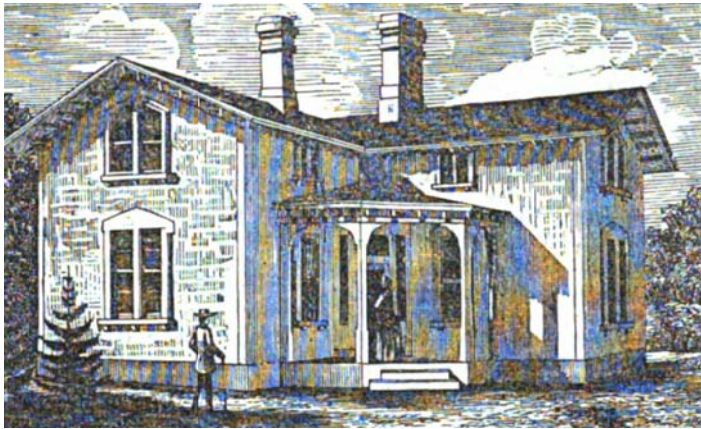
ALTERNATE #6
PAINT ALL STUCCO
PAINT ENTIRE STUCCO EXTERIOR ONE
COLOR, AS IDENTIFIED BY ARCHITECT.

TYPICAL EXISTING CONDITION:
PATCH STUCCO TO MATCH
EXISTING

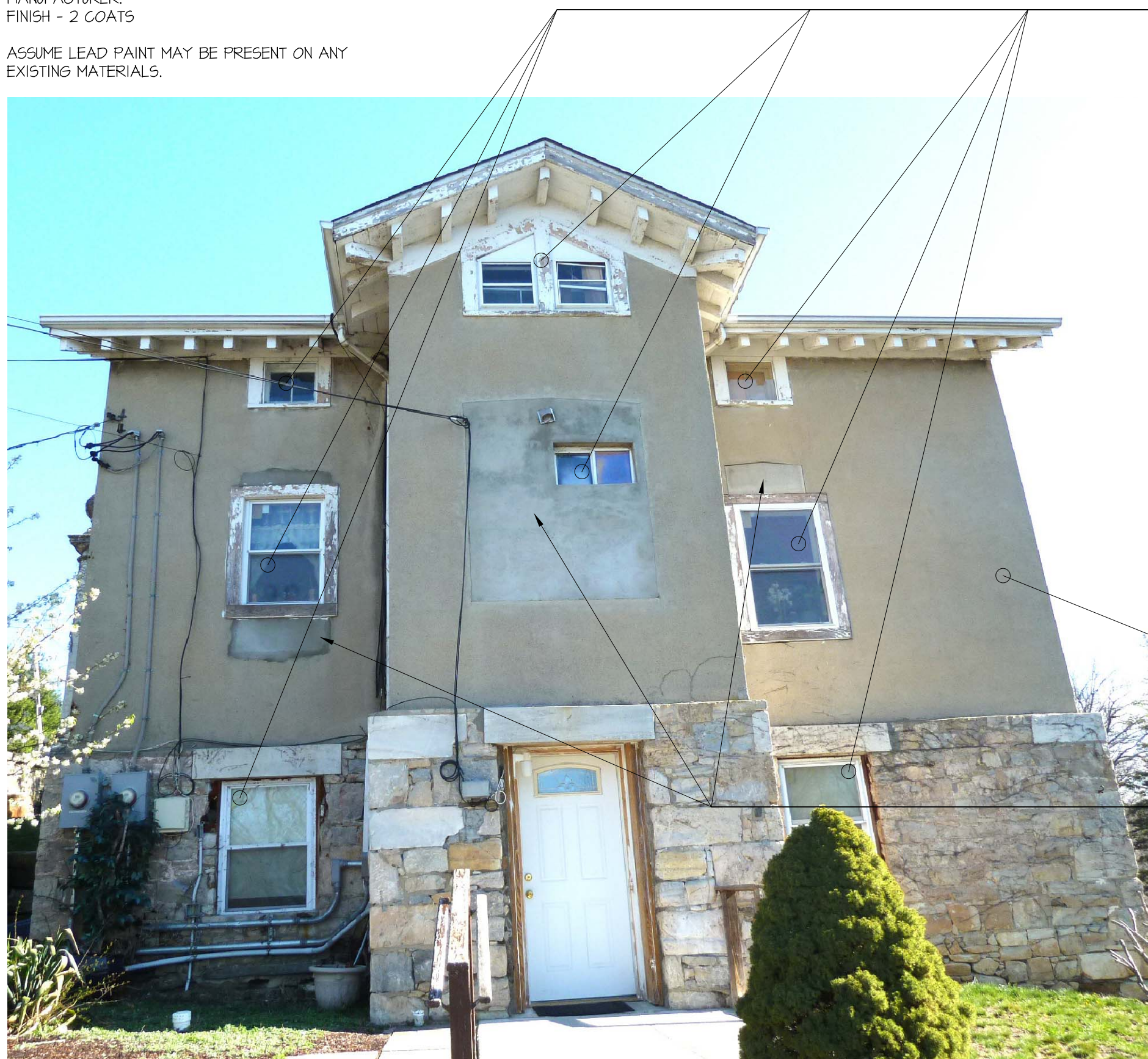


2 EAST ELEVATION
SCALE: N/A

ALTERNATE #1
CHIMNEY UPGRADE
UPGRADE FROM BASE SCOPE
OF REBUILDING EXISTING TO
MATCHING BRICK WITH CORBELS
AS SHOWN IN 1865
IMAGE.



4 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



3 SOUTH ELEVATION
SCALE: N/A

ALTERNATE NOTES:

ALTERNATE #1: FRONT DOOR
RESTORE THE EXISTING FRONT DOOR,
INCLUDING TRANSOM AND SIDELITES. REPLACE
PLEXIGLASS LITES WITH CATEGORY 1 SAFETY
GLASS PER CODE. REPAIR/REPLACE MUNTINS
AS REQUIRED. RETAIN AND CLEAN EXISTING
DOOR HARDWARE. PREP AND PAINT.

ALTERNATE #2: ADDITIONAL NEW WINDOWS
REPLACE THE 1ST AND 2ND FLOOR WINDOWS
ON THE EAST AND SOUTH ELEVATIONS WITH
CUSTOM OR MARVIN WINDOWS. SEE DRAWING
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DETAIL TO THOSE OF THE BASE SCOPE ON THE
