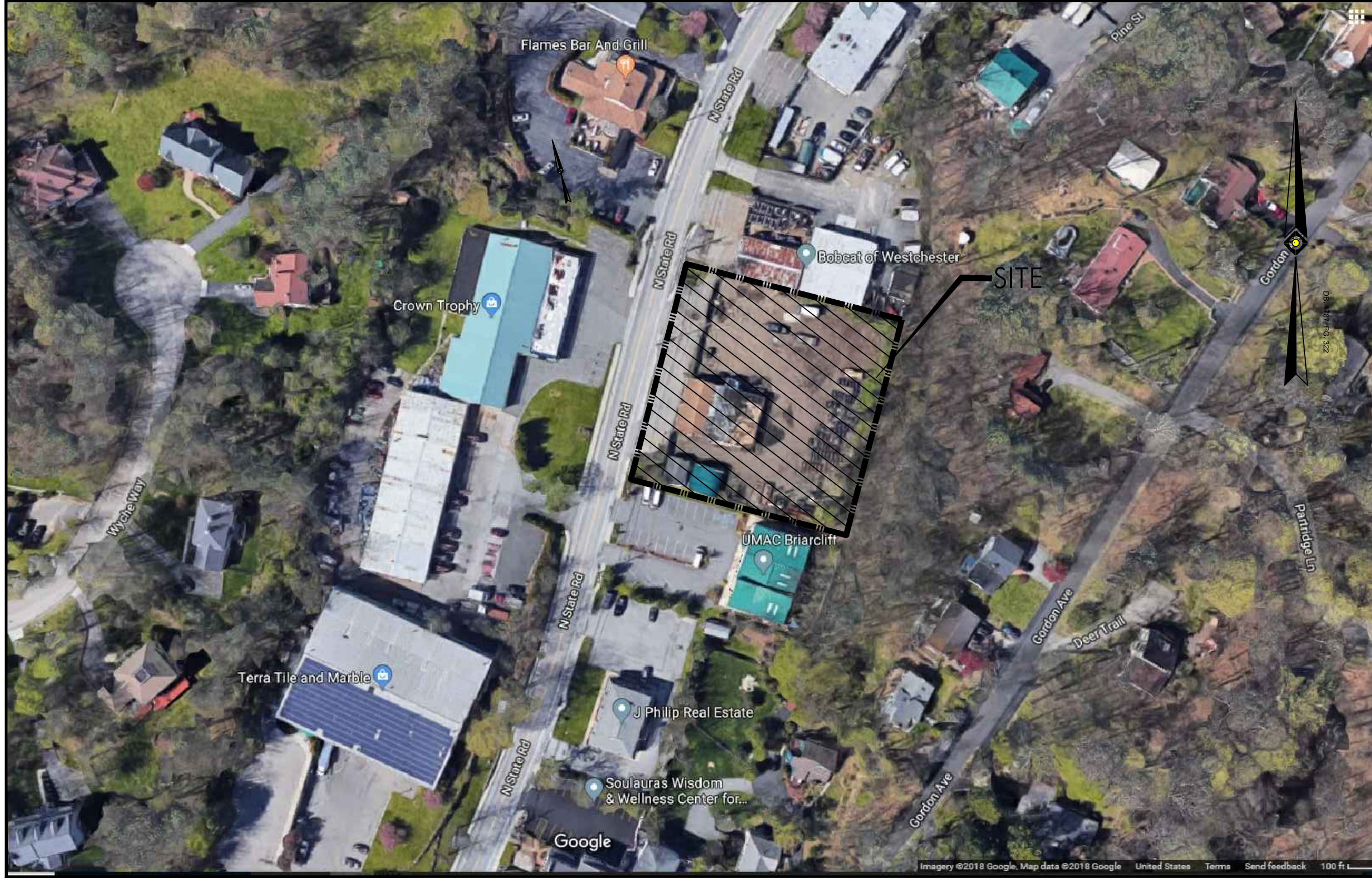


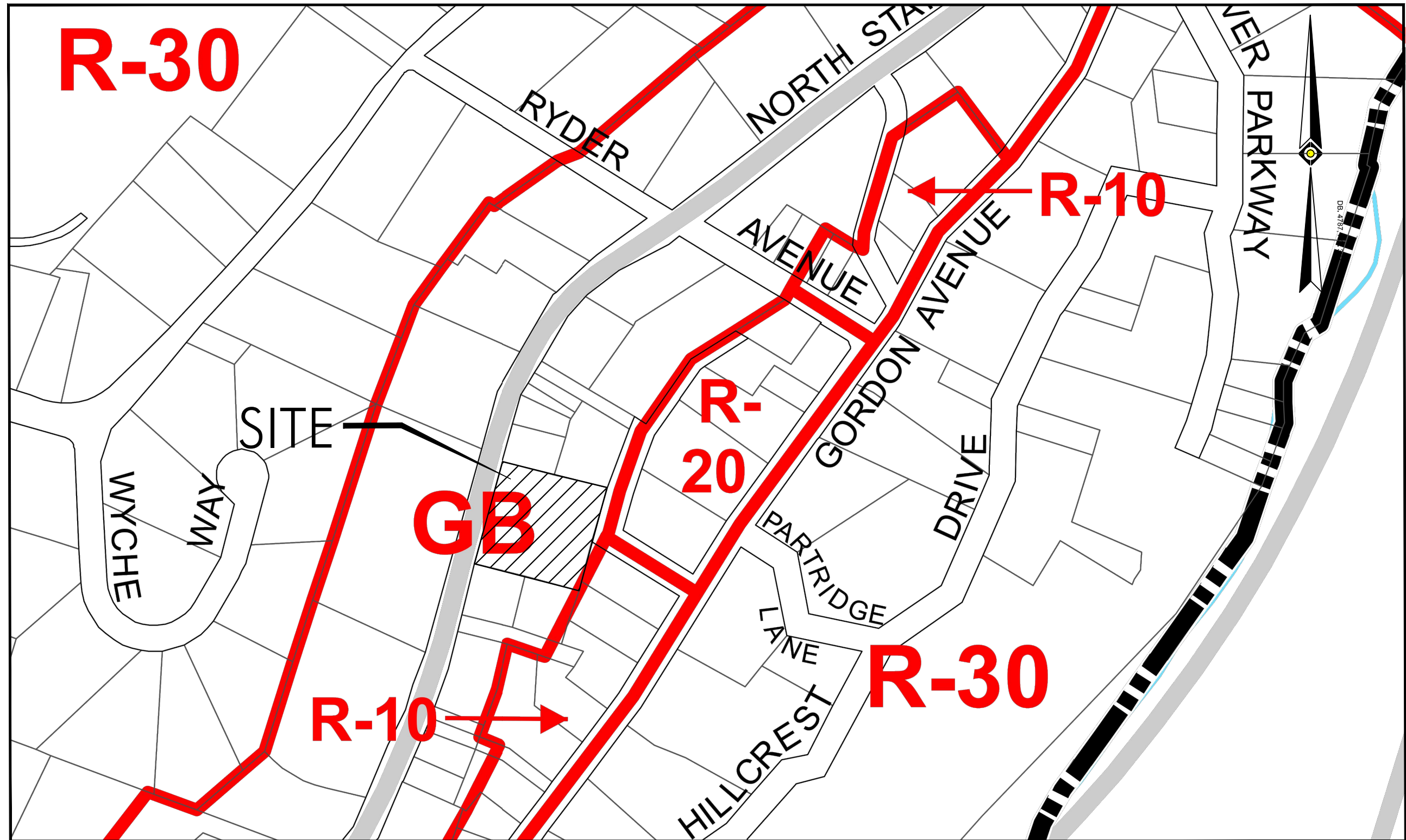
PRELIMINARY / FINAL SITE PLAN

THE LEARNING EXPERIENCE

530 NORTH STATE ROAD, TOWN OF OSSINING, BRIARCLIFF MANOR, WESTCHESTER COUNTY, STATE OF NEW YORK
SECTION 90.15, BLOCK 2, LOT 18



AERIAL MAP
SCALE : 1"=100'



ZONING MAP
SCALE : 1"=200'

ZONING SCHEDULE				
ZONE - GB - GENERAL BUSINESS				
Bulk Regulation	Units	Requirement	Existing	Proposed
Principal Permitted Uses		See Note 2	STORAGE YARD FOR CONSTRUCTION EQUIPMENT	C CHILDCARE FACILITY C
Lot Area	S.F.	20,000	43,264	C 43,264 C
Lot Width	Feet	100	208	C 208 C
Lot Depth	Feet	130	208	C 208 C
Front Yard	Feet	30	29.2	C 30.0 C
Side Yard	Feet	-	54.9	C 12.2 C
Rear Yard along any Residence District Boundary	Feet	30	110.7	C 39.7 C
Rear Yard Landscape Buffer To Residence District	Feet	20	0.0	ENC 20.0 C
Max. Building Height	Stories	2	1	C 1 C
Max. Building Height	Feet	35	< 35	C 23 C
Aggregate Floor Area on any Lot	S.F.	-	3,706	C 10,000 C
Building Coverage	%	30	8.6	C 23.1 C
Abbreviations C Conforms ENC Existing Non Conformance V Variance Required				
Notes: 1 Code based on Town of Ossining (Westchester, NY), Zoning Ordinance, 200-23, Amended 06-14-94. 2 As per Township Code, Ordinance 200-18 A: (10) permitted uses are child-care and elder-care facilities.				

