



**TOWN OF OSSINING**  
**BUILDING & PLANNING DEPARTMENT**

101 ROUTE 9A, P.O. Box 1166

OSSINING, N. Y. 10562

PHONE: (914) 762-8419 FAX: (914) 290-4656

Website [www.townofossining.com](http://www.townofossining.com) & Email [bldgdept@townofossining.com](mailto:bldgdept@townofossining.com)

**APPLICATION TO THE ZONING BOARD OF APPEALS**

Date 4/22/2019

I, We Karen Vallach of 2 Bayden Rd  
(Name of Applicant) (Street)

Ossining NY 10562 762-6388 : HEREBY  
(Municipality) (State) (Zip Code) (Phone No.)

( ☒ ) APPEAL TO THE ZONING BOARD OF APPEALS FROM THE DECISION OF  
THE BUILDING INSPECTOR AND IN CONNECTION THEREWITH REQUEST

( ) an Interpretation of the Zoning Code or Zoning Map of the Town of Ossining

( ☒ ) a Variance from the terms of the Zoning Code of the Town of Ossining, or

( ) a Temporary Certificate of Occupancy.

( ) APPLY TO THE ZONING BOARD OF APPEALS FOR A SPECIAL PERMIT.

1. **LOCATION OF PROPERTY:** 2 Bayden Rd  
(Street and Number)

SECTION 90.05 BLOCK 2 LOT 51 ZONE R-15

A) Is the Property located within a distance of 500 feet of the boundary of any village,  
town or county, or any boundary of a State park or parkway?

If yes, specify.

Across the street is Village of Ossining Yes ☒ No ☐  
This property is on Town border.

B) Does the Property abut the boundary of any village or town, the boundary of any State  
or County park or other recreation area, the right-of-way of any stream or drainage  
channel owned by the county or for which the county has established channel  
lines, or the boundary of any county or State owned land on which a public building  
or institution is located? If yes, specify.

Yes ☐ No ☒

C) If a Special Permit is being applied for, is the property shown on the Hudson  
River Valley Commission Jurisdiction Map?

Yes ☐ No ☒

2. **PROVISION (S) OF THE ZONING CODE INVOLVED:**

Section 200 subsection 50 paragraph Attachment 2

Section \_\_\_\_\_ subsection \_\_\_\_\_ paragraph \_\_\_\_\_

Section \_\_\_\_\_ subsection \_\_\_\_\_ paragraph \_\_\_\_\_

3. **DESCRIPTION OF RELIEF REQUESTED** (Set forth the circumstances of the case, interpretation that is claimed and details of any variance applied for. Use extra sheet if necessary.)

*See attached*

4. **REASON FOR APPEAL** (State precisely grounds on which it is claimed that relief should be granted. Use extra sheet if necessary.)

*see attached*

5. Enclose 10 copies of an accurate and intelligible plan of the Property drawn to a suitable scale and a nonrefundable fee of **\$250.00**