NORTH AND WEST ELEVATIONS, INCLUDING
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ALTERNATE #3: PORCH ROOF UPGRADE
UPGRADE THE PORCH ROOF FROM THE BASE
SCOPE OF ROLLED ASPHALT TO SOLDERED
FLAT-SEAM, LEAD COATED COPPER.

ALTERNATE #4: MAIN ROOF, ASPHALT SHINGLE
REPLACE EXISTING ROOF WITH NEW ASPHALT
SHINGLE ROOF, INCLUDING COPPER
FLASHING/D RIP EDGE; RESTORE/REPLACE AND
PAINT ROOF EAVES, RAFTER TAILS; INSTALL
NEW COPPER-PAINTED ALUMINUM 5"
HALF-ROUND GUTTERS AND 4" ROUND LEADERS

ALTERNATE #5: MAIN ROOF, METAL PANEL
REPLACE EXISTING ROOF WITH NEW ATAS
STANDING SEAM METAL PANEL ROOF,
INCLUDING COPPER/APPROPRIATE
FLASHING/D RIP EDGE; RESTORE/REPLACE AND
PAINT ROOF EAVES, RAFTER TAILS; INSTALL
NEW COPPER PAINTED ALUMINUM 5"
HALF-ROUND GUTTERS AND 4" ROUND
LEADERS. CHANGE EXISTING COPPER CHIMNEY
FLASHING TO ALUMINUM.

ALTERNATE #6: PAINT ALL STUCCO
PAINT ENTIRE STUCCO EXTERIOR ONE COLOR,
AS IDENTIFIED BY ARCHITECT.