PARKING PROVIDED: 35 spaces inclusive of 2 ADA accessible spaces

PER CODE SECTION 200-29: Reasonable and appropriate off-street parking requirements for structures and uses which do not fall within the categories listed shall be determined by the Planning Board upon consideration of all factors entering into the parking needs of each such use.

PROJECT CONTACTS	
APPLICANT: BRIARCLIFF MANOR PARTNERS, LLC c/o JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039	ENGINEER: RICHARD A. JARMEL, PE JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039
OWNER: NSRR REALTY, LLC c/o BOBCAT OF NEW YORK, INC. 58-64A MAURICE AVENUE MASPETH, NEW YORK 11378	ARCHITECT: MATTHEW B. JARMEL, AIA JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039
ATTORNEY: ADAM L. WEKSTEIN, ESQ HOCHERMAN TORTORELLA & WEKSTEIN, LLP ONE NORTH BROADWAY, SUITE 701 WHITE PLAINS, N.Y. 10601	

PRELIMINARY/FINAL SITE PLAN OF: "THE LEARNING EXPERIENCE"	
SECTION 90.15, BLOCK 2, LOT 18	
I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.	
(MUNICIPAL ENGINEER)	(DATE)
APPROVED BY THE PLANNING BOARD	
(CHAIRMAN)	(DATE)
(SECRETARY)	(DATE)

DRAWING INDEX				
SHEET NO.	DRAWING NO.	DRAWING NAME	DATE	LAST REV. DATE
1	C-001	COVER SHEET	4-27-18	10-26-18
2	C-100	EXISTING CONDITIONS PLAN	4-27-18	9-20-18
3	C-200	DEMOLITION PLAN	4-27-18	9-20-18
4	C-300	SITE AND UTILITIES PLAN	4-27-18	10-26-18
5	C-400	GRADING AND DRAINAGE PLAN	4-27-18	10-26-18
6	C-600	LANDSCAPING PLAN	4-27-18	10-18-18
7	C-650	LIGHTING PLAN AND DETAILS	4-27-18	10-26-18
8	C-700	SOIL EROSION AND SEDIMENT CONTROL PLAN	4-27-18	10-26-18
9	C-900	DETAIL SHEET	4-27-18	9-20-18
10	C-901	DETAIL SHEET	4-27-18	9-20-18
11	C-902	DETAIL SHEET	4-27-18	9-20-18
12	C-903	DETAIL SHEET	9-20-18	



Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE			
NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG
REVISION			
NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED DRAWING INDEX	GPG

PRINCIPALS
MATTHEW B. JARMEL, AIA, MBA
AZ UC 48159
CO UC ARC-051483
CT UC AR-0011415
DC UC ARC101849
DE UC LS-0007554
FL UC AR4034
GA UC 84011484
IA UC 05077
IL UC 00102069
IN UC AR-0209
MD UC 120162189
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

IRWIN H. KIZEL, AIA, PP
NJ UC 21400794793
NY UC 08022
PA UC 08022
TX UC 08022

RICHARD A. JARMEL, PE
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

ASSOCIATES
RONALD A. BROKENSHIRE, PE
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

DAVID L. LESSENE, RA
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

MICHAEL J. VOHLAND, RA
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

GERARD P. GESARIO, PE
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

FREDERICK KINCAID, RA
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

JEROME LESLIE EBEL, RA, PP
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

CHERYL SCHWENKER, AIA
NJ UC 08022
NY UC 08022
PA UC 08022
TX UC 08022

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name:

COVER SHEET

Drawing Number: **C-001**

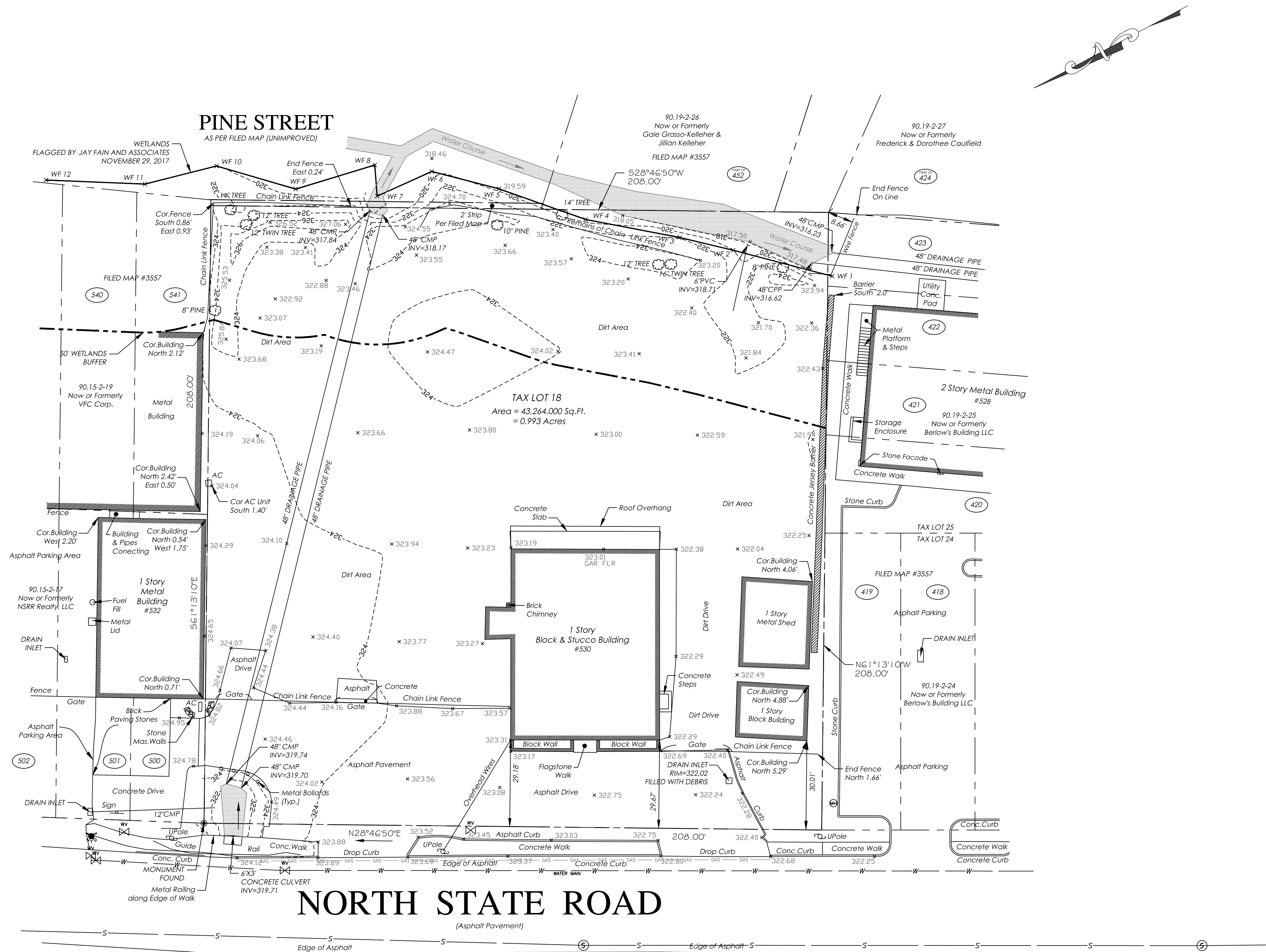
Sheet No: **1** of: **12**

Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEL
PROFESSIONAL
ENGINEER
N.Y. LIC. #073898-1

EXISTING CONDITIONS NOTE:

1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.



Jarmel Kizel

ARCHITECTS AND ENGINEERS INC.

42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	9.20.18	PER 9/5/18 PB MEETING	GPG

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA
AZ: LIC 48139
CO: LIC AKC-401483
CT: LIC 48-001415
DC: LIC AKC101849
DE: LIC 55-0007256
FL: LIC AKF4034
GA: LIC 84011484
IL: LIC 02077
IN: LIC 001020069
MA: LIC 48-0286
MD: LIC 120162
MI: LIC 120162189
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

IRWIN H. KIZEL, AIA, PE
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

RICHARD A. JARMEL, PE
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

ASSOCIATES
RONALD A. BROKENSHIRE, PE
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

DAVID L. LESSENE, RA
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

MICHAEL J. VOLAND, RA
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

GERARD P. GESARIO, PE
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

FREDERICK KINCAID, RA
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

JEROME LESLIE EBEL, PA, PE
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

CHERYL SCHWENKER, AIA
NJ: LIC 08022
NY: LIC 21A00794702
PA: LIC 3000243100
SC: LIC AK9163
TN: LIC 103859
TX: LIC 209972
VA: LIC 54021014089
WI: LIC 2453
WY: LIC 21A00794702

THE LEARNING EXPERIENCE
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155**

Scale: **1" = 20'**

Drawn By: **LB**

Approved By: **RAJ**

Drawing Name:

EXISTING CONDITIONS PLAN

Drawing Number: **C-100**

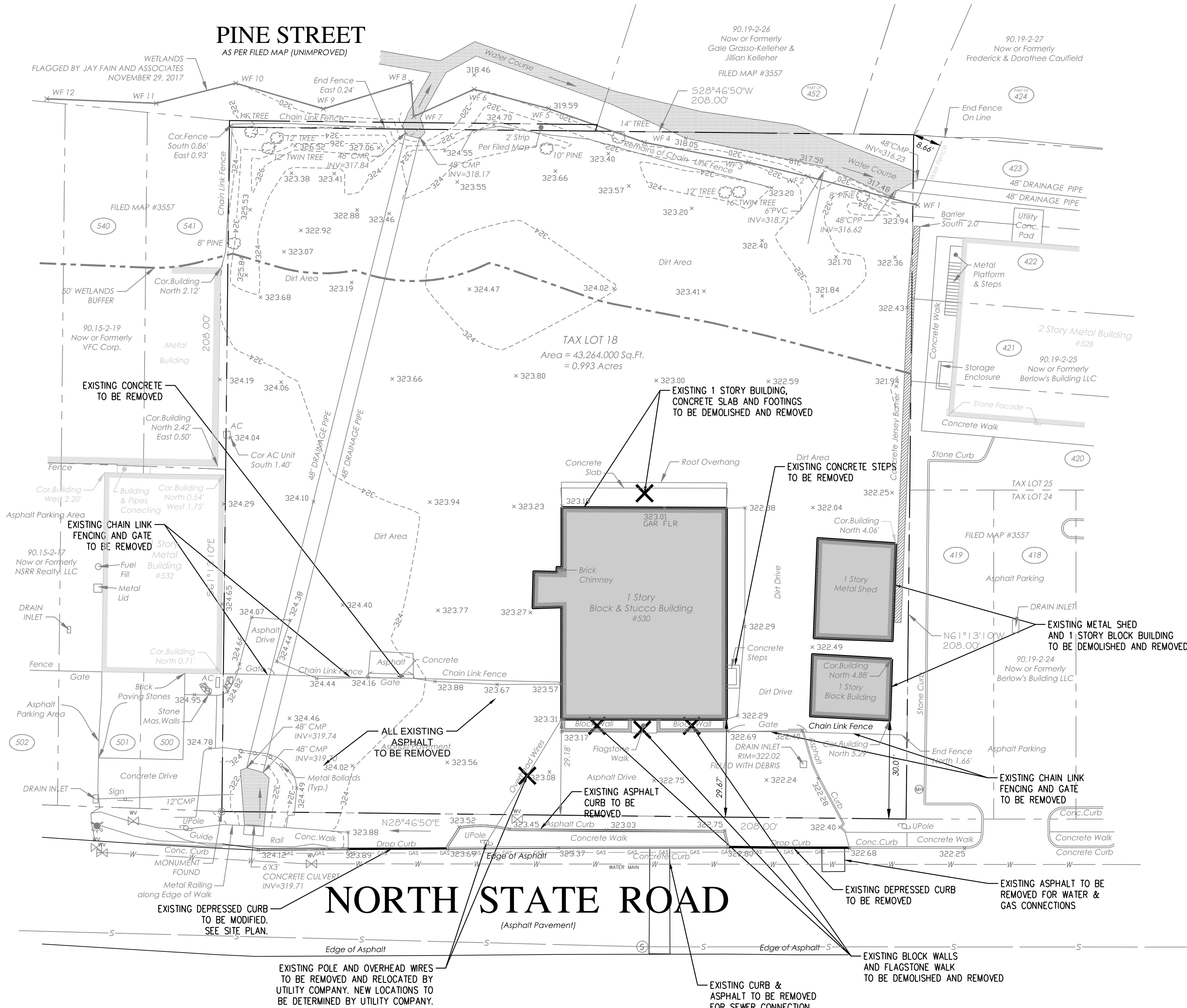
Sheet No: **2** of **12**

Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEL
PROFESSIONAL
ENGINEER
N.Y. LIC. #073898-1

DEMOLITION NOTES:

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.
- CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY ON DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC, SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY DISCONNECTS OF THE EXISTING UTILITY AND RECONNECTION SHALL BE INCLUDED.
- IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AS REQUIRED PRIOR TO DEMOLITION.
- CONTRACTOR IS DESIGNATED TO MAKE REMOVALS AND DISPOSAL OF THE MATERIALS IS HIS RESPONSIBILITY.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- THE CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRAFFIC CONTROL DEVICES REQUIRED BY THE MUNICIPALITY AND LOCAL AGENCIES.
- PULVERIZED CONCRETE OR MASONRY SHALL NOT BE USED AS BACKFILL MATERIAL.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC FROM THE CONSTRUCTION SITE ONTO OTHER SITES, ROW, PUBLIC OR PRIVATE STREET.
- CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE DEMOLITION AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, CURBING, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).



Jarmel Kizel
ARCHITECTS AND ENGINEERS, INC.

42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	9.20.18	PER 9/5/18 PB MEETING	GPG

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA
AZ: LIC 48139
CO: LIC ARC-401483
CT: LIC AR-001415
DC: LIC ARC101849
DE: LIC SS-000756
FL: LIC ARS4034
GA: LIC 80411484
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
NJ: LIC 120162189
NY: LIC 08522
PA: LIC 0007735
RI: LIC 0007735
TX: LIC 0007735
VA: LIC 0007735
WI: LIC 0007735
WY: LIC 0007735

IRWIN H. KIZEL, AIA, PE

RICHARD A. JARMEL, PE
AZ: LIC 08522
CO: LIC ARC-401483
CT: LIC AR-001415
DC: LIC ARC101849
DE: LIC SS-000756
FL: LIC ARS4034
GA: LIC 80411484
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
NJ: LIC 120162189
NY: LIC 08522
PA: LIC 0007735
RI: LIC 0007735
TX: LIC 0007735
VA: LIC 0007735
WI: LIC 0007735
WY: LIC 0007735

ASSOCIATES

RONALD A. BROKENSHIRE, PE
AZ: LIC 08522
CO: LIC ARC-401483
CT: LIC AR-001415
DC: LIC ARC101849
DE: LIC SS-000756
FL: LIC ARS4034
GA: LIC 80411484
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
NJ: LIC 120162189
NY: LIC 08522
PA: LIC 0007735
RI: LIC 0007735
TX: LIC 0007735
VA: LIC 0007735
WI: LIC 0007735
WY: LIC 0007735

NY State Board Of Engineers & Land Surveyors Authorization No. GA-278177

Project: THE LEARNING EXPERIENCE

530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: TLENY-S-17-155 Scale: 1" = 20'

Drawn By: LB Approved By: RAJ

Drawing Name:

DEMOLITION PLAN

Drawing Number: C-200

Sheet No: 3 of 12

Initial Date: APRIL 27, 2018

RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

GENERAL NOTES:

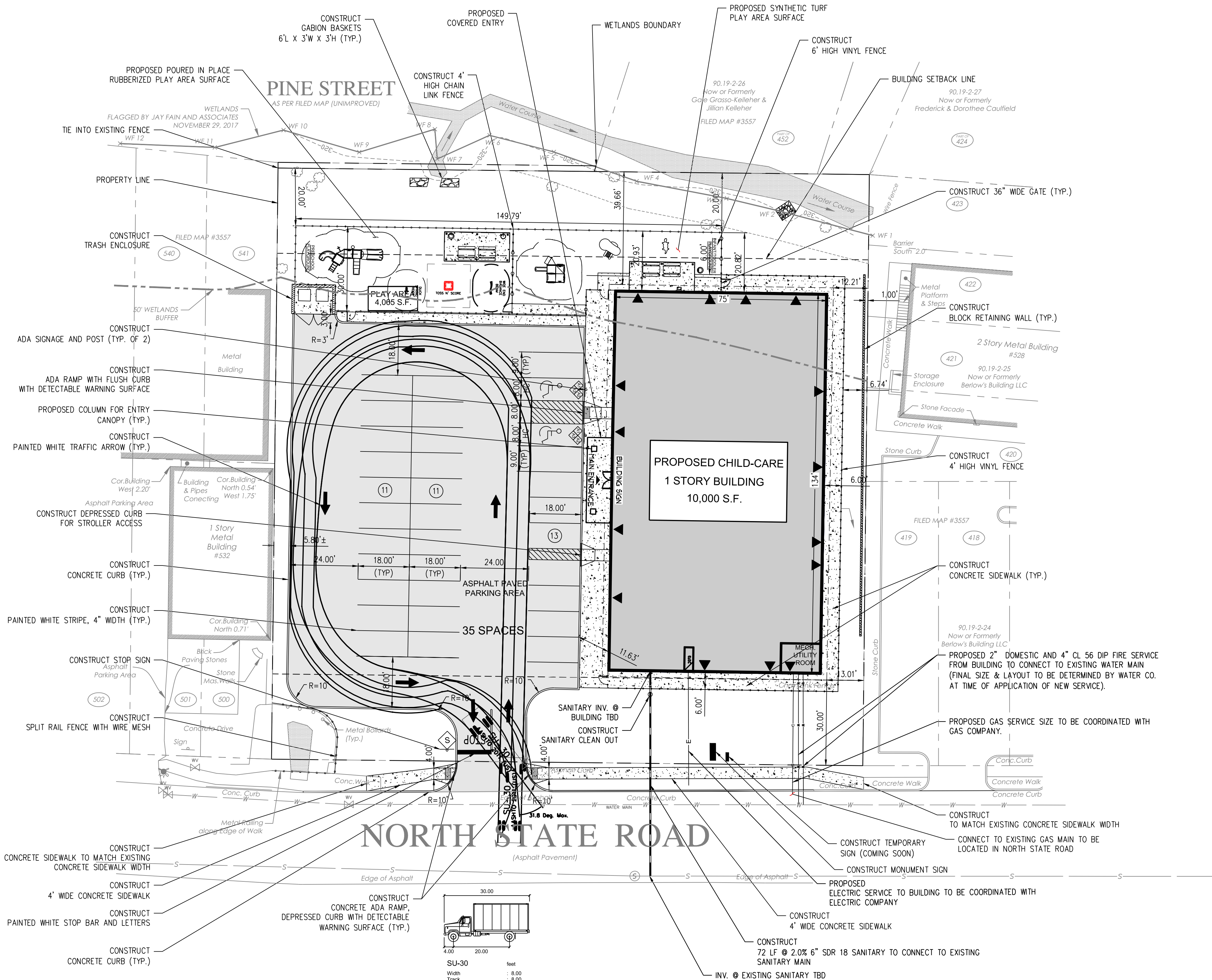
- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DOOR LOCATIONS.
- ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
- CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
- THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT NEW YORK ONE CALL NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW YORK ONE CALL INFORMATION - PHONE: 811, WEB: WWW.DIGSAFELYNEWYORK.COM
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- THE MUNICIPAL ENGINEER MUST BE NOTIFIED ONE WEEK PRIOR TO THE CONSTRUCTION OF ANY CURBING, SIDEWALKS, PAVEMENT GRADING, OR OTHER UTILITIES.
- THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
- CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NY BARRIER FREE CODE REQUIREMENTS.
- SUBJECT TO ALL APPLICABLE RULES, REGULATIONS, ORDINANCES AND STATUTES OF THE TOWN OF OSSINING, WESTCHESTER COUNTY AND STATE OF NEW YORK AND ANY OTHER JURISDICTION.
- NO DEED RESTRICTIONS OR COVENANTS EXIST ON SITE NOR ARE ANY PROPOSED.
- CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).
- ALL WORK WITHIN THE TOWNSHIP ROAD RIGHT OF WAY SHALL BE ACCORDING TO TOWN OF OSSINING STANDARDS.

