

GENERAL NOTES

ALL CONTRACTOR'S SHALL MAINTAIN WORKMEN'S COMPENSATION AND PUBLIC LIABILITY INSURANCE IN AMOUNTS SUFFICIENT TO SAVE THE OWNER AND ARCHITECT HARMLESS FROM ALL CLAIMS FOR DAMAGE, INJURY, OR DEATH ARISING OUT OF PERFORMANCE OF THIS WORK.

THE CONTRACTOR SHALL MAINTAIN FIRE INSURANCE ON ALL MATERIALS SUPPLIED BY HIM, TOOLS, EQUIPMENT, ETC., STORED ON THE SITE.

THE OWNER SHALL MAINTAIN FIRE INSURANCE ON THE BUILDING AND ALL MATERIALS INCORPORATED IN THE FINAL CONSTRUCTION.

AT THE COMPLETION OF ALL WORK AND BEFORE THE FINAL PAYMENT IS MADE TO THE CONTRACTOR, THE CONTRACTOR SHALL FURNISH TO THE OWNER A RELEASE FROM ALL LIENS ARISING OUT OF THE PERFORMANCE OF THIS WORK.

GENERAL CONTRACTOR AND HIS SUBS SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, UNLESS OTHERWISE AGREED UPON BY OWNER OR ARCHITECT.

ALL CONTRACTORS SHALL MAKE THEMSELVES FAMILIAR WITH AND ADHERE TO ALL CODES AND ORDINANCES WHICH APPLY TO THIS WORK. NO EXTRA CHARGES WILL BE ACCEPTED. HIDDEN CONDITIONS EXCLUDED.

NO WORK INVOLVING EXTRA COSTS BEYOND THE CONTRACT SUM AGREED TO SHALL BE UNDERTAKEN UNTIL SUCH WORK AND COSTS HAVE BEEN APPROVED BY OWNER OR ARCHITECT. NOTIFICATION SHALL INCLUDE SCOPE OF WORK, DATE, AND COST.

THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK AND OPERATION OF ALL TRADES AND DISCIPLINES SO AS TO FACILITATE THE RAPID COMPLETION OF THE PROJECT, IE:

- SCHEDULE CONSTRUCTION OPERATION IN SEQUENCE REQUIRED TO OBTAIN BEST RESULTS WHERE INSTALLATION OF ONE PART OF THE WORK DEPENDS ON INSTALLATION OF OTHER COMPONENTS, BEFORE AND AFTER ITS INSTALLATION.
- MAKE ADEQUATE PROVISIONS TO ACCOMMODATE ITEMS SCHEDULED FOR LATER INSTALLATION.
- COORDINATION INCLUDES ITEMS SPECIFIED AS 'NOT IN CONTRACT' OR 'SUPPLIED BY OTHERS'.

ANY DEVIATIONS FROM THE DRAWINGS MUST BE APPROVED BY THE ARCHITECT OR OWNER. ANY DISCREPANCIES OR ERRORS MUST BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CREDIT AND/OR EXTRA CHARGES TO BE APPLIED AS APPROPRIATE.

ANY WORK WHICH IS FOUND TO BE DEFECTIVE OR IS OF POOR WORKMANSHIP (IN THE ARCHITECT'S OPINION) MAY BE REJECTED BY THE OWNER. SUCH WORK SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

ANY WORK WHICH IS NECESSARY FOR THE SATISFACTORY COMPLETION OF THE PROJECT, OR ANY COMPONENT OF THE PROJECT, WILL NOT BE ACCEPTED AS A BASIS FOR EXTRA CHARGES, WHETHER OR NOT SHOWN ON DRAWINGS. HIDDEN CONDITIONS EXCLUDED. ALL CONTRACTORS AND SUBS SHALL FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND DRAWINGS AND BRING TO ATTENTION ANY ITEMS IN QUESTION.

CONTRACTOR SHALL MAINTAIN PREMISES FREE OF ALL DEBRIS AND SHALL HAVE REMOVED ALL DEBRIS AT THE END OF CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL EXAMINE THE CONSTRUCTION DRAWINGS AND ANY MANUALS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE, AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT WITH WORK. DO NOT SCALE DRAWINGS.

