



TOWN OF OSSINING
BUILDING & PLANNING DEPARTMENT

101 ROUTE 9A, P.O. BOX 1166
OSSINING, N. Y. 10562

PHONE: (914) 762-8419 FAX: (914) 290-4656

Website www.townofossining.com & Email bldgdept@townofossining.com

RECEIVED

JUN 06 2022

Town of Ossining

Building & Planning Department

APPLICATION TO THE ZONING BOARD OF APPEALS

Date 4 June 2022

I, We Jo Ann Clark + GENE Zafrin Of 10 Robin Drive
(Name of Applicant) (Street)

Town of Ossining, NY 10562 : HEREBY
(Municipality) (State) (Zip Code) (Phone No.) (Email)

() APPEAL TO THE ZONING BOARD OF APPEALS FROM THE DECISION OF
THE BUILDING INSPECTOR AND IN CONNECTION THEREWITH REQUEST

() an Interpretation of the Zoning Code or Zoning Map of the Town of Ossining

() a Variance from the terms of the Zoning Code of the Town of Ossining, or

() a Temporary Certificate of Occupancy.

☒ APPLY TO THE ZONING BOARD OF APPEALS FOR A SPECIAL PERMIT.

1. **LOCATION OF PROPERTY:** 10 Robin Drive
(Street and Number)

SECTION 90.14 BLOCK 2 LOT 60 ZONE R-20

A) Is the Property located within a distance of 500 feet of the boundary of any village,
town or county, or any boundary of a State park or parkway?

If yes, specify.

Yes _____ No ☒

B) Does the Property abut the boundary of any village or town, the boundary of any State
or County park or other recreation area, the right-of-way of any stream or drainage
channel owned by the county or for which the county has established channel
lines, or the boundary of any county or State owned land on which a public building
or institution is located? If yes, specify.

Yes _____ No ☒

C) If a Special Permit is being applied for, is the property shown on the Hudson
River Valley Commission Jurisdiction Map?

Yes _____ No ☒

2. PROVISION (S) OF THE ZONING CODE INVOLVED:

Section 200-31.2 subsection 5 paragraph 4

Section _____ subsection _____ paragraph _____

Section _____ subsection _____ paragraph _____

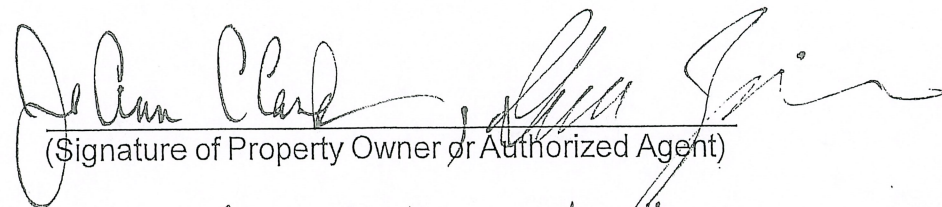
3. DESCRIPTION OF RELIEF REQUESTED (Set forth the circumstances of the case, interpretation that is claimed and details of any variance applied for. Use extra sheet if necessary.)

Our family seeks to obtain a special permit for a preexisting studio in an accessory-building on our property. The building is a 2-carport garage and the studio is located above it. We are new owners of the property (purchased in '21) and understand that a previous owner built the studio without requisite permitting.

4. REASON FOR APPEAL (State precisely grounds on which it is claimed that relief should be granted. Use extra sheet if necessary.)

We are in the process of applying for sponsorship status for Ukrainians seeking shelter in the U.S. Our hope is that we can host a small family in our studio, once it is permitted and fully compliant with the town's zoning regulations. We also seek to complete the permitting process within the 6-month period designated for applying, which closes on July 24th of this year.

5. Enclose 10 copies and 1 pdf version of an accurate and intelligible plan, survey, location map, of the Property drawn to a suitable scale email to bldgdept@townofossining.com and a nonrefundable fee of \$350.00 payable to Town of Ossining.


(Signature of Property Owner or Authorized Agent)

* In the event that our sponsorship-status application is unsuccessful, we likely will seek a certificate-of-occupancy for an alternative resident to live in the studio.