LEGEND		
EXISTING		PROPOSED
PROPERTY LINE		
BUILDING LINE		
BUILDING CANOPY		
CURB LINE		
DEPRESSED CURB	N/A	
CONCRETE WALK	N/A	
SIGN		
FENCE		

SIGN LEGEND AND DETAILS			
SYMBOL	QUAN.	USDOT F&H DESIGNATION	SIGN DETAIL
	1	R1-1	
	2	R7-5	
	2	R7-8b	
	2	R7-8B	
	1	R5-1 (30x30)	

SIGN NOTES:

- ALL SIGNS SHALL CONFORM TO THE MANUAL ON TRAFFIC CONTROL DEVICES.
- SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.
- REFER TO MOUNTING DETAILS FOR HEIGHTS. ALL SIGNS SHALL BE MEASURED FROM PAVEMENT OR GROUND TO BOTTOM OF SIGN.



Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED PLAY AREA & TURNING TEMPLATE	GPG

PRINCIPALS
MATTHEW B. JARREL, AIA, MBA
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

IRWIN H. KIZEL, AIA, PE
RICHARD A. JARREL, PE
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

ASSOCIATES
RONALD A. BROKENSHIRE, PE
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

DAVID L. LESSENE, RA
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

MICHAEL J. VOGLAND, RA
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

GERARD P. GESARIO, PE
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

FREDERICK KINCAID, RA
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

JEROME LESLIE EBEL, PAIA, PP
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

CHERYL SCHWENKER, AIA
AZ: LIC 48139
CO: LIC ARK-401483
CT: LIC AR-0011415
DC: LIC ARK101849
DE: LIC 15-0007256
FL: LIC AR94034
GA: LIC 94011484
IA: LIC 05077
IL: LIC 001020069
IN: LIC AR-0026
MD: LIC 120162189
MI: LIC 05022
NJ: LIC A000794700
NY: LIC 37491
PA: LIC 014862
RI: LIC 0000000
TX: LIC 123822

NJ State Board of Architects Registration No. 161
NJ State Board of Engineers & Land Surveyors Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No:	Scale:
TLENY-S-17-155	1" = 20'
Drawn By:	Approved By:
LB	RAJ
Drawing Name:	

SITE AND UTILITIES PLAN

Drawing Number: **C-300**

Sheet No: **4** of: **12**

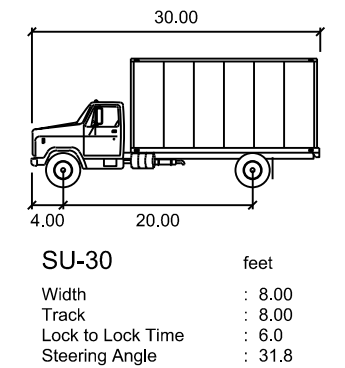
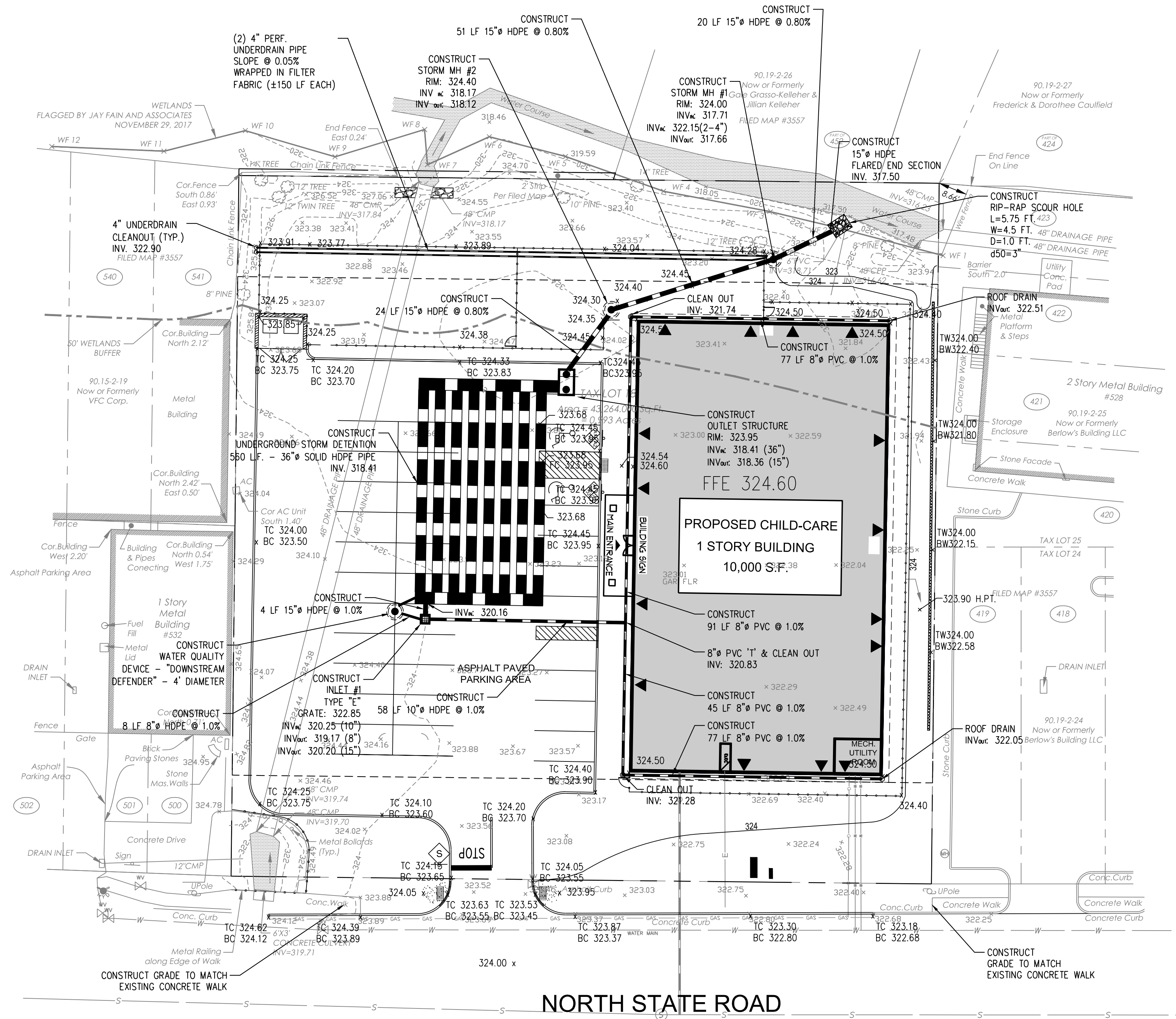
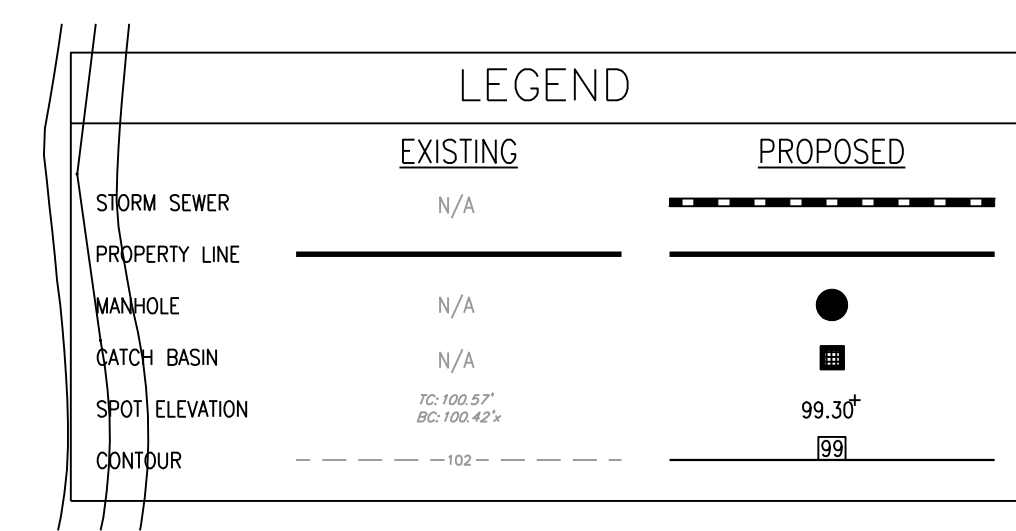
Initial Date: **APRIL 27, 2018**