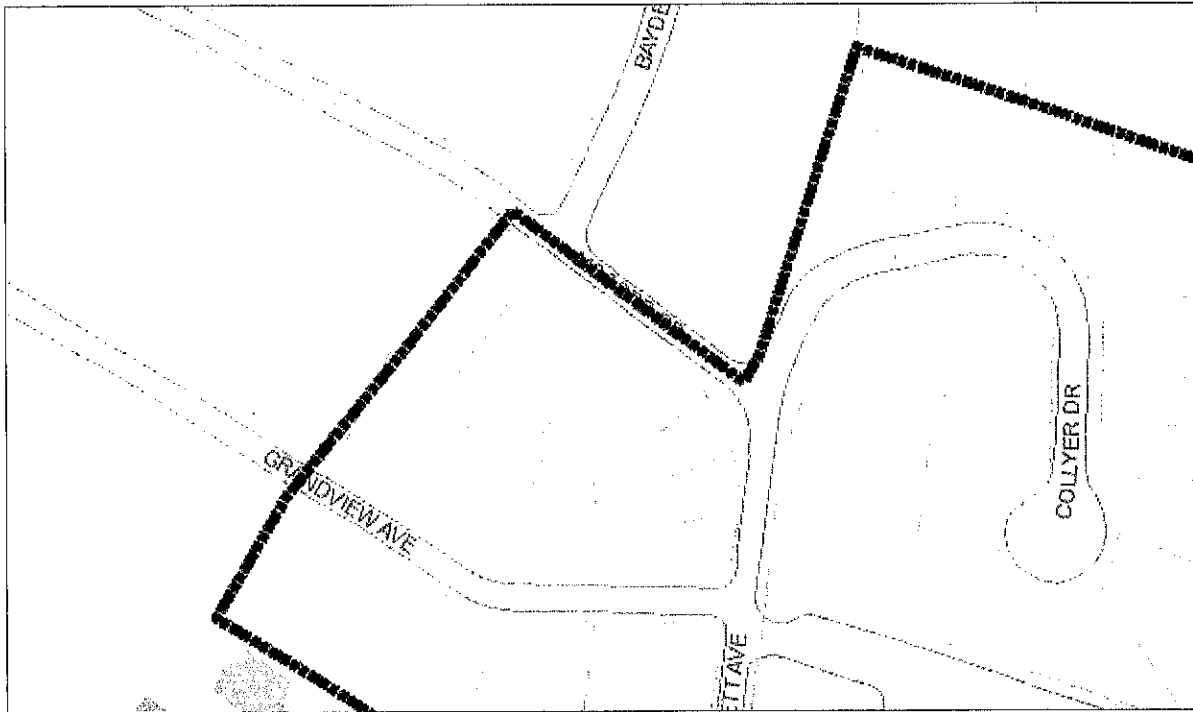
  
\_\_\_\_\_  
(Signature of Property Owner or Authorized Agent)