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APPLICATION FOR AN ACCESSORY/SECOND DWELLING UNIT

Name of Applicant(s) GENE ZAFRIN + Jo Ann Clark Date 18 May '22

Address 10 Robin Drive, Ossining, NY 10562

Telephone Number (Home) _____ (Work) _____

Location of Property 10 Robin Drive, Ossining, NY 10562

Tax Designation, Section 90, Plate 14, Block 2, Lot 65 Survey Submitted yes

Portion of Dwelling occupied by owner:

Location 10 Robin Drive, Ossining, NY 10562

No. of Rooms 4 + BRs No. of Bedrooms 4 + nursery

Square Feet 6500, approx.

Portion of Dwelling or Lot occupied by tenant: detached

Location above the garage (of the same property)

No. of Rooms 1 (open floor plan studio) No. of Bedrooms _____

Square Feet 658 square feet

Total Square Feet of Dwelling approx. 1400 Floor Plans submitted yes

Is this application an Original first application to compliance or a Renewal _____

Expiration date of previous grant if a renewal n/a Have there been changes since the previous

grant n/a, if yes, please specify n/a

Number of Vehicles in use for entire residence 1

Is the accessory dwelling unit existing existing proposed _____


Signature of Applicant Jo Ann Clark Date 6 June 22

Signature of Building Inspector _____ Date _____

Application fee of \$300.00 for initial application; \$150.00 for each renewal, provided that no changes are made. The initial term of the special permit shall be one year. Renewal payment shall be for three years provided ownership remains unchanged and all conditions of the permit and of the Town's Zoning Ordinance are met. Annual Inspection of unit is required.

PDF of 10 Robin Drive studio floor plan.

Jo Ann Clark <clarkjazz@gmail.com>
Mon 6/6/2022 2:12 PM
To: Ossining Building Department <bldgdept@townofossining.com>
Cc: Gene Zafrin <gene.zafrin@gmail.com>

 1 attachments (115 KB)
Floor Plan Above Garage.pdf;

Dear Zoning Board Members
Please see, attached, the floor plan for the utility apartment we are seeking to bring into compliance with the Town of Ossining.
Many thanks for your attention to this matter.
Jo Ann Clark & Gene Zafrin, owners

Lou Demasi
Lou@demasiarchitects.com
P: 914-666-3858
F: 914-666-5196
Demasi Architects P.C.
105 Smith Ave. Mt Kisco, NY 10549

General Notes:

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO FULLY COMPLETE THE JOB. EXCEPT WHERE SPECIFICALLY AGREED ON BY OWNER, JOB SHALL BE READY FOR OCCUPANCY IN A GOOD WORKMANSHIP MANNER WITH ALL WORK DONE AS SHOWN OR REASONABLY INTENDED ON DRAWINGS.

WINDOWS TO BE "ANDERSEN" OR EQUAL, SEE PLANS FOR TYPE, COMPLETE WITH HIGH PERFORMANCE GLASS AND SCREENS.
Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).

ALL NEW WORK AND MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL MATCH EXISTING CONSTRUCTION.

ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AS SHOWN

Door And Bottom Of Staircase Leads Directly Outside
Existing Garage Is Separate From Dwelling Above