ALL WORK SHALL BE OF FIRST-CLASS WORKMANSHIP. ALL MATERIALS INCORPORATED IN THE WORK SHALL BE TOP QUALITY AND FREE OF ALL DEFECTS NOT NORMALLY FOUND IN SUCH MATERIAL.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING AND PAYING FOR ALL DUMPSTERS. ALL TRADES MAY USE DUMPSTERS AND ARE RESPONSIBLE FOR DISPOSING OF THEIR DEBRIS ON A DAILY BASIS.

UPON PROJECT COMPLETION, GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATE OF OCCUPANCY TO THE OWNER.

THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE COMPLETION OF WORK SHOWN, CALLED FOR OR IMPLIED BY THESE DRAWINGS. ALL MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS ARE CONSIDERED PART OF THIS CONTRACT. WORK TO BE COMPLETED TO CODE AND TOWN REQUIREMENTS. WHETHER OR NOT CALLED FOR ON DRAWINGS, NO EXTRAS WILL BE EXPECTED FOR BUILDING DEPARTMENT REQUIREMENTS UNLESS SUCH ITEMS ARE HIDDEN CONDITIONS OR CHANGES.

GENERAL DEMOLITION NOTES

DEMOLISH AND REMOVE FROM JOB-SITE EXISTING CONSTRUCTION AS SHOWN ON PLAN. ALL DEMOLITION SHALL BE DONE IN SUCH A MANNER AS TO PREVENT DAMAGE TO ADJACENT AREAS, SHORE AND UNDERPIN EXISTING CONSTRUCTION TO PREVENT DEFLECTION, WALL SWAYING, CRACKING, AND COLLAPSE.

PROTECT ADJACENT AREAS FROM DUST AND DEBRIS PENETRATION. DEBRIS SHALL BE PERIODICALLY REMOVED. PREMISES SHALL BE KEPT BROOM CLEAN AT ALL TIMES.

DEMOLITION SHALL INCLUDE THE REMOVAL AND DISPOSAL OF EXISTING FINISHES AND LIGHTING FIXTURES, OUTLETS, PIPES, AND ASSOCIATED CONNECTIONS NOT REQUIRED IN THE FINAL CONSTRUCTION. OWNER RESERVES THE RIGHT TO MAINTAIN POSSESSION OF ANY AND/OR ALL OF THE ABOVE UPON REQUEST.

DEMOLITION OF EXISTING ROOFING SYSTEM, IF APPLICABLE, SHALL BE THE RESPONSIBILITY OF THE FRAMING CONTRACTOR AND SHALL BE PERFORMED SO AS TO MINIMIZE THE TIME THE HOUSE IS LEFT EXPOSED TO THE ELEMENTS.

FOUNDATION AND SITE NOTES

STOCKPILE ALL SUBSOIL AND TOP SOIL FOR RE-USE AND/OR REMOVAL FROM SITE. OWNER TO DETERMINE.

ROUGH GRADING TO MIN. 12" BELOW SIDING, OR AS SHOWN.

EXCAVATE FOR BASEMENT AND/OR CRAWL SPACE. FOOTING AND FOUNDATION WALL FOOTINGS EXCAVATIONS AND TRENCHES SHALL BE LEVEL AND TRUE TO BUILDING LINES.

AT THE COMPLETION OF FOUNDATION WALLS (INCLUDING WATER PROOFING) AND AFTER FIRST FLOOR FRAMING HAS BEEN COMPLETED, BACKFILL AGAINST FOUNDATION WALLS.

ALL CONCRETE SHALL BE TRANSIT MIXED AND HAVE A MINIMUM STRENGTH OF 3500 PSI AT 28 DAYS.

ALL DETAILING, DESIGN AND FABRICATION SHALL BE IN ACCORDANCE WITH ACI-301, ACI-309 AND ACI-308.

ALL REINFORCING FOR CAST IN PLACE CONCRETE SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

- ASTM A615, GRADE 60 DEFORMED BILLET STEEL BARS FOR CONCRETE REINFORCEMENT.
- ASTM A108, WELDED WIRE FABRIC
- ASTM A82, COLD DRAWN STEEL WIRE

FOUNDATION AND SITE NOTES CONTINUED

ALL SPLICES FOR CONTINUOUS REINFORCING BARS SHALL BE LAPPED A MINIMUM OF 40 BAR DIAMETERS.

FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW FINISH GRADE AND RESTING ON FLAT UNDISTURBED EARTH, OR IF ON LEDGE, HAVE A 6" MIN. CONCRETE SETTING BED WITH 5/8" X 12" STEEL RODS SPACED 2'-0" ON CENTER AND LET INTO LEDGE 6".

CONCRETE BLOCK SHALL BE STONE CONCRETE LOAD BEARING UNITS LAID IN FULL PORTLAND CEMENT MORTAR BEDS. EXPOSED INTERIOR BLOCK SURFACES SHALL HAVE MORTAR JOINTS NEATLY TOGGED WITH MORTAR DROPPINGS REMOVED. EXTERIOR BLOCK FACES SHALL BE PARSED WITH PORTLAND CEMENT STUCCO AND RUBBERIZED WATERPROOFING. ALL WATERPROOFING TO BE KEPT 3" BELOW FINISH GRADE. ALL CONCRETE BLOCK PIERS TO BE FILLED SOLID.

PROVIDE 5/8" ANCHOR BOLTS IMBEDDED MIN. 8" INTO WALL SPACED 4'-0" O.C. AND 1'-0" FROM CORNERS.

NEW FOUNDATION TO BE TIED TO EXISTING WITH #5 RE-BAR.

STEEL NOTES

ALL DETAILING FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES' LATEST EDITIONS.

STEEL FOR TUBES SHALL CONFORM TO ASTM A500, GRADE B. ALL OTHER STEEL SHALL CONFORM TO ASTM A36.

WELDING MATERIALS, PROCEDURES AND QUALITY CONTROL SHALL BE IN ACCORDANCE WITH THE AWS D11, 'STRUCTURAL WELDING CODE-STEEL', LATEST EDITION.

WELDED CONNECTIONS SHALL BE BASED ON E70XX ELECTRODES, MINIMUM WELD SHALL BE 1/4" CONTINUOUS FILLET UNLESS OTHERWISE NOTED.

PROVIDE APPROPRIATE FIRE PROTECTION MEASURES DURING ALL FIELD WELDING WORK.

EXPANSION ANCHOR BOLTS ARE TO BE HILTI INC'S 'Kwik BOLT' 12', 3/4" # 3/4" EMBEDMENT.

NON-SHRINK GROUT FOR SETTING LEVELING PLATES TO THE EXISTING BRICK WALLS IS TO BE FIVE STARE PRODUCTS 'B-STAR' NON-SHRINK NON-METALLIC GROUT, IF APPLICABLE.

ALL STEEL SHALL BE CLEANED AND PAINTED WITH ONE SHOP COAT OF STANDARD PRIMER.

CONSTRUCTION NOTES

ALL NOMINAL STRUCTURALLY GRADED LUMBER SHALL BE DOUGLAS FIR LARCH No. 2 OR BETTER, FB+875 PSI, E+1600000 PSI, U.O.N.

LVL MEMBERS SHALL BE 'MICROLAM LVL' AS MANUFACTURED BY WEYERHAEUSER FB+2600 PSI, E+1300000 PSI OR AN APPROVED EQUIVALENT.

T/I FLOOR JOISTS TO BE MACMILLAN PRO SERIES 250 OR APPROVED EQUAL, AND SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE SQUASH BLOCKS AND STIFFENERS AS RECOMMENDED.

CEILING HEIGHT DIMENSIONS ARE FINISH TO FINISH UNLESS NOTED OTHERWISE. DIMENSIONS ARE FROM ROUGH TO ROUGH UNLESS NOTED OTHERWISE. DIMENSIONS AND GRAPHIC REPRESENTATION ON LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALED DRAWINGS.

DETAILS MARKED 'TYPICAL' (TYP) SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.

WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.

EXTERIOR STUD WALLS TO BE 2X6. ALL INTERIORS STUD WALLS TO BE 2X4 UNLESS OTHERWISE NOTED. REFER TO PLANS.

EXTERIOR ROOF SHEATHING SHALL BE 5/8". EXTERIOR WALL SHEATHING TO BE 1/2" CDX EXTERIOR PL WOOD OR MATCH EXISTING WHERE APPLICABLE.

ROOFING TO BE FIBERGLAS ROOFING OR AS SPECIFIED ON DRAWINGS. STYLE AND COLOR TO BE SELECTED BY OWNER OR AS SPECIFIED.