## Tax Parcel Maps

Address: 2 Bayden Rd

Print Key: 90.05-2-51

SBL: 09000500020510000000



**Disclaimer:**

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property

*Town of OSSINING ZONING BOARD OF APPEALS SUBMISSION*

Project: Deck 2 Bayden Road, Ossining NY

Owner: Karen Vallach  
2 Bayden Road  
Ossining NY 10562

Sec: 90.05 Block: 2 Lot: 51 Zone: R-15

Architect: Susan M. Riordan AIA *Architect*  
Ossining NY 10562  
(914) 923-0498

Date: April 22, 2019

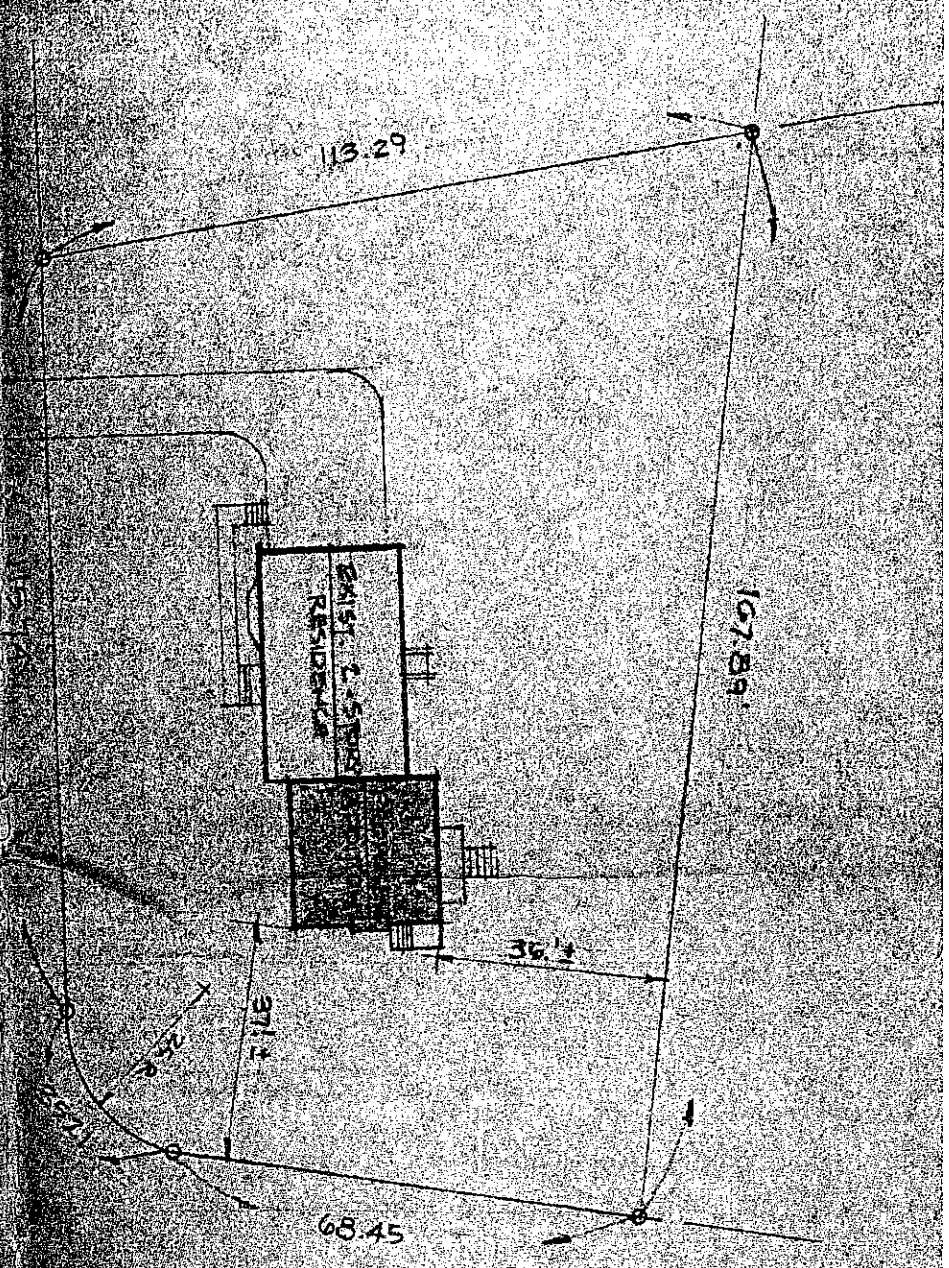
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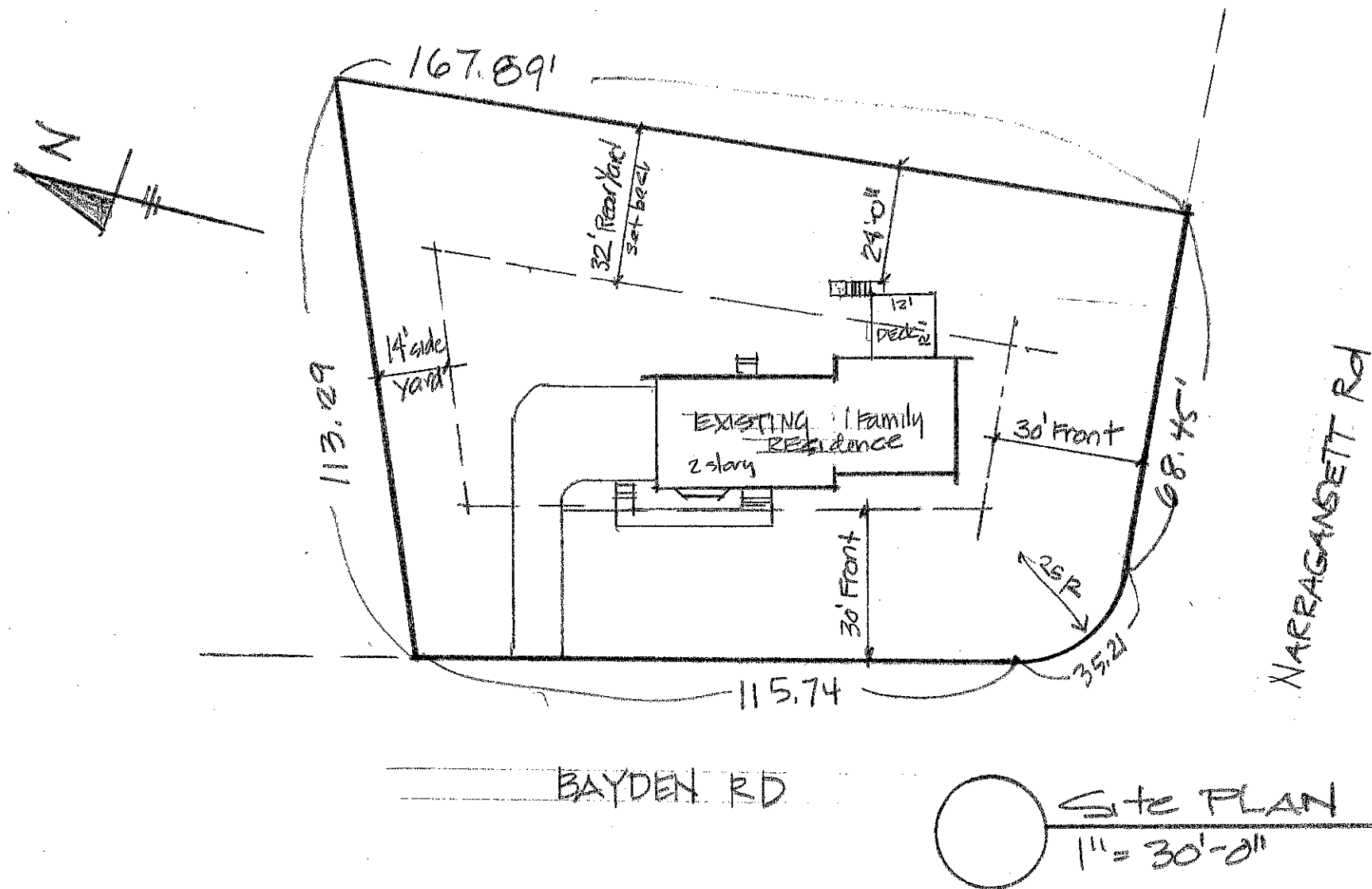
We are requesting a variance of section 200-50 Attachment-2 (Bulk regulations for one-family family residences in the R-15 district) for this existing one-family residence:

- Currently the existing single family residence was built in 1963. The house is situated on the corner of Bayden Road and Narragansett road.
- The owner wants to improve this property by upgrading the old deck to the rear of the existing house.
- The deck was expanded from 4' x 12' to 12' x 12' in 1980's over 30 years ago.
- The rear yard setback is 32' which would allow for a 4' x 12' deck which is too narrow for any use except a travel corridor. The owner wished to legalize the 12' x 12' deck. This deck is large enough for use and table and chairs.
- Why is the deck at this location?
  - The house is located at the center of the property any addition will need a variance.