ALTERNATE #7: CHIMNEY UPGRADE
UPGRADE FROM BASE SCOPE OF REBUILDING
EXISTING TO MATCHING BRICK WITH CORBELS
AS SHOWN IN 1865 IMAGE.

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PREP & PAINT ALL VISIBLE WOODWORK/TRIM
AND PORCH

PRIMER- 1 COAT OR AS SPECIFIED BY
MANUFACTURER.
FINISH - 2 COATS

ASSUME LEAD PAINT MAY BE PRESENT ON ANY
EXISTING MATERIALS.

TYPICAL EXISTING CONDITION:
PATCH STUCCO TO MATCH
EXISTING

REPLACE MARBLE LINTEL:
PROVIDE NEW STONE LINTEL
MATCH EXISTING

01 04-04-2014 ENTIRE SET
No. Date Description

Revisions:

Sept 09, 2019 Issued for Town Review
April 12, 2019 Issued for Town Review
Date Issued For

Submissions:

Project: SUPERINTENDENT'S
COTTAGE
DALE CEMETERY
OSSINING, NY

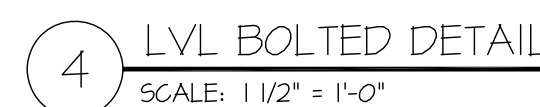
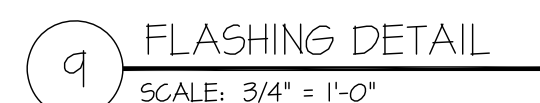
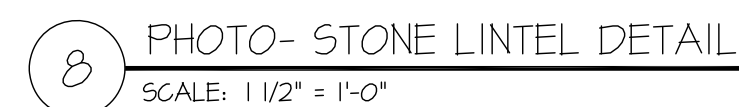
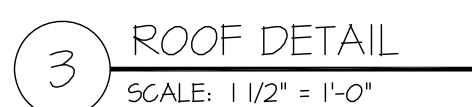
Date: April 12, 2019
Title: NEW CONSTRUCTION
ELEVATIONS

Scale: As Noted

Drawn by: sy, sr, da, sos

NEW CONSTRUCTION
ELEVATIONS

A-200



ALTERNATE NOTES:

ALTERNATE #1: FRONT DOOR
RESTORE THE EXISTING FRONT DOOR,
INCLUDING TRANSOM AND SIDELITES, REPLACE
PLEXIGLASS LITES WITH CATEGORY I SAFETY
GLASS PER CODE. REPAIR/REPLACE MUNTINS
AS REQUIRED. RETAIN AND CLEAN EXISTING
DOOR HARDWARE, KICK AND PAINT.

ALTERNATE #2: ADDITIONAL NEW WINDOWS
REPLACE THE 1ST. AND 2ND. FLOOR WINDOWS
ON THE EAST AND SOUTH ELEVATIONS WITH
CURVED MUNTINS (SEE DRAWING
A-BIO). WINDOWS MATCH OR ARE SIMILAR IN
DETAIL TO THOSE OF THE BASE SCOPE ON THE
NORTH AND WEST ELEVATIONS, INCLUDING
MUNTINS, NEW TRIM.)

ALTERNATE #3: PORCH ROOF UPGRADE
UPGRADE THE PORCH ROOF FROM THE BASE
SCOPE OF ROLLED ASPHALT TO SOLDERED
FLAT-SEAM, LEAD COATED COPPER.

ALTERNATE #4: MAIN ROOF, ASPHALT SHINGLE
REPLACE EXISTING ROOF WITH NEW ASPHALT
SHINGLE ROOF, INCLUDING COPPER
FLASHING/DROP EDGE, RESTORE/REPLACE AND
PAINT ROOF EAVES, RAFTER TAILS, INSTALL
NEW COPPER-PAINTED ALUMINUM 5"
HALF-ROUND GUTTERS AND 4" ROUND LEADERS

ALTERNATE #5: MAIN ROOF, METAL PANEL
REPLACE EXISTING ROOF WITH NEW ATAS
STANDING SEAM METAL PANEL ROOF,
INCLUDING COPPER/APPROPRIATE
FLASHING/DROP EDGE, RESTORE/REPLACE AND
PAINT ROOF EAVES, RAFTER TAILS, INSTALL
NEW COPPER PAINTED ALUMINUM 5"
HALF-ROUND GUTTERS AND 4" ROUND
LEADERS. CHANGE EXISTING COPPER CHIMNEY
FLASHINGS TO ALUMINUM.