VALLEYS TO BE OPEN W/ ALUMINUM CONTINUOUS FLASHING. PROVIDE ICE DAM SELF ADHESIVE FLASHING AT ALL VALLEYS AND ENTIRE LENGTH OF SLOPED ROOF SECTIONS WITH PITCH 4/12 OR UNDER.

PROVIDE CONTINUOUS ALUMINUM GUTTERS AND DOWNSPOUTS. LOCATIONS TO BE DETERMINED IN FIELD OR AS INDICATED ON PLANS.

PROVIDE FLASHING AT ALL PENETRATIONS AND ABUTMENTS. STEPPED FLASHING AT ANGLED WALLS AND SLOPED ROOF. CONTINUOUS ALUMINUM FLASHING W/ SELF SELF-ADHESIVE BELOW AT HORIZONTAL WALL AND ROOF INTERSECTION.

PROVIDE SIMPSON HURRICANE ANCHORS 'H' OR EQUIVALENT, AT EACH RAFTER UNLESS OTHERWISE DETAILED.

FLASHING AT STONE WALLS/CHIMNEYS TO BE SET INTO STONE AT AN ANGLE TO MATCH ADJACENT ROOF SURFACE. EXPOSED METAL FLASHING (ALUMINUM OR COPPER) TO BE EXPOSED MIN. 8" CONDITION REVIEWED IN FIELD AND APPROVED BY OWNER AND/OR ARCHITECT. FLASHING AT BRICK TO BE STEPPED AND SET INTO MORTAR BED.

ALL WINDOW HEADERS TO BE SET AT 6'-10" AFF OR MATCH EXISTING HEIGHTS. UNLESS NOTED OTHERWISE, REFER TO PLANS.

ALL WINDOW/DOOR HEADERS TO BE (2) 2X10 UNLESS OTHERWISE NOTED SPANS OVER 6'-0" TO BE (2) 1-3/4"x11-1/4" LVL. UNLESS OTHERWISE NOTED.

ALL BEAMS TO REST ON MIN. (2) 2X POSTS, UNLESS OTHERWISE NOTED AND BLOCKED SOLID BELOW TO WALL/BEAM AND/OR FOUNDATION.

SOLID BLOCKING MUST BE INSTALLED BELOW ALL STUD POSTS THAT DO NOT BEAR DIRECTLY ON FLOOR JOISTS SO THAT AXIAL LOAD IN STUD POSTS IS TRANSFERRED TO THE WALL BELOW. SEE PLANS.

ALL INTERIOR SUBFLOORING SHALL BE 3/4" T&G PLYWOOD, U.O.N. INSTALL PLYWOOD AS PER APA RECOMMENDATIONS.

PROVIDE SOLID BRIDGING ON FLOOR AND CEILING JOISTS, MAX. 8'-0" O.C.

NON-LOAD BEARING INTERIOR PARTITIONS SHALL BE 2X4 STUDS AT 16" O.C. HEADERS OVER OPENINGS IN NON-BEARING PARTITIONS SHALL BE 2-2X6.

PROVIDE DOUBLE JOISTS UNDER PARTITIONS RUNNING PARALLEL.

ALL NEW EXTERIOR WALLS AND CEILINGS SHALL RECEIVE FULL THICK FIBERGLAS BATT INSULATION. INSTALL STYROFOAM SPACERS AT ALL CATHEDRAL CEILINGS AND WHERE AIR FLOW IS REQUIRED BETWEEN INSULATION AND SHEATHING. FOIL FACE VAPOR BARRIER SHALL BE TO UPBEM SIDE. FILL ALL CAVITIES AROUND WINDOWS, DOORS, ETC.

INSTALL 1/2" SHEETROCK AT ALL NEW CONSTRUCTION AND AREAS WHERE EXISTING SHEETROCK IS/ARE BEING REMOVED. AREAS RECEIVING NO WORK OR MINIMAL WORK SHALL MAINTAIN EXISTING SHEETROCK AS IS OR TO BE PATCHED.

ALL SHEETROCK SHALL BE 1/2" SCREWED IN PLACE, HAVE METAL CORNER BEADS AND BE TAPED AND SPACED TO A MINIMUM THREE (3) COATS PRIOR TO SANDING SMOOTH FOR FINAL FINISH.