- The variance is not substantial.
  - The deck is hidden for the street and neighbors by mature plantings and a fence. This deck is not visible from either Bayden road or Narragansett road.
- The upgrade of the deck to this house will add to the upgrade of the property and will be beneficial to the neighborhood.
  - The environments impact is very minor.
  - There will be no impact on the available services to the community.
  - The deck will not have a big impact on the front of the house and the street.
  - We are asking for rear yard variance of 8'-0" for a rear yard of 24'-0".

MAP OF SOREY OF PROPERTY  
SITUATED IN THE  
TOWN OF COSSING  
DESCHERES COUNTY  
NEW YORK

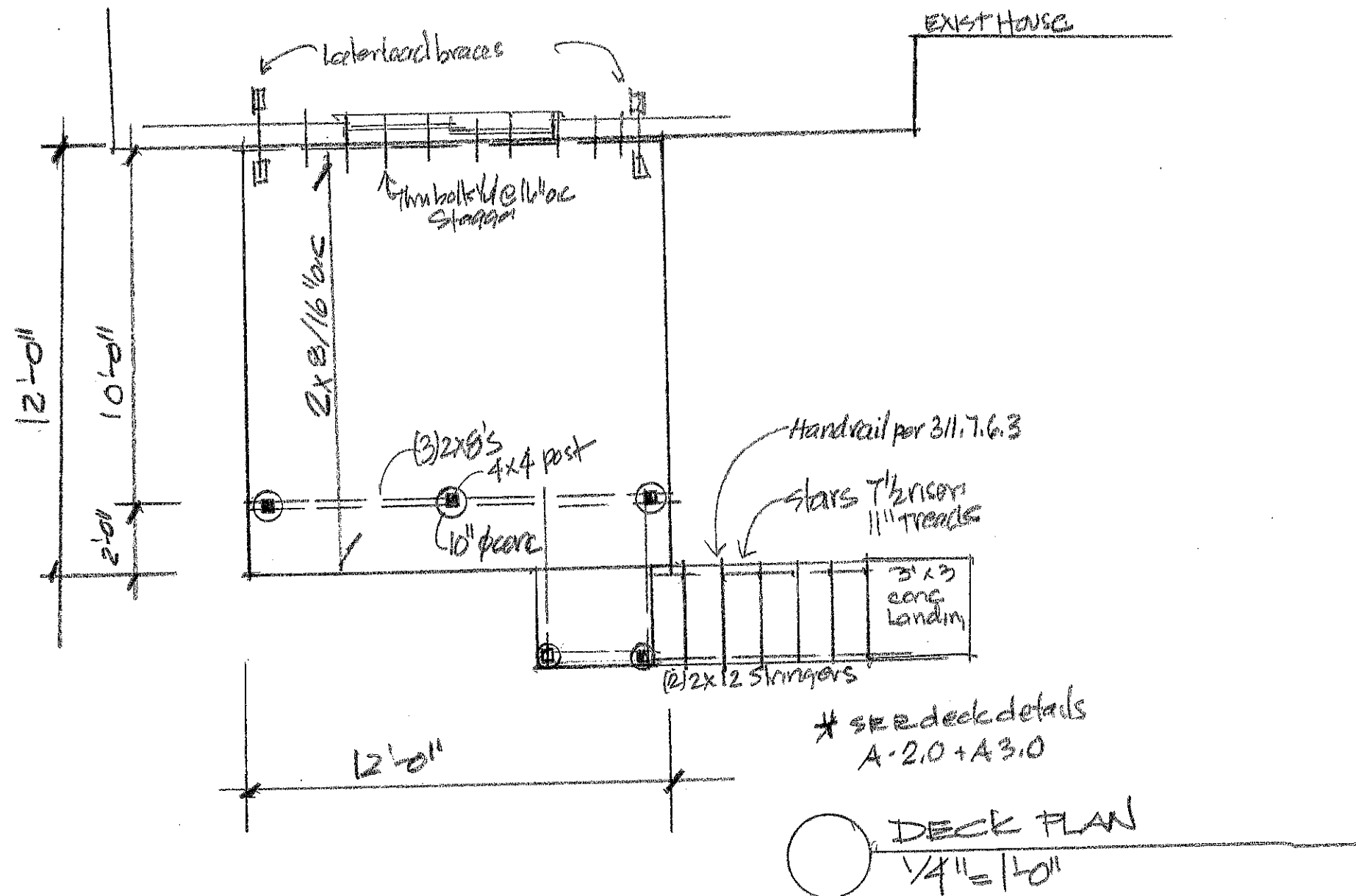




2 Bayden Road Ossining NY 10562			
S-B-L: 90.05-2-51			
R-15 Zone: Single family residence			
Bulk Regulations:	Required/ allowable	Existing/ Proposed	Variance required
Lot area	15,000 SF	13,000 SF	N/A
Lot Width	90	115.74'	N/A
Lot depth	120	113.29	N/A
Front Yard Setback	30	32'	N/A
1 Side yard	14	55'	N/A
both Side yards	30	N/A	N/A
Rear Yard Setback	32	24'	8'-0"
Building Ht	2 ½	2	N/A
feet	35	32'	N/A
Building Coverage	25%	12%	N/A

**Susan M. Riordan AIA, Architect**  
 10 Calam Ave  
 OSSINING NY 10562  
 (914) 923-0498  
 smrarch@aol.com

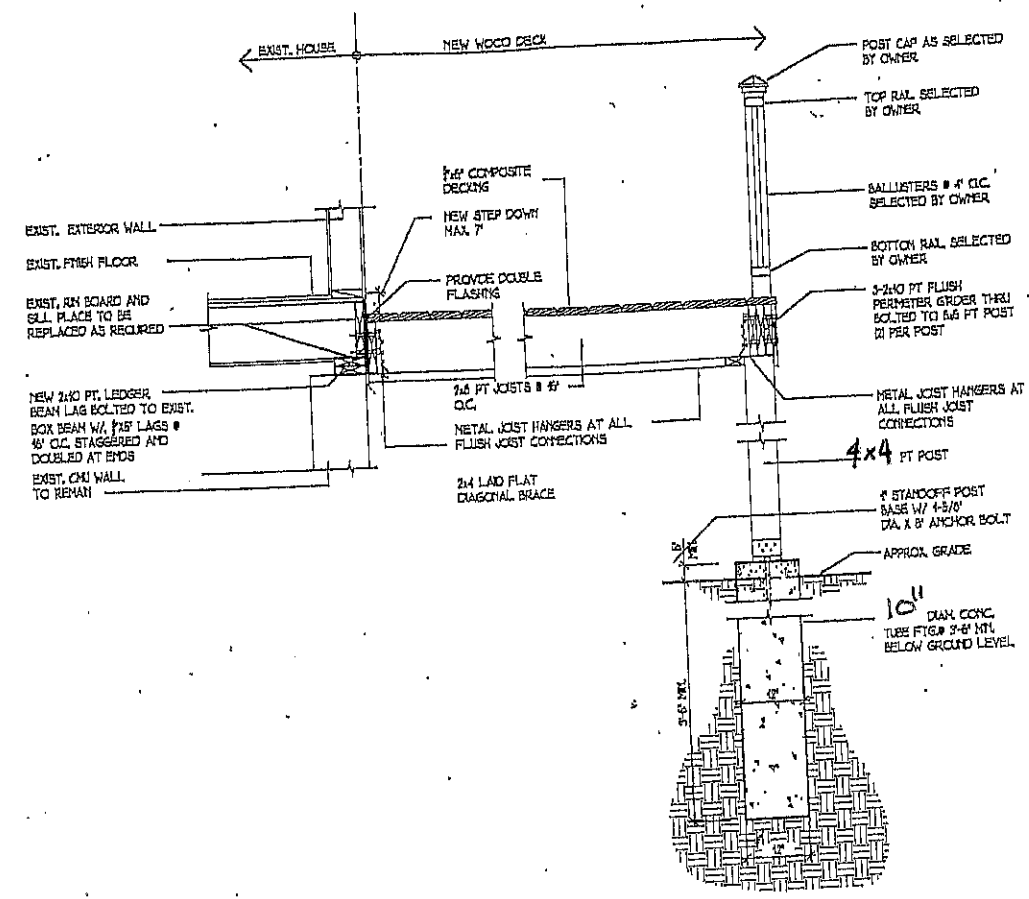
S-B-L: 90.05-2-51		
PROJECT: <b>Vallach Residence</b> 2 Bayden Road Ossining, NY 10562	Site Plan	Dwg # <b>A-0.1</b>
	Date: 4/22/2019	Scale: 1" = 30'