RICHARD A. JARREL
PROFESSIONAL
ENGINEER
N.Y. LIC. #073898-1

GRADING AND DRAINAGE PLAN NOTES

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON SURVEY AND, WHERE POSSIBLE MEASUREMENTS SHOULD BE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- EXCAVATED MATERIAL CONTAINING ROCK OR STONE GREATER THAN SIX (6) INCHES IN LARGEST DIMENSION IS UNACCEPTABLE AS FILL TO WITHIN THE PROPOSED BUILDING AND PAVING AREA.
- ROCK OR STONE LESS THAN SIX (6) INCHES IN LARGEST DIMENSION IS ACCEPTABLE AS FILL TO WITHIN TWENTY-FOUR (24) INCHES OF SURFACE OF PROPOSED SURGED WHEN MIXED WITH SUITABLE MATERIAL AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- ROCK OR STONE LESS THAN TWO (2) INCHES IN LARGEST DIMENSION AND MIXED WITH SUITABLE MATERIAL IS ACCEPTABLE AS FILL WITHIN THE UPPER TWENTY-FOUR (24) INCH OF PROPOSED SUBGRADE AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- ALL SITEWORK AND EARTHWORK OPERATIONS CONDUCTED ON THE SITE TO BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE:

FILL AREA	STANDARD PROCTOR DRY DENSITY
SIDEWALKS	95%
PAVEMENTS AND ROADWAYS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
- PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS-SECTION.
- GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS OR CONTOURS ARE INDICATED ON DRAWINGS, OTHER THAN PAVED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISH DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
- ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE 4000 PSI.
- REPRESENTATIVES OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT THE DRAINAGE FACILITIES LOCATED ON THE PROPOSED LOT FROM TIME TO TIME AS DEEMED NECESSARY.
- CATCH BASINS SHALL BE CLEANED OUT PERIODICALLY TO PREVENT THE BUILDUP OF SEDIMENT AND DEBRIS IN STRUCTURES.
- ROOF LEADER CLEANOUTS LOCATED IN GRASSED AREAS SHALL BE PLASTIC SCREW CAPS WHILE ROOF LEADER CLEANOUTS LOCATED WITHIN CONCRETE AREAS SHALL BE FLUSH BRASS CAPS.



Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE				
NO.	DATE	DESCRIPTION	INT.	
1.	5.23.18	INITIAL SUBMISSION	GPG	
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG	
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG	
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG	
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG	

REVISION				
NO.	DATE	DESCRIPTION	INT.	
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB	
2	9.20.18	PER 9/15/18 PB MEETING	GPG	
3	10.26.18	REVISED PLAY AREA	GPG	

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA AZ: LIC 48159 CO: LIC ARK-401483 CT: LIC AR-0011415 DC: LIC ARK101849 DE: LIC 15-0007556 FL: LIC ARS4034 GA: LIC 1441484 IA: LIC 05577 IL: LIC 001 000069 IN: LIC AR-00286 MD: LIC 150162189 MI: LIC 05822 NJ: LIC AR-12787 NC: LIC 46404 NE: LIC 10120 NH: LIC 3501 NY: LIC 024673 OH: LIC A-P-12444 PA: LIC RA-14851.8 RI: LIC AR-0004765 SC: LIC AR-9163 TN: LIC 103850 TX: LIC 209972 VA: LIC 0421 014089 VT: LIC 2452 WY: LIC 21A00774700 NY: LIC 33806243100	
IRWIN H. KIZEL, AIA, PP RI: LIC 05822 NJ: LIC 21A00774700 NY: LIC 33806243100	
ASSOCIATES	
RONALD A. BROOKSHIRE, PE NJ: LIC CE45511 PA: LIC PE88817 NY: LIC AR 13231 VA: LIC 314201 PA: LIC RA-305081 NY: LIC 034993 NJ: LIC CE932555 NY: LIC 21A1018294 NJ: LIC AR-86883 NY: LIC 019151 NJ: LIC 21A00269000 PA: LIC RA407927	
DAVID L. LESSENE, RA NJ: LIC 21A0011748 VA: LIC 314201 PA: LIC RA-305081 NY: LIC 034993 NJ: LIC CE932555 NY: LIC 21A1018294 NJ: LIC AR-86883 NY: LIC 019151 NJ: LIC 21A00269000 PA: LIC RA407927	
MICHAEL J. VOLAND, RA NJ: LIC 21A0011748 VA: LIC 314201 PA: LIC RA-305081 NY: LIC 034993 NJ: LIC CE932555 NY: LIC 21A1018294 NJ: LIC AR-86883 NY: LIC 019151 NJ: LIC 21A00269000 PA: LIC RA407927	
GERARD P. GESARIO, PE NJ: LIC CE45511 PA: LIC PE88817 NY: LIC AR 13231 VA: LIC 314201 PA: LIC RA-305081 NY: LIC 034993 NJ: LIC CE932555 NY: LIC 21A1018294 NJ: LIC AR-86883 NY: LIC 019151 NJ: LIC 21A00269000 PA: LIC RA407927	
FREDERICK KINCAID, RA NJ: LIC 21A0011748 VA: LIC 314201 PA: LIC RA-305081 NY: LIC 034993 NJ: LIC CE932555 NY: LIC 21A1018294 NJ: LIC AR-86883 NY: LIC 019151 NJ: LIC 21A00269000 PA: LIC RA407927	
JEROME LESLIE EBEL, PA, PP NJ: LIC 21A0011748 VA: LIC 314201 PA: LIC RA-305081 NY: LIC 034993 NJ: LIC CE932555 NY: LIC 21A1018294 NJ: LIC AR-86883 NY: LIC 019151 NJ: LIC 21A00269000 PA: LIC RA407927	
CHERYL SCHWENKER, AIA NJ: LIC 21A0011748 VA: LIC 314201 PA: LIC RA-305081 NY: LIC 034993 NJ: LIC CE932555 NY: LIC 21A1018294 NJ: LIC AR-86883 NY: LIC 019151 NJ: LIC 21A00269000 PA: LIC RA407927	

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name:

GRADING AND DRAINAGE PLAN

Drawing Number: **C-400**

Sheet No: **5** of: **12**

Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

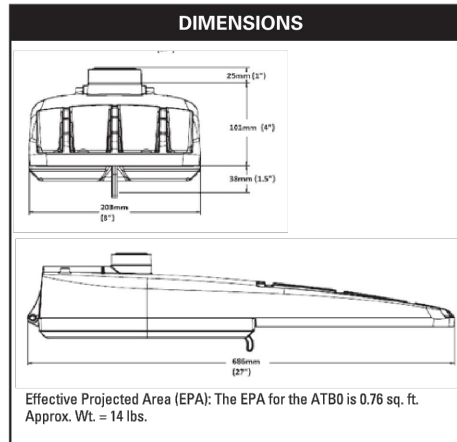


Autobahn Series ATB0 Roadway Lighting



Applications:

Roadways
Off ramps
Residential streets
Parking lots



Note: Specifications subject to change without notice. Actual performance may differ as a result of end-user environment and application.
© 2014-2016 Acuity Brands Lighting, Inc. 06/01/16

Features:

OPTICAL

Same Light Performance is comparable to 70-200W HPS roadway luminaires.
White Light: Correlated color temperature - 4000K, 70 CRI minimum, 3000K, 70 CRI minimum or optional 5000K, 70 CRI minimum.
Unique IP68 rated LED light engines provide 9% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type I, II, III, IV, and V roadway distributions.

ELECTRICAL

Expected Life: LED light engines are rated >100,000 hours at 25°C, L70.
Electronic driver has an expected life of 100,000 hours at a 25°C ambient.
Lower Energy: Saves an expected of 40-60% over comparable HID luminaires.
Robust Surge Protection: Three different surge protection options provide a minimum of IEEE/ANSI C82.41 Category C (10kV/5kA) protection. 20kV/10kA protection is also available.

MECHANICAL

Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easy leveling at installation.
Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 1000 hours exposure to salt fog chamber (operated per ASTM B117). Optional Enhanced Corrosion Resistant finish (CR) increases the salt spray exposure per 500 hours.
Mount are mount is adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Provides a 3G vibration rating per ANSI C136.31.
Wildlife shield is cast into the housing (not a separate piece).