ALTERNATE #6: PAINT ALL STUCCO
PAINT ENTIRE STUCCO EXTERIOR ONE COLOR,
AS IDENTIFIED BY ARCHITECT.

ALTERNATE #7: CHIMNEY UPGRADE
UPGRADE FROM BASE SCOPE OF REBUILDING
EXISTING TO MATCHING BRICK WITH CORBELS
AS SHOWN IN 1865 IMAGE.

Revisions

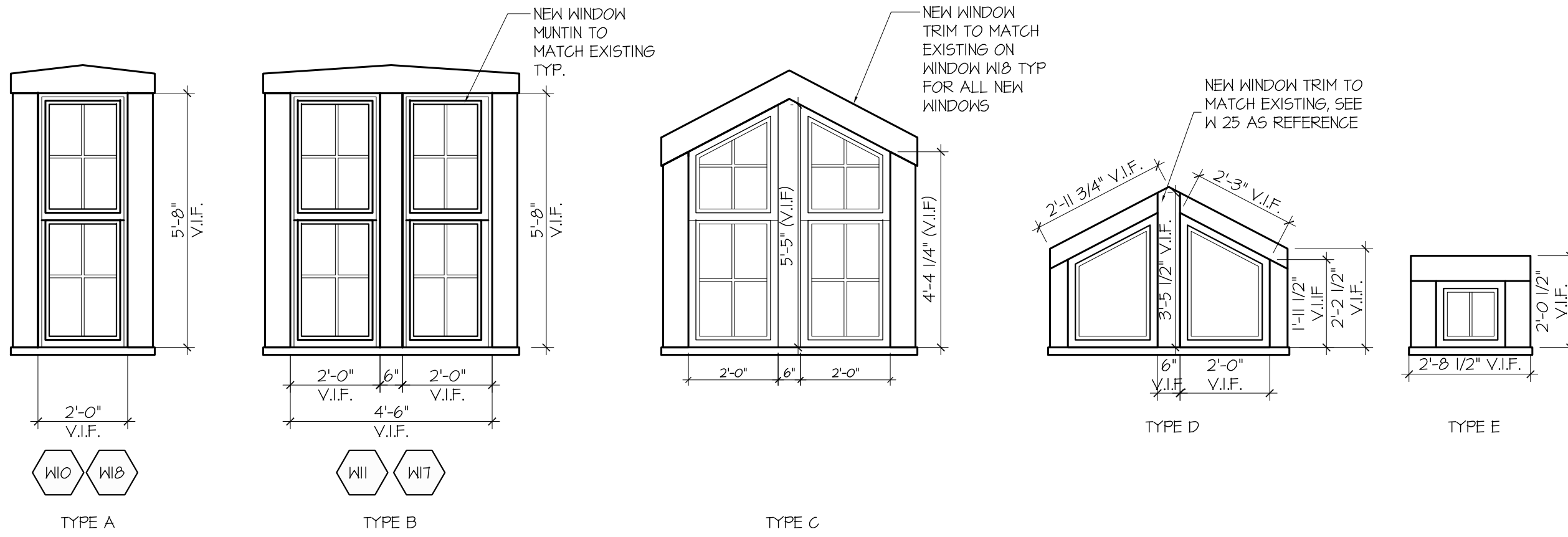
Submissions:

Date: April 12, 2019

Title: PORCH SECTION &
DETAILS

Drawn by: sy, sr, da, sos

A-350



1 WINDOWS ELEVATIONS
SCALE: 3/8" = 1'-0"



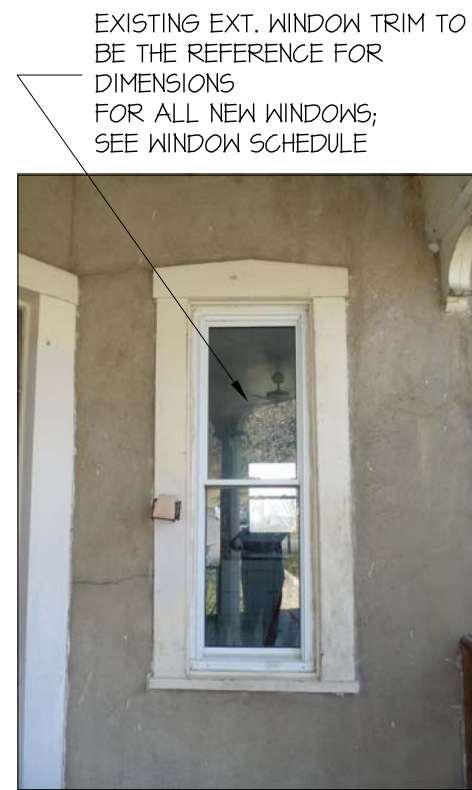
4 NORTH + WEST ELEVATIONS
SCALE: N/A



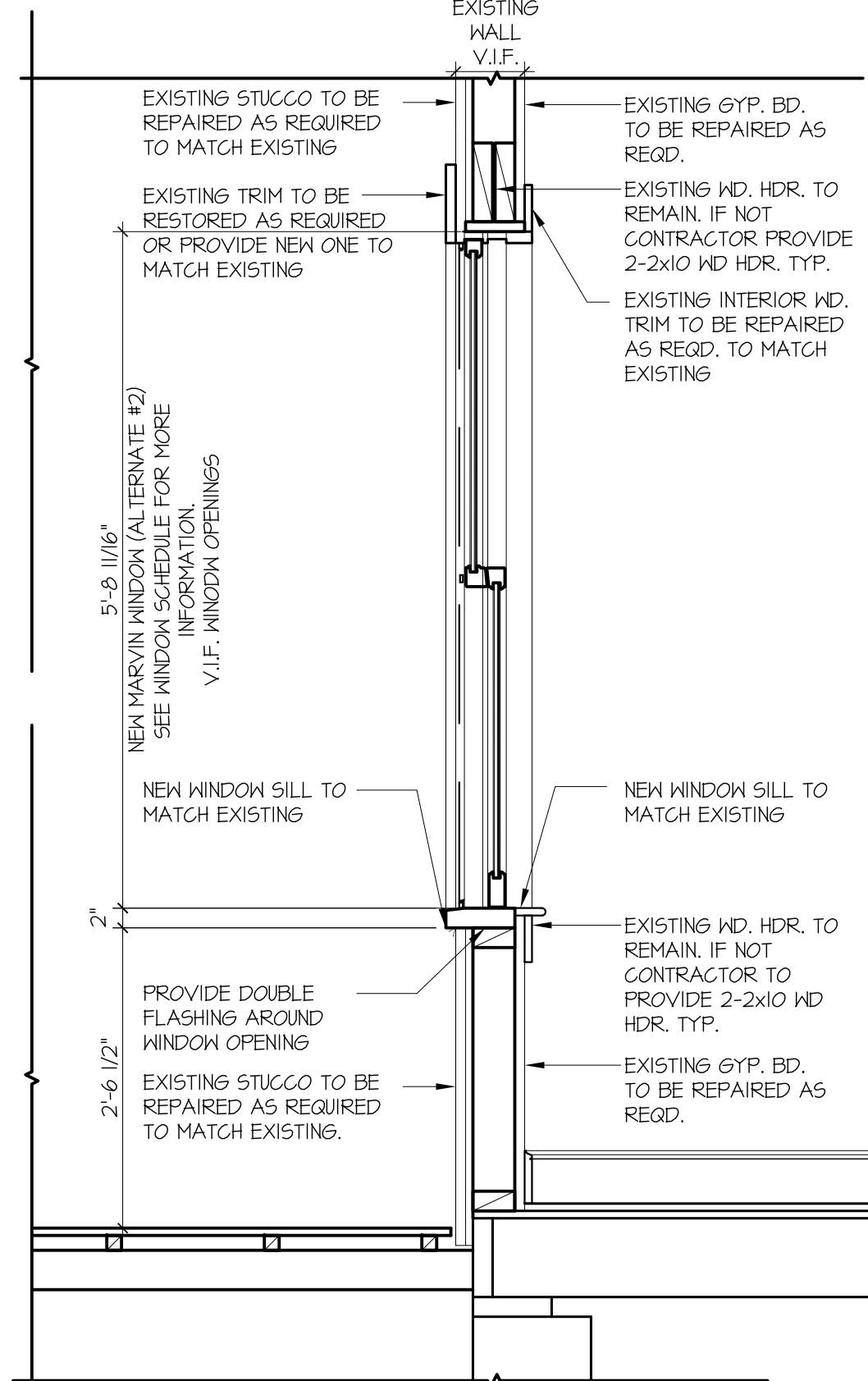
5 SOUTH ELEVATION
SCALE: N/A



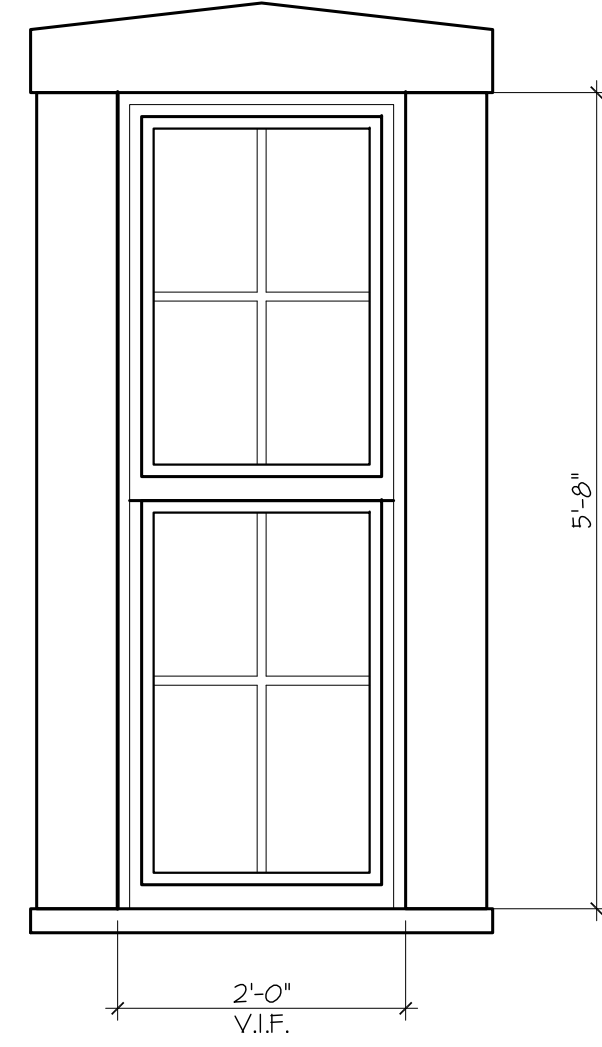
6 EAST ELEVATION
SCALE: N/A



2 WINDOW W10 - REFERENCE
SCALE: N.T.S



3 WINDOWS ELEVATION / SECTION TYP.
SCALE: 3/4" = 1'-0"



ALTERNATE NOTES:

ALTERNATE #1: FRONT DOOR
RESTORE THE EXISTING FRONT DOOR, INCLUDING TRANSOM AND SIDELITES. REPLACE PLEXIGLASS LITES WITH CATEGORY 1 SAFETY GLASS PER CODE. REPAIR/REPLACE MUNTINS AS REQUIRED. RETAIN AND CLEAN EXISTING DOOR HARDWARE, PREP AND PAINT.