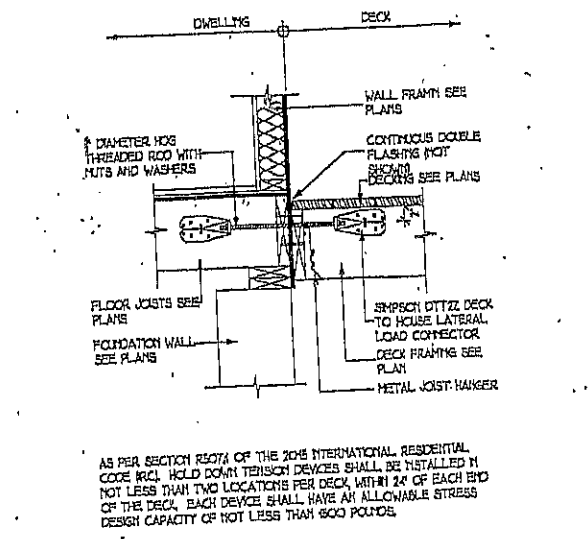
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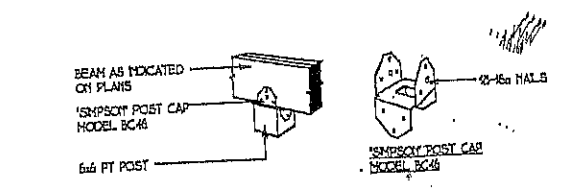
PROJECT: <b>Vallach Residence</b> 2 Bayden Road Ossining, NY 10562	Deck Plan	Dwg # <b>A-1.0</b>
	Date: 4/22/2019	Scale: 1/4" = 1'-0"



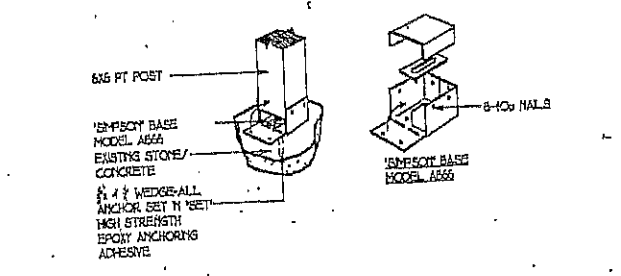
1 TYPICAL DECK SECTION 3/4" = 1'-0"



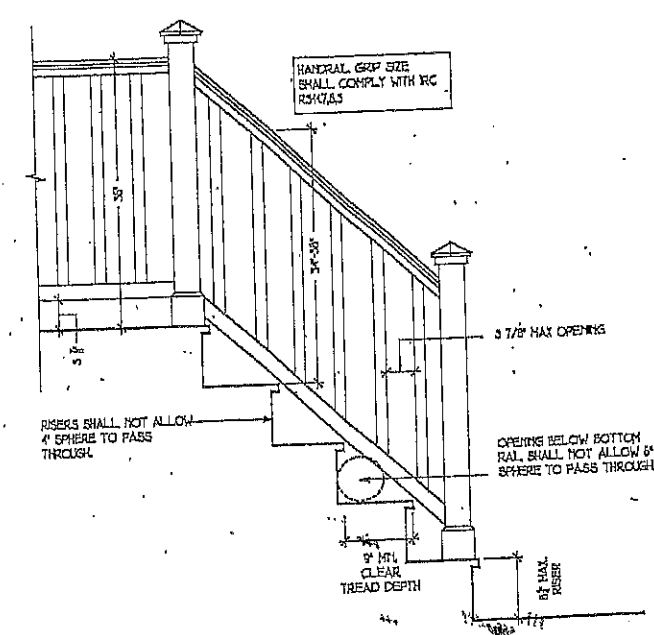
4 DECK TO HOUSE LATERAL LOAD CONNECTION DETAIL 1" = 1'-0"



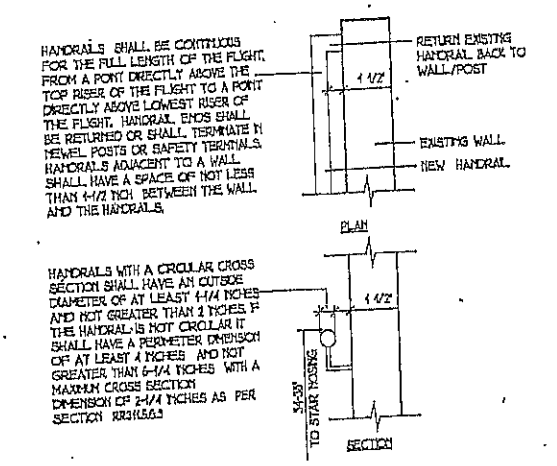
5 POST CAP ANCHOR DETAIL N.T.S.