CONTROLS

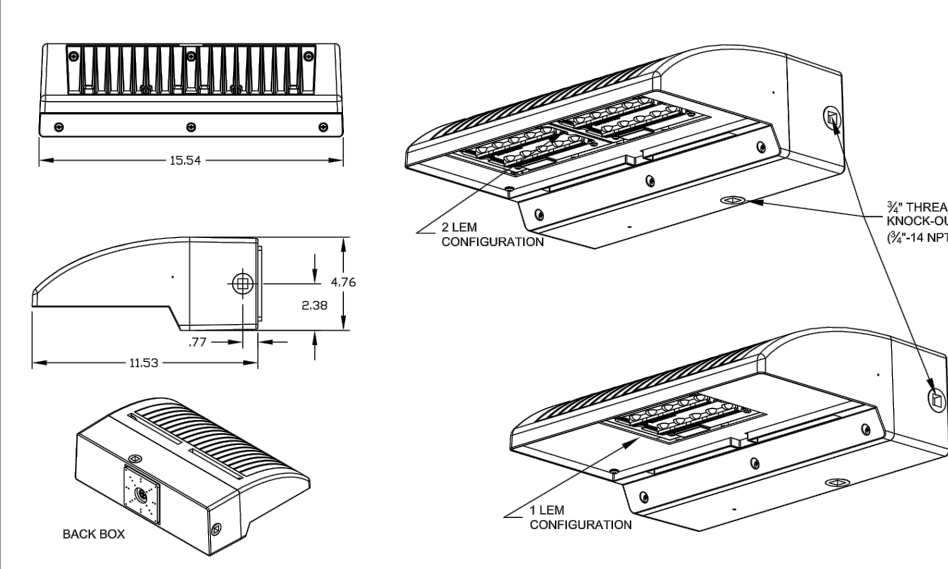
NEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 5 pin and 7 pin receptacles optionally available.
Premium solid state locking style photocontrol - PCSS (10 year rated life)
Extreme long life solid state locking style photocontrol - PCLL (20 year rated life)
Multi-level dimming available to provide scheduled dimming as specified by the customer.
Optional onboard Adjustable Output module allows the light output and input voltage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.

STANDARDS

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLP to confirm which versions are available.
Rated for -40°C to 40°C ambient
CSA Certified to U.S. and Canadian standards
Complies with ANSI: C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

AEL American Electric Lighting

DIMENSIONS



Options Location

Motion / Ambient Sensor for Low (8-15') MASL and Height (15-30') MASH Mounting Options

N.E.M.A. Twistlock Receptacle - P3 and P7 Options, P7 shown

MASL or MASH

P3 or P7

Integral Emergency Battery (EM Option) Test Button

Emergency Test Button

Button Style Photocontrol - PE Option

Button Style Photocontrol

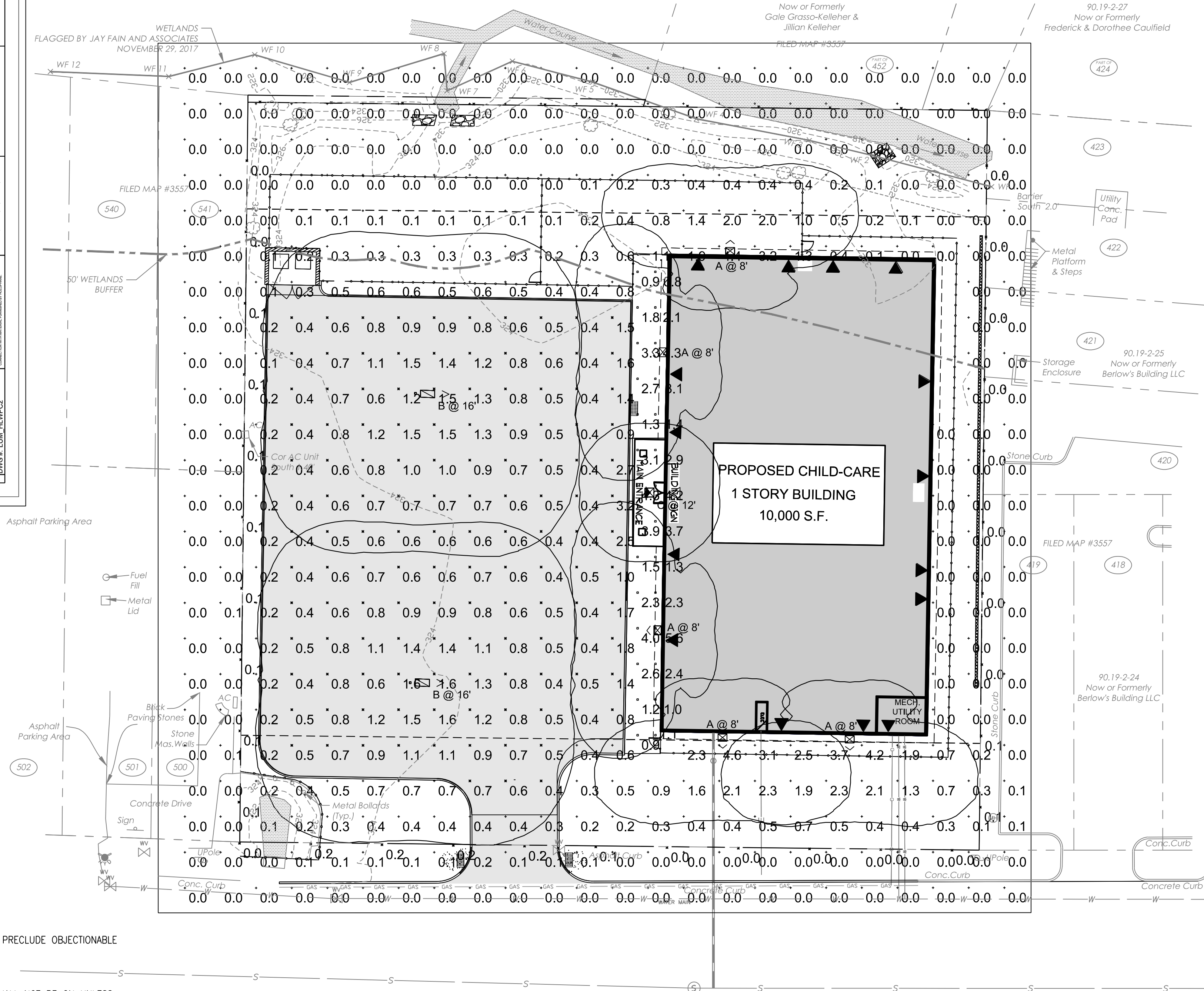
Index

Page 1 Line Art: Dimensions and Option Location
Page 2 Ordering Information
Page 3 Lumen Performance Data
Page 4 Options Matrix
Driver Configuration Based on Circuit Option
SPD Based on Circuit Option
Page 5 Line Lumen Maintenance
Ambient Temperature Multiplier
Electrical Load
Product Specifications

WALLPACK®
FULL CUTOFF LED
INFRASTRUCTURE
OUTDOOR

HOLOPHANE®
An Acuity Brands Company

Model #
Type
Date
Drawn
Checked
Reviewed
Approved
Project #



An Acuity Brands Company

Catalog Number

Notes

Type

Parkpak® LED

FEATURES & SPECIFICATIONS

Mechanical Specifications

- Heavy grade A80 cast aluminum or equivalent coated with a regenerative pre-treatment, epoxy basecoat and polyester topcoat yield a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 1000 hours exposure to salt fog chamber (operated per ASTM B117).
- Mount to a standard junction box.
- Provide a seal kit for pendant mount applications that is secured to a 4 inch square electrical box.
- Web location listed.
- IP68 rating.
- 3/4" threaded plug (1/4" - 14 NPT) on each side, secures 1/2" and 1/2" conduct.
- Vibration rating for surface mount: 1g.
- Vibration rating for pendant mount: 3g @ 15 feet, excludes seal kit.
- Pendant mount 1/2" - 14 NPT in center of housing.
- Bird shield.

Electrical Specifications

- Electrical harness for quick and safe disconnect / connect of power and options.
- Certified drivers, UL or CSA.
- Rated for -40°C / 40°F minimum ambient.
- Programmable electronic driver with 0-10V control loads.
- Available in: 120-277V 50/60 Hz and 347-480V 50/60 Hz.
- Standard LEDs shall have a minimum of 70 CRI available in 3000K, 4000K and 5000K CCT.
- Optional LEDs shall have a minimum of 80 CRI available in 3000K, 4000K and 5000K CCT (8 week lead-time).
- Internal mounted emergency battery backup for operation in an ambient temperature range from -20°C / -4°F to 30°C / 86°F for P10 thru P40 performance packages, per CCC compliance.
- The electrical system shall be designed to meet ANULVET C32.4.2.3 and shall offer a 100V/5kVA SPD.

Optical Specifications

- The light engine shall be IP68.
- The optical U.S. distribution options must include:
 - Type V (V entry), M (medium), R (rectangular) & W (wide).

Optic Material Options

- Scratch-resistant glass lens (GL).
- Polycarbonate lens (PY).
- A clear light option (FC).

Control Options

- Field adjustable output.
- Button style photocontrol.
- Xtreme™ Wireless control.
- Motion Sensor / Ambient Photocontrol with mounting options ranging from (8-15') and (15-30').

Certification and Standards

- Table 24 compliance options available.
- Luminaire shall be CSA listed, UL and Canada.
- Suitable for operation in an ambient temperature up to 40°C / 104°F for standard product.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DLP to confirm which versions are qualified.
- UL79 compliant.
- The projected LED Lumen Maintenance shall be based only on IES LM-80-08 and TM-21.