ALTERNATE #2: ADDITIONAL NEW WINDOWS
REPLACE THE 1ST AND 2ND FLOOR WINDOWS ON THE EAST AND SOUTH ELEVATIONS WITH CUSTOM OR MARVIN WINDOWS. SEE DRAWING A-810. WINDOWS MATCH OR ARE SIMILAR IN DETAIL TO THOSE OF THE BASE SCOPE ON THE NORTH AND WEST ELEVATIONS, INCLUDING MUNTINS, NEW TRIM.)

ALTERNATE #3: PORCH ROOF UPGRADE
UPGRADE THE PORCH ROOF FROM THE BASE SCOPE OF ROLLED ASPHALT TO SOLDERED FLAT-SEAM, LEAD COATED COPPER.

ALTERNATE #4: MAIN ROOF, ASPHALT SHINGLE
REPLACE EXISTING ROOF WITH NEW ASPHALT SHINGLE ROOF, INCLUDING COPPER FLASHING/DRIIP EDGE, RESTORE/REPLACE AND PAINT ROOF EAVES, RAFTER TAILS; INSTALL NEW COPPER-PAINTED ALUMINUM 5" HALF-ROUND GUTTERS AND 4" ROUND LEADERS


ALTERNATE #5: MAIN ROOF, METAL PANEL
REPLACE EXISTING ROOF WITH NEW ATAS STANDING SEAM METAL PANEL ROOF, INCLUDING COPPER/APPROPRIATE FLASHING/DRIIP EDGE, RESTORE/REPLACE AND PAINT ROOF EAVES, RAFTER TAILS; INSTALL NEW COPPER PAINTED ALUMINUM 5" HALF-ROUND GUTTERS AND 4" ROUND LEADERS. CHANGE EXISTING COPPER CHIMNEY FLASHING TO ALUMINUM.

ALTERNATE #6: PAINT ALL STUCCO
PAINT ENTIRE STUCCO EXTERIOR ONE COLOR, AS IDENTIFIED BY ARCHITECT.


ALTERNATE #7: CHIMNEY UPGRADE
UPGRADE FROM BASE SCOPE OF REBUILDING EXISTING TO MATCHING BRICK WITH CORBELS AS SHOWN IN 1865 IMAGE.

GENERAL NOTES:

- ALL DIMENSIONS ARE TO NEW ROUGH FRAMING OR TO FINISHED SURFACE OF EXISTING BUILDING UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS OR VERIFY WITH ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUT CONSTRUCTIONS, AND EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK. A PLUS / MINUS (+/-) INDICATES DIMENSIONS WHICH MAY VARY.

WINDOW SCHEDULE - MAIN SCOPE						WINDOW TAG SYMBOL 		
FLOOR	TYPE	WINDOW TAG	DESCRIPTION	UNIT	OPENING	TRIM	NOTES	
BASEMENT		W01	W01	HALF-UNDERGROUND, WELL	NEW SASH (EXTG = BROKEN)	2'-0 1/2'-10 3/4" MASONRY OPEN. V.I.F.	EXTERIOR - N/A INTERIOR TO MATCH EXIST.	1 WINDOW
GROUND FLOOR	A	W10	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	1 WINDOW	
	B	W11	2-4/4 DOUBLE-HUNG SASH	NEW PAIR DOUBLE HUNG	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOW	
	B	W17	2-4/4 DOUBLE-HUNG SASH	NEW PAIR DOUBLE HUNG	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOW	
	A	W18	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG SASH - MUNTIN	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	EXIST. EXTERIOR	* ORIGINAL SIZE & EXTER. TRIM	
SECOND FLOOR	E	W20	1/1 PLEXIGLASS PANEL	RESTORE EXIST. CASEMENT OR RECONSTRUCT	1'-4'-1'-7 3/8" FRAMING OPENING V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	* ORIGINAL OPENING & TRIM	
	C	W21	2-4/4 DOUBLE-HUNG SASH	NEW PAIR DOUBLE HUNG	CUSTOM WINDOW V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOW	
	C	W27	2-4/4 DOUBLE-HUNG SASH	NEW PAIR DOUBLE HUNG	CUSTOM WINDOW V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOW	
	E	W28	1/1 PLEXIGLASS PANEL	RESTORE EXIST. CASEMENT OR RECONSTRUCT	1'-4'-1'-7 3/8" FRAMING OPENING V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	* ORIGINAL OPENING & TRIM	

NOTE:
EXISTING ORIGINAL DOUBLE HUNG & CASEMENT SASH AT W20, W28 & W23 (NORTHERN) TO BE USED AS TEMPLATES (MUNTINS, STYLE) FOR RECONSTRUCTION OF NEW SASH; ALL GLAZING SUPPLIED TO MEET CODE.