6 POST BASE ANCHOR DETAIL N.T.S.



2 STAIR CODE REQUIREMENTS DETAIL 3/4" = 1'-0"



3 GRIPABLE HANDRAIL DETAIL 1 1/2" = 1'-0"

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PROJECT: <b>Vallach Residence</b> 2 Bayden Road Ossining, NY 10562		Deck details	Dwg # <b>A-2.0</b>
		Date: 4/22/2019	Scale: As noted

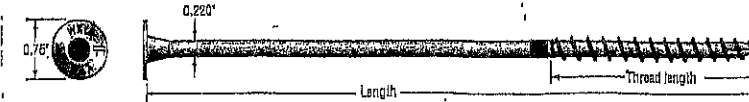
S-B-L: 90.05-2-51

## Guard Post to Deck Framing



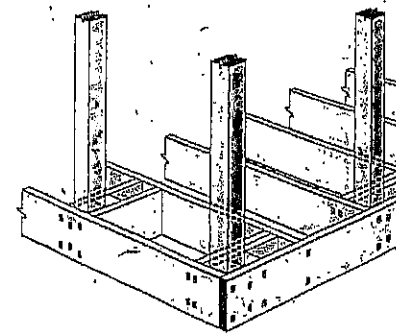
### For 36"- and 42"-Tall Guard Posts

As an alternative code-compliant solution for attaching wood guard posts without the use of typical hardware and through-bolts, the guard posts and the framing elements can be fastened with Strong-Drive® SDWS Timber screws. The SDWS Timber screws are code report listed in IAPMO UES ER-192. The solutions below have been tested and verified for 36"-tall guard posts constructed with DFL, HF and SP framing. These solutions have also been tested and verified for 42"-tall guard posts constructed with DFL and SP framing only.

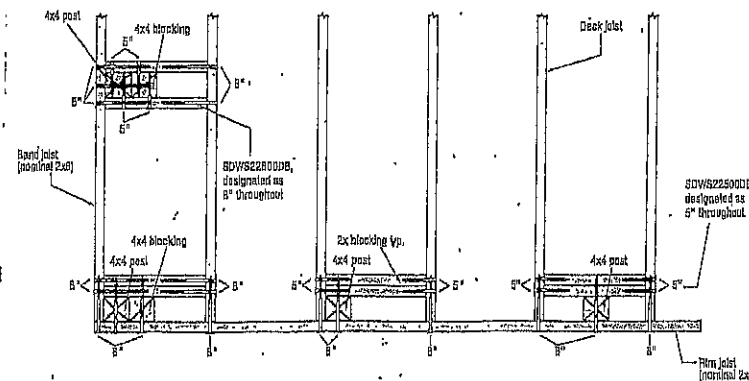


Strong-Drive SDWS TIMBER Screw (SDWS22500DB, SDWS22800DB)

Note: For this installation, it is imperative that only approved fasteners are used and installed per Simpson Strong-Tie details. Test results have shown that generic fasteners do not provide sufficient withdrawal resistance, pull-through resistance or shear strength.



Internal Guard Post Installations Using Strong-Drive SDWS Timber Screws



Plan View Showing Details of Four Connections Using Strong-Drive SDWS Timber Screws (other connection hardware not shown for clarity)

For RAILING connection TO DECK

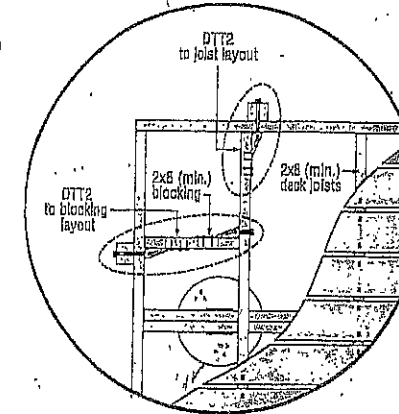
## Guard Post to Deck Framing

### Simpson Strong-Tie® Solutions

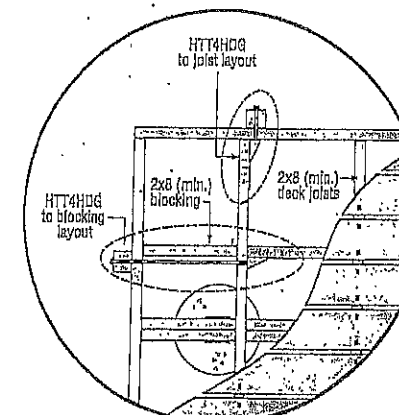
For 36"-Tall (minimum) Guard Posts



DTT2 Deck Tension Tie  
Available with ZMAX® coating or in stainless steel.



For 42"-Tall (maximum) Guard Posts



Note: The DTT2 may also be used to secure 42" guard posts with 2x10 (min.) deck joists



HTT4 HDG Tension Tie  
Available in hot-dip galvanized coating.