Warranty - 5 Years Limited

Complete warranty terms located at: www.acuitybrands.com/CustomerResources/terms_and_conditions.aspx

DIMENSIONAL DATA

Holophane / 3805 Columbus Rd., Granville, OH 43027 / Phone: 866.HOLOPHANE / www.holophane.com

©2014-2017 Acuity Brands Lighting, Inc. All rights reserved. Rev. 04/05/2018. Specifications are subject to change without notice.

Spec sheet: LUM_PPSQL2.pdf

Page 1 of 7

NOTES:

- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN.
- THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK UNTIL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED.
- THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3,000 DEGREES KELVIN.

Luminaire Locations		Location					
No.	Label	X	Y	Z	MH	Orientation	Tilt
10	A	135.91	30.90	8.00	8.00	180.00	0.00
11	A	171.54	30.40	8.00	8.00	180.00	0.00
12	A	138.06	165.42	8.00	8.00	0.00	0.00
13	A	118.69	59.95	8.00	8.00	270.00	0.00
14	A	120.04	138.02	8.00	8.00	270.00	0.00
17	C	115.39	98.61	12.00	12.00	0.00	0.00
18	B	48.14	45.33	16.00	16.00	91.00	0.00
19	B	49.63	126.39	16.00	16.00	91.12	0.00

1. Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).

2. Please refer to the "luminaire locations" for mounting heights.

3. Product information can be obtained at www.holophane.com or through your local agency.

Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
		A	5	Holophane	HLWPC2 P10 30K XX T3M	Wallpack Full Cutoff LED, LED Performance Package P10, 3000 series CCT, Voltage, Type III Medium	LED	1	HLWPC2_P10_30K_XX_T3M.ies	2800	0.92	28
		B	2	American Electric Lighting	ATB0 10BLEDE15 XXXXX R5 3K	ATB0 SERIES LED 1500MA TYPE 5 3000K CCT	LED Array	1	ATB0_10BLEDE15_XXXXX_R5_3K.ies	5551	0.97	54
		C	1	Holophane	PPSQL2 P10 30K XX FC T5E	Holophane ParkPak Square LED, LED Performance Package P10, 25W, 3000K CCT, Voltage, Zero uplight, Type V, Entryway	LED	1	PPSQL2_P10_30K_XX_FC_T5E.ies	2928	0.93	25

Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
Approximate Property Line		0.0 fc	0.2 fc	0.0 fc	N/A
Parking Lot		0.8 fc	3.2 fc	0.4 fc	8.0:1
Sidewalk		2.5 fc	5.6 fc	0.8 fc	7.0:1
SPLIT LIGHT SUMMARY		0.4 fc	4.6 fc	0.0 fc	N/A

Jarmel Kizel

ARCHITECTS AND ENGINEERS INC.

42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED PLAY AREA	GPG

PRINCIPALS

MATTHEW W. JARMEL, AIA, MBA
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

IRWIN H. KIZEL, AIA, PE
RI: LIC 00007735
FL: LIC 70314
MD: LIC 120162189
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

RICHARD A. JARMEL, PE
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

ASSOCIATES

RONALD A. BROKENSHIRE, PE
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

DAVID L. LESSENE, RA
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

MICHAEL J. VOLAND, AIA
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

GERARD P. GESARIO, PE
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

FREDERICK KINCAID, RA
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

JEROME LESLIE EBEL, PA, PE
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

CHERYL SCHWENKER, AIA
AZ: LIC 48159
CO: LIC AKC-401483
CT: LIC AB-001415
DC: LIC AKC101849
DE: LIC 15-000756
FL: LIC AR4034
GA: LIC 84011464
IA: LIC 05077
IL: LIC 001020069
IN: LIC AB-0286
MD: LIC 120162189
MI: LIC 08022
NJ: LIC 21A0074700
NY: LIC 074862
PA: LIC PE070600
TX: LIC 123822

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **1" = 20'**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name:

LIGHTING PLAN

Drawing Number:

Sheet No: of:

7 12

Initial Date:

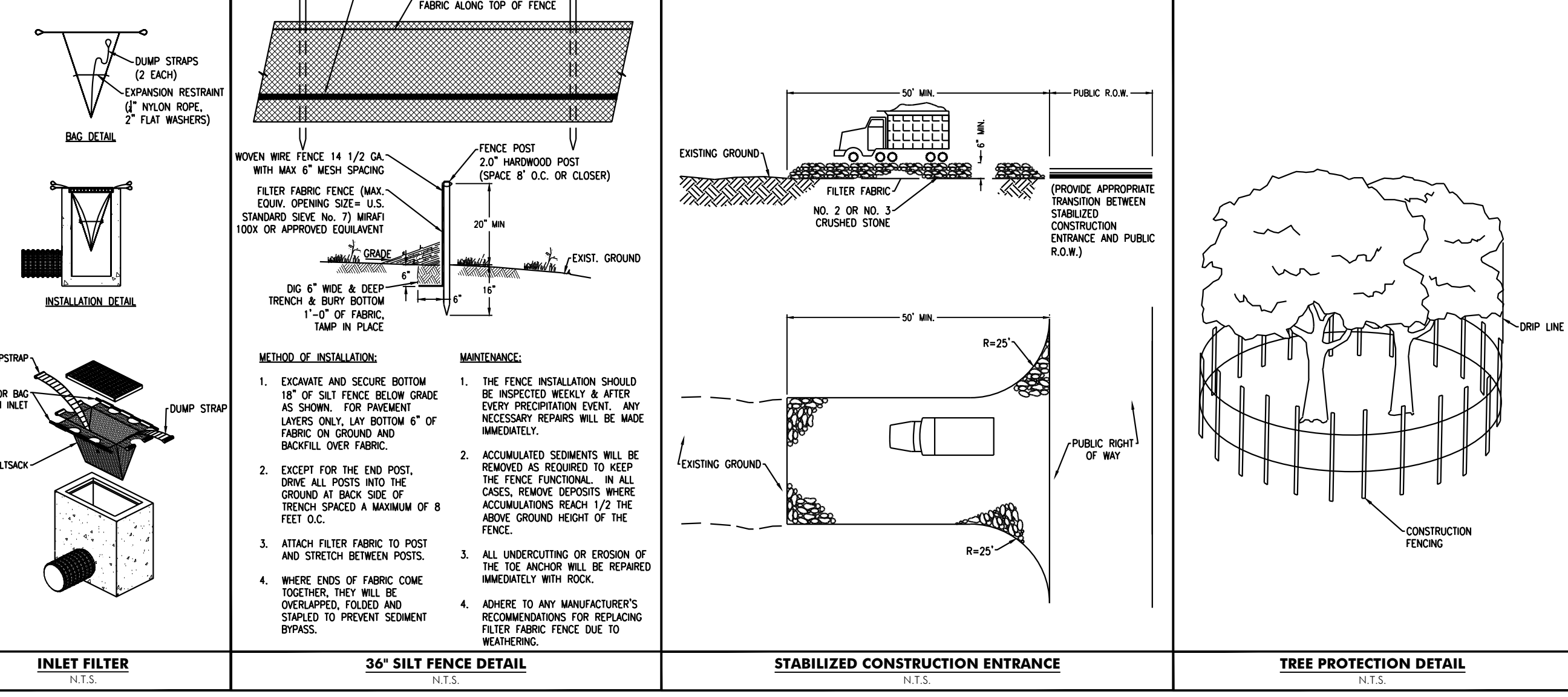
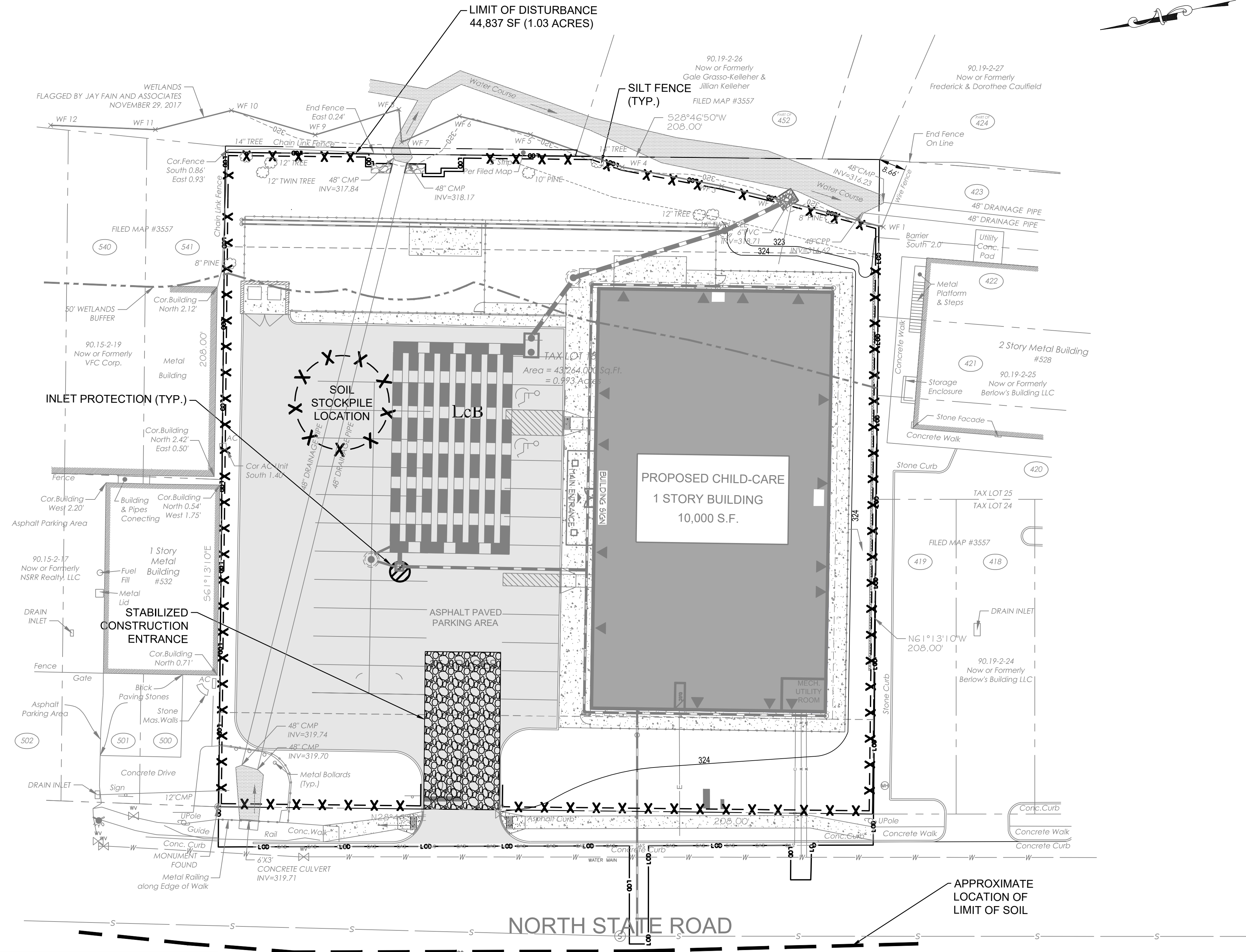
APRIL 27, 2018