ALL INTERIOR WALLS, CEILINGS AND TRIM SHALL RECEIVE ONE (1) PRIME COAT AND TWO FINISH COATS PAINT. COLORS SELECTED BY OWNER.

PROVIDE SILICONE CAULK AT BOTTOM OF ALL NEW DOOR SILLS. PROVIDE SELF-ADHESIVE FLASHING AT BASE AND ALL SIDES OF ROUGH OPENING BEFORE AND AFTER INSTALLATION.

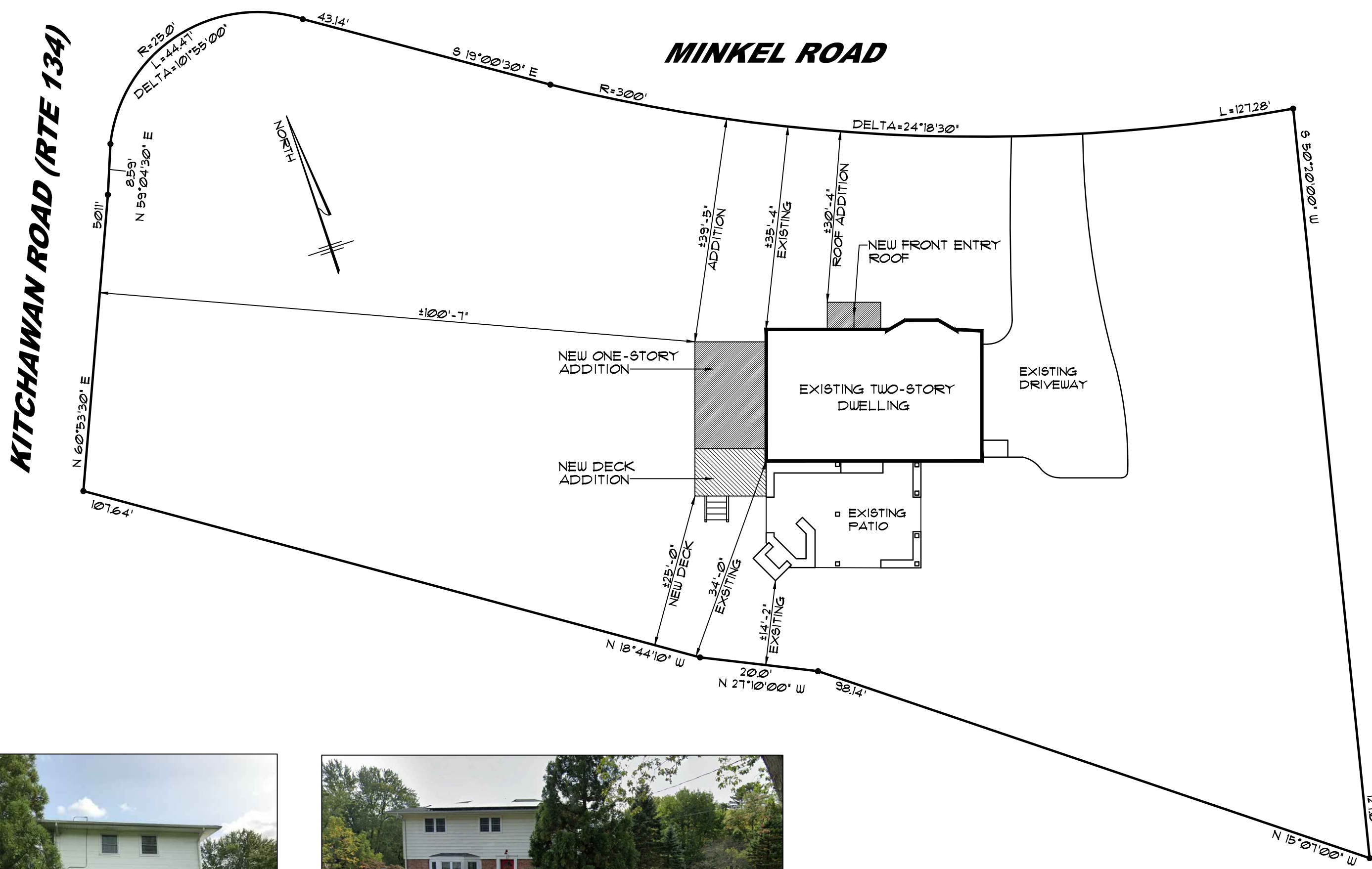
PROVIDE SILICONE CAULK AT ALL NEW WINDOWS ROUGH OPENINGS PRIOR TO INSTALLING AND SELF-ADHESIVE FLASHING ALL AROUND, BEFORE AND AFTER INSTALLING WINDOWS.