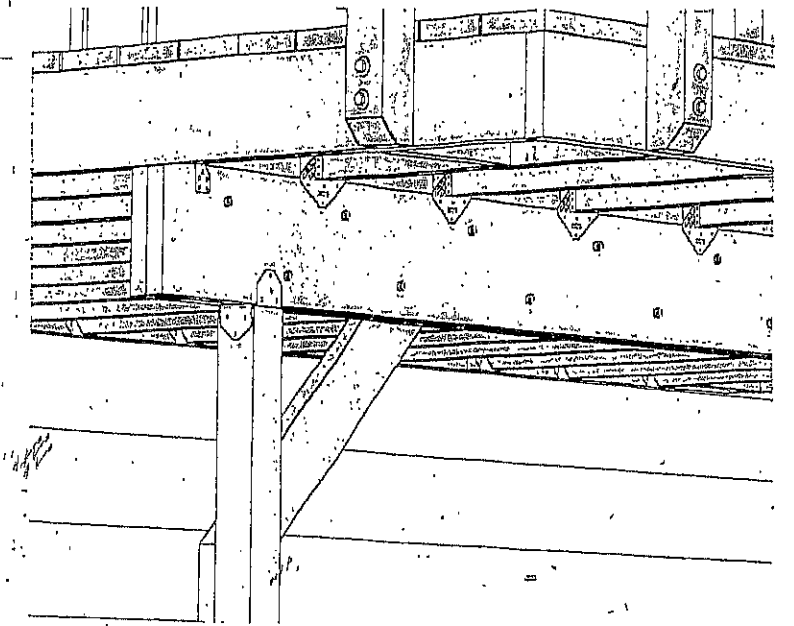
DTT2 Deck Tension Tie  
Available with ZMAX® coating or in stainless steel.

Post connection to deck

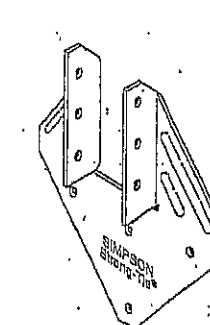
## Joists Bearing on a Beam



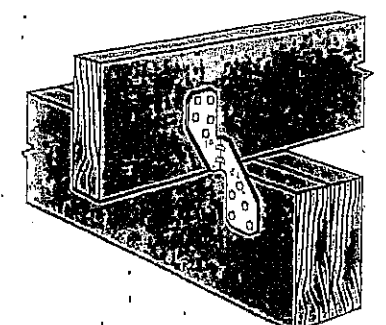
At the point where the joist bears on top of a beam, there must be a connection to resist lateral and uplift forces. Blocking or framing is also required to prevent overturning of the joists.



### Simpson Strong-Tie® Solutions



H1 Hurricane Tie  
Holds joist on both sides.  
ZMAX® coating recommended.



H2.5A Hurricane Tie  
Suitable for single-sided applications.  
ZMAX coating or stainless steel recommended.

Hurricane ties to be added

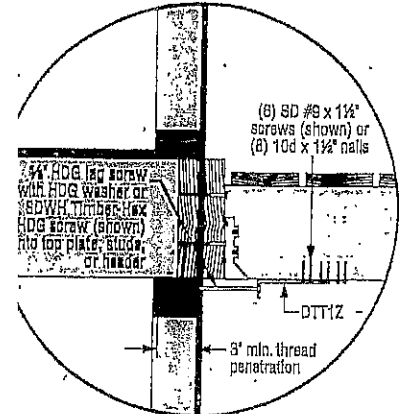
## Lateral-Load Connection

For decks that are partially supported by an adjacent structure (such as a house), the connection between the deck and that structure is vital. A bolted or screwed ledger-to-rim-board connection is suitable to support gravity loads; however, in some cases the building codes require a connection that is able to resist lateral loads. In these situations, tension ties are typically called out to tie the joists of the deck directly to the structure.

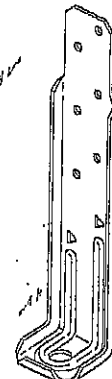
DTT deck tension ties are a safe, cost-effective solution designed to meet or exceed lateral-load code requirements for deck construction.

The DTT1Z satisfies the 2015 IRC provision for a 750 lb. lateral-load connection to the house at four locations per deck. This code detail permits the lateral connection from the deck joists to be made to top plates, studs or headers within the supporting structure.

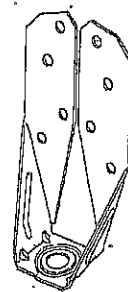
The DTT2 can be used to satisfy the 2012/2015 IRC provision for a 1,500 lb. lateral-load connection at two locations per deck.



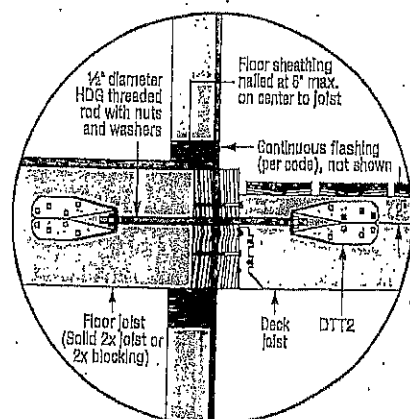
Typical DTT1Z Deck-to-House Lateral-Load Connection



DTT1Z Deck Tension Tie



DTT2 Deck Tension Tie



Typical DTT2 Deck-to-House Lateral-Load Connection

For connection to House

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