WINDOW SCHEDULE - PROPOSED - ALTERNATE #2						WINDOW TAG SYMBOL 	
FLOOR	TYPE	WINDOW TAG	DESCRIPTION	UNIT	OPENING	TRIM	NOTES
BASEMENT		W02	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-0 1/2'-10 3/4" MANSORY OPEN. V.I.F.	EXTERIOR - N/A INTERIOR TO MATCH EXISTING	1 WINDOW
	A	W03	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-0 1/2'-10 3/4" MANSORY OPEN. V.I.F.	EXTERIOR - N/A INTERIOR TO MATCH EXISTING	1 WINDOW
	A	W04	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-0 1/2'-10 3/4" MANSORY OPEN. V.I.F.	EXTERIOR - N/A INTERIOR TO MATCH EXISTING	1 WINDOW
	A	W05	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-0 1/2'-10 3/4" MANSORY OPEN. V.I.F.	EXTERIOR - N/A INTERIOR TO MATCH EXISTING	1 WINDOW
	A	W06	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-0 1/2'-10 3/4" MANSORY OPEN. V.I.F.	EXTERIOR - N/A INTERIOR TO MATCH EXISTING	1 WINDOW
GROUND FLOOR	A	W12	2-4/4 DOUBLE-HUNG SASH W/ A/C	NEW DOUBLE-HUNG, W/ MUNTINS	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	1 WINDOW
	B	W13	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOWS
	A	W14	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	1 WINDOW
	B	W15	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOWS
	A	W16	2-4/4 DOUBLE-HUNG SASH	NEW DOUBLE-HUNG, W/ MUNTINS	2'-2 3/8'-5'-5 1/2" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	1 WINDOW
SECOND FLOOR	E	W22	CASEMENT W/ 2 LIGHTS COVERED BY CASEMENT W/ 1 LITE ??	NEW CASEMENT	1'-4'-1'-7 3/8" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	1 WINDOW
	C	W23	2-4/4 LARGE DOUBLE-HUNG SASH; (1) SMALL 1/1 DOUBLE-HUNG COVERING THE OLD WINDOW ??	NEW DOUBLE-HUNG, W/ MUNTINS CUSTOM	CUSTOM WINDOW V.I.F.	NEW TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOWS
	E	W24	CASEMENT W/ 2 LIGHTS COVERED BY CASEMENT W/ 1 LITE ??	NEW CASEMENT	1'-4'-1'-7 3/8" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	1 WINDOW
	D	W25	2-4/4 CASEMENT SASH	NEW DOUBLE-HUNG, W/ MUNTINS CUSTOM	CUSTOM WINDOW V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	2 WINDOWS
	E	W26	CASEMENT W/ 2 LIGHTS COVERED BY CASEMENT W/ 1 LITE ??	NEW CASEMENT	1'-4'-1'-7 3/8" FRAMING OPENING V.I.F.	TO MATCH EXISTING USE W10 FOR TEMPLATE	1 WINDOW

01 09-04-2019 ENTIRE SET
No. Date Description

Revisions:

Sept 09, 2019 Issued for Town Review
April 12, 2019 Issued for Town Review
Date Issued For

Submissions:

Project: SUPERINTENDENT'S COTTAGE
DALE CEMETERY
OSSINING, NY

Date: April 12, 2019
Title: WINDOW SCHEDULE AND DETAILS

Scale: As Noted

Drawn by: sy, sr, da, sos

WINDOW SCHEDULE
AND DETAILS

A-810