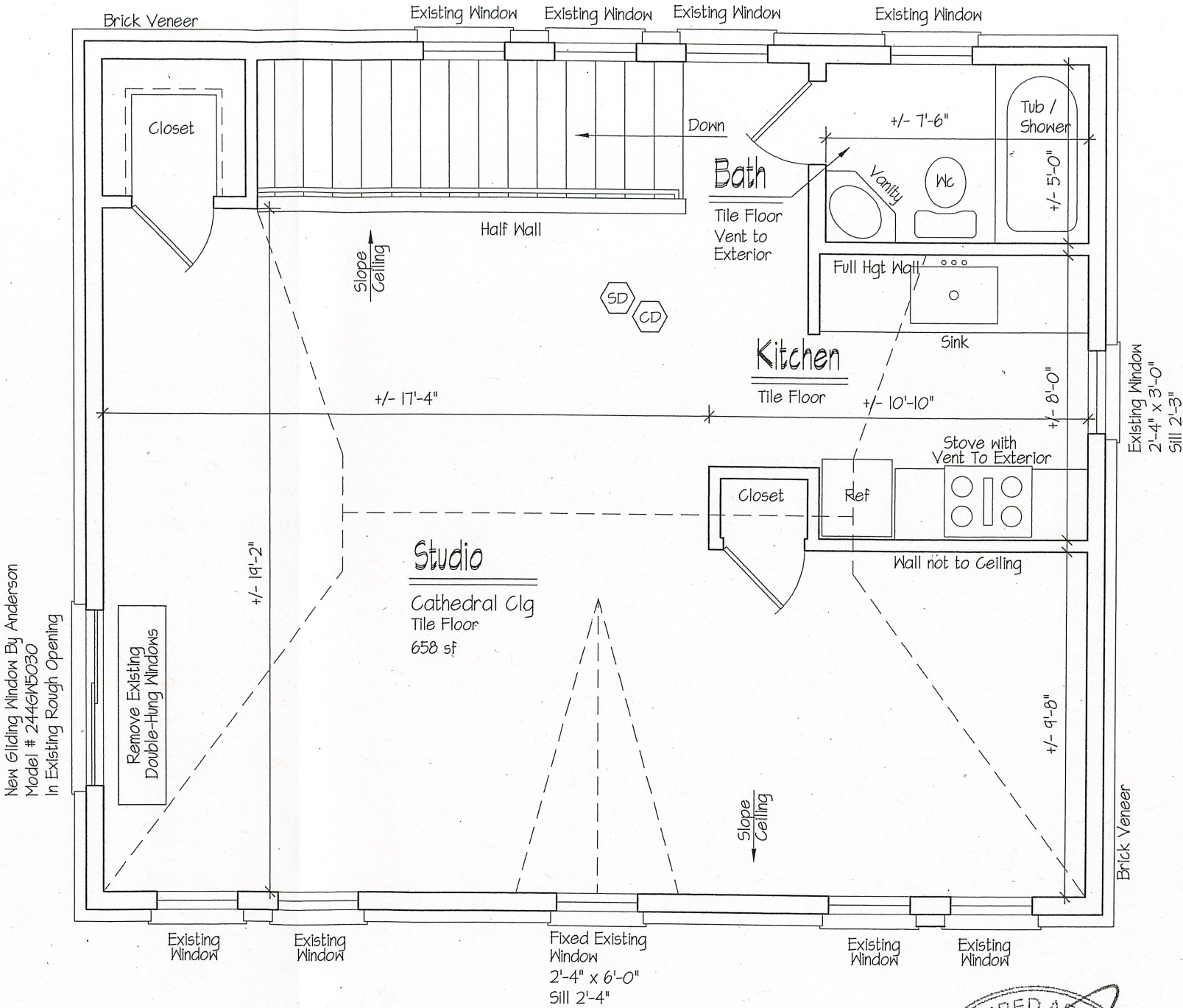
New Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufactures Specifications For All Other Information. (less than 42" to Floor)

Legend:

- Smoke Detector w/ Battery Back-Up
- Carbon Monoxide Detector w/ Battery Back-Up

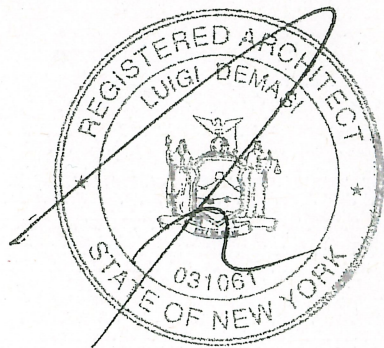
Andersen Gliding Egress Window Sizes:

Size	Opening	Width	Height
GW 5030	6.02 sf	21"	32"



Floor Plan

Scale: 1/4" = 1'-0"



DeMasi Architects P.C.

105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549

EMAIL: Lou@DemasiArchitects.com

PHONE: (914) 666-3858

Floor Plan for Dwelling
above Detached Garage for:

10 Robin Drive Ossining NY 10562

Date June 1, 2022

Job No 222-069

Drawing

OF

Do Not Scale Prints



June 6, 2022

10 Robin Dr.

Ossining, NY

1 inch = 70 Feet

0 70 141 212

location of studio



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community