HOUSEWRAP TO BE INSTALLED AT ALL NEW ADDITIONS AND AT EXISTING WALLS WHERE SIDING IS REMOVED. TAPE ALL BEAMS W/ MANUFACTURER'S RECOMMENDED SEALER.

PATCH AS REQUIRED INTERIORS REPAIRING AND/OR ADAPTED AREA TO MATCH EXISTING ADJACENT CONDITIONS, INCLUDING MATERIALS AND DETAILS. FINISHED FINISHED RESULTS TO ALIGNING SURFACES WITH ADJACENT AREAS. ALL SIDES TO LIKE NEW CONDITIONS.

PROPOSED WORK IS IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2020 NEW YORK STATE RESIDENTIAL CODE.

MARTINEZ RESIDENCE  
FRONT PORTICO AND ONE STORY ADDITION  
2 MINKEL ROAD  
OSSINING, NEW YORK



SITE PLAN  
SITE INFORMATION TAKEN FROM SURVEY PREPARED BY CHRISTOPHER CROSSLAND, SURVEYOR, DATED JUNE, 12 2000



VIEW OF PROJECT SITE: FRONT AND SIDE VIEWS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

OSSINING, NEW YORK												
WIND DESIGN						SUBJECT OF DAMAGE FROM						
GROUND SNOW LOAD	WIND SPEED (mph)	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY (RCMY Only)	WEATHERING	FROST LINE DEPTH	TEMPERATURE	WINTER DESIGN TEMP.	ICE-SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
30 psf	115 mph	NO	YES	NO	C	SEVERE	42'	MODERATE TO HEAVY	1°	YES	NO	1500 OR LESS

SYMBOLS LEGEND

	NEW CONCRETE FOUNDATION WALL		NEW WALL DUPLEX POWER OUTLET
	EXISTING WALLS TO REMAIN		ELECTRICAL JUNCTION BOX
	EXISTING WALLS TO BE REMOVED		LIGHT SWITCH INDICATES 3-WAY OR 4-WAY SWITCH
	NEW 2X STUD WALLS		EXISTING SWITCH TO BE REMOVED
	INDICATES DOOR SYMBOL		UNDER CABINET LED LIGHTING HARDWIRED
	INDICATES WINDOW SYMBOL		WALL SCONCE - ON DIMMER SWITCH
	INDICATES ELEVATION DETAIL		CEILING HUNG DECORATIVE LIGHT FIXTURE
	INDICATES SECTION DETAIL		SMOKE DETECTOR
	EXISTING DUPLEX POWER OUTLET TO BE REMOVED		SMOKE/CARBON MONOXIDE DETECTOR
	EXISTING DUPLEX POWER OUTLET		NEW 4' LED RECESSED DOWNLIGHT

DEFINITIONS

V.I.F. = VERIFY IN FIELD  
D.I.F. = DETERMINE IN FIELD  
N.I.C. = NOT IN CONTRACT (SCOPE OF WORK)  
R = RELOCATED OBJECT AND RELATED ITEMS  
E = EXISTING ITEM TO REMAIN.  
U.O.N. = UNLESS OTHERWISE NOTED  
NTS = NOT TO SCALE

DESIGN LOAD CRITERIA

ROOF DEAD LOAD - 20 PSF  
LIVE LOAD - MAIN FLOOR - 40PSF  
LIVE LOAD - SLEEPING AREAS - 30 PSF  
FLOOR DEAD LOAD - 20 PSF

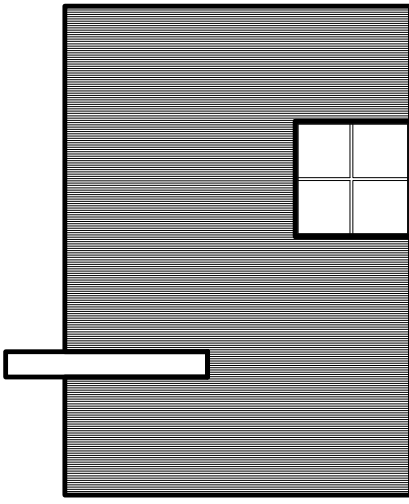
ENERGY CODE INSULATION R VALUES

COMPONENT	REQUIRED	PROPOSED
WOOD FRAMED WALLS	19	19
FLOOR CAVITY	19	30
CEILING WITH ATTIC	49	30 COMPLIES WHEN OVER EXT. WALL.
CATHEDRAL CEILING	30	N/A
SLAB AND DEPTH	10/2FT	10/1FT
BASEMENT WALL	13	13
FENESTRATION U-FACTOR	0.32	0.30

ZONING INFORMATION

ZONE DISTRICT: R-20	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT SIZE	20000	119,809	UNCHANGED	NO
MINIMUM LOT WIDTH	100 FT.	192 FT.	UNCHANGED	NO
MINIMUM LOT DEPTH	130 FT.	1212 FT.	UNCHANGED	NO
MINIMUM FRONT YARD	30 FT.	135'-4"-house 131'-4"-porch	130'-4"-porch roof	NO
MINIMUM SIDE YARD	16 FT.	151 FT.	UNCHANGED	NO
MINIMUM BOTH SIDE YARDS	34 FT.	---	---	---
MINIMUM REAR YARD	34 FT.	135'-4"-house 114'-2"-fireplace	125'-1"-deck 121"-deck steps	NO
MAXIMUM HEIGHT (STORIES)	2-1/2	2-1/2	UNCHANGED	NO
MAXIMUM HEIGHT (FEET)	35 FT.	121 FT.	UNCHANGED	NO
MAXIMUM COVERAGE (BUILDING)	22%	16.8%	18.3%	NO

SIMEOFORIDES



ARCHITECT

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LIST OF DRAWINGS

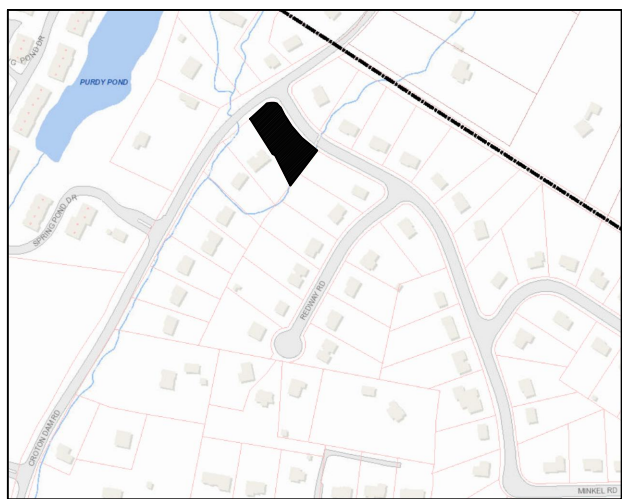
COV-1 - COVER SHEET/GENERAL NOTES, F.A.R. AND ZONING CALCULATIONS

A-1 - BASEMENT/FOUNDATION PLAN  
FIRST FLOOR CONSTRUCTION PLAN  
FIRST FLOOR DEMOLITION PLAN  
WINDOW AND DOOR SCHEDULES

A-2 - EXTERIOR ELEVATIONS  
FIRST FLOOR POWER/LIGHTING PLAN

A-3 - FRONT PORCH SECTION AND DETAILS  
ADDITION SECTION AND DETAILS

A-4 - INTERIOR ELEVATIONS  
DECK DETAILS



LOCATION/KEY PLAN

11 JAN 21	ZONING BOARD APPROVAL 156UE
1 DEC 20	ISSUED FOR BIDS, PERMITS AND CONSTRUCTION
8 OCT 20	REVIEW SET WITH CLIENT
NO. DATE	ISSUE/REVISION

CLIENT/LOCATION:  
**MARTINEZ RESIDENCE**  
**2 MINKEL ROAD**  
**OSSINING, NEW YORK**

DRAWING:  
**GENERAL NOTES**  
**SITE PLAN**  
**ZONING CHART**  
**SYMBOLS LEGEND**



SCALE:  
AS NOTED  
DATE:  
BY:  
W.S.  
**COV-1**