C-650

RICHARD A. JARMEL
PROFESSIONAL
ENGINEER
N.Y. LIC. #073898-1

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NY STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL WORK WITHIN COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH NASSAU COUNTY RULES AND REGULATIONS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION OF PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.



SEQUENCE OF CONSTRUCTION:

ITEM	DURATION
1. INSTALL SOIL EROSION MEASURES	2
2. DEMO SITE	7
3. GRADE SITE FOR BUILDING AND PAVEMENT	5
4. CONSTRUCT BUILDING AND PLAY AREA	200
5. CONSTRUCT STORM SYSTEM	15
6. CONNECT UTILITIES	5
7. INSTALL NEW CURB	5
8. POUR NEW WALKWAYS	5
9. PAVE DRIVEWAYS & LINESIPING	10
10. PLANT NEW VEGETATION	5
11. REMOVE SOIL EROSION MEASURES	1
TOTAL:	260 DAYS

LEGEND

PROPERTY LINE	---
CONSTRUCTION ENTRANCE	---
SILT FENCE	X - X
LIMIT OF DISTURBANCE	---
SOIL TYPE	L&B: LEICESTER LOAM, 3% TO 8% SLOPES, C/C: CHARLTON-CHATELAIN COMPLEX, 0% TO 15% SLOPES, VERY ROCKY



Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED PLAY AREA	GPG

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA
NJ LIC 48139
NY LIC 48139
CT LIC 48139
DC LIC 48139
DE LIC 48139
FL LIC 48139
GA LIC 48139
IL LIC 48139
IN LIC 48139
MD LIC 48139
MA LIC 48139
MI LIC 48139
MN LIC 48139
MO LIC 48139
NC LIC 48139
ND LIC 48139
OH LIC 48139
OK LIC 48139
OR LIC 48139
PA LIC 48139
RI LIC 48139
SC LIC 48139
SD LIC 48139
TN LIC 48139
TX LIC 48139
VA LIC 48139
VT LIC 48139
WA LIC 48139
WI LIC 48139
WY LIC 48139

IRWIN H. KIZEL, AIA, PE

STONY
NJ LIC 37491
NY LIC 37491
CT LIC 37491
DC LIC 37491
DE LIC 37491
FL LIC 37491
GA LIC 37491
IL LIC 37491
IN LIC 37491
MD LIC 37491
MA LIC 37491
MI LIC 37491
MN LIC 37491
MO LIC 37491
NC LIC 37491
ND LIC 37491
OH LIC 37491
OK LIC 37491
OR LIC 37491
PA LIC 37491
RI LIC 37491
SC LIC 37491
SD LIC 37491
TN LIC 37491
TX LIC 37491
VA LIC 37491
VT LIC 37491
WA LIC 37491
WI LIC 37491
WY LIC 37491

ASSOCIATES

RONALD A. BROKENSHIRE, PE
NJ LIC 37491
NY LIC 37491
CT LIC 37491
DC LIC 37491
DE LIC 37491
FL LIC 37491
GA LIC 37491
IL LIC 37491
IN LIC 37491
MD LIC 37491
MA LIC 37491
MI LIC 37491
MN LIC 37491
MO LIC 37491
NC LIC 37491
ND LIC 37491
OH LIC 37491
OK LIC 37491
OR LIC 37491
PA LIC 37491
RI LIC 37491
SC LIC 37491
SD LIC 37491
TN LIC 37491
TX LIC 37491
VA LIC 37491
VT LIC 37491
WA LIC 37491
WI LIC 37491
WY LIC 37491

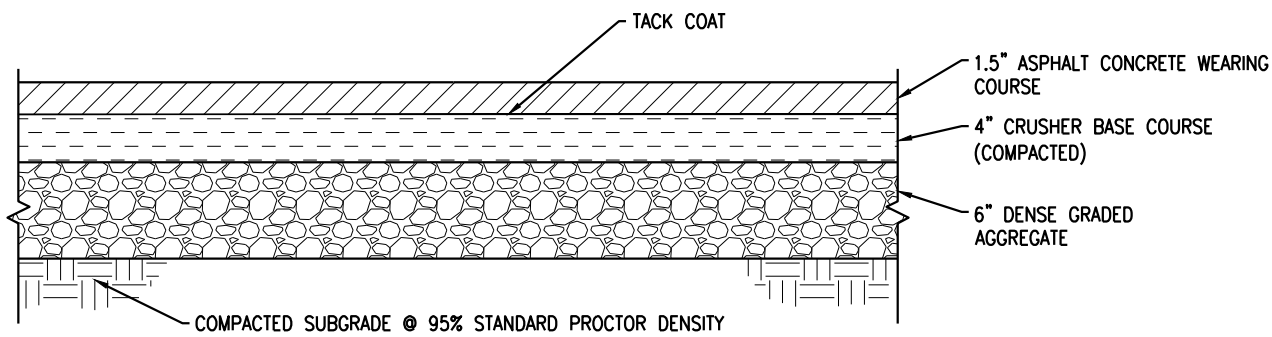
NJ State Board Of Architects Registration No. 161
NJ State Board Of Engineers & Land Surveyors Registration No. GA-278177

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No:	Scale:
TLENY-S-17-155	1" = 20'
Drawn By:	Approved By:
LB	RAJ
Drawing Name:	

SOIL EROSION AND SEDIMENT CONTROL PLAN

Drawing Number: **C-700**
Sheet No. of: **8 12**
Initial Date: **APRIL 27, 2018**
Signature: *Richard A. Jarmel*
RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

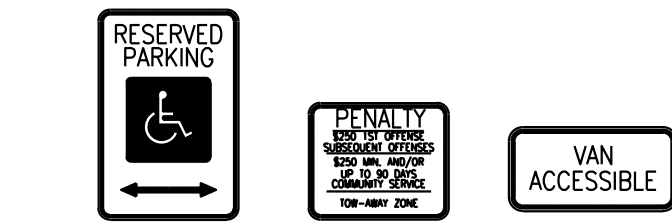


NOTES:

1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
3. THE 4 INCHES OF CRUSHER BASE COURSE SHALL CONSIST OF FINE PARTICLES SMALLER THAN 1" SIZE PRODUCED AT THE CRUSHING PLANT FROM CRUSHED TYP ROCK OR DOLOMITE. RUN OF CRUSHER SHALL MEET THE REQUIREMENTS OF THE GENERAL SPECIFICATIONS, NON-METALLIC MATERIALS.
4. THE 1 1/2 INCHES OF ASPHALT CONCRETE WEARING COURSE SHALL CONSIST OF ASPHALT CONCRETE TYPE 1 AC.

ASPHALT PAVEMENT SECTION

N.T.S.

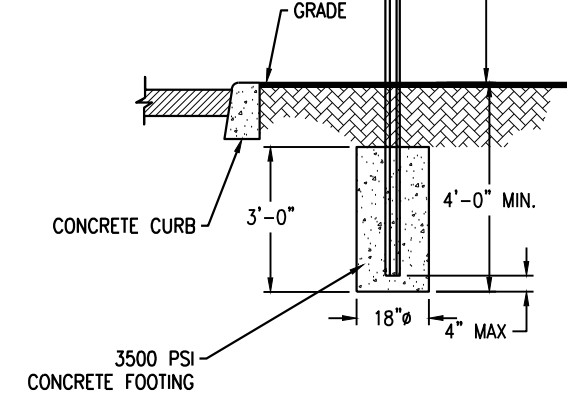


NOTES:

1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR SECTION AS STATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
2. ALL POSTS AND BRACKETS SHALL BE CUT, BENT, AND DRILLED BEFORE GALVANIZING, WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A 123
3. INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZED SIGNS, SHIELDS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT "STANDARD HIGHWAY SIGNS PUBLICATION" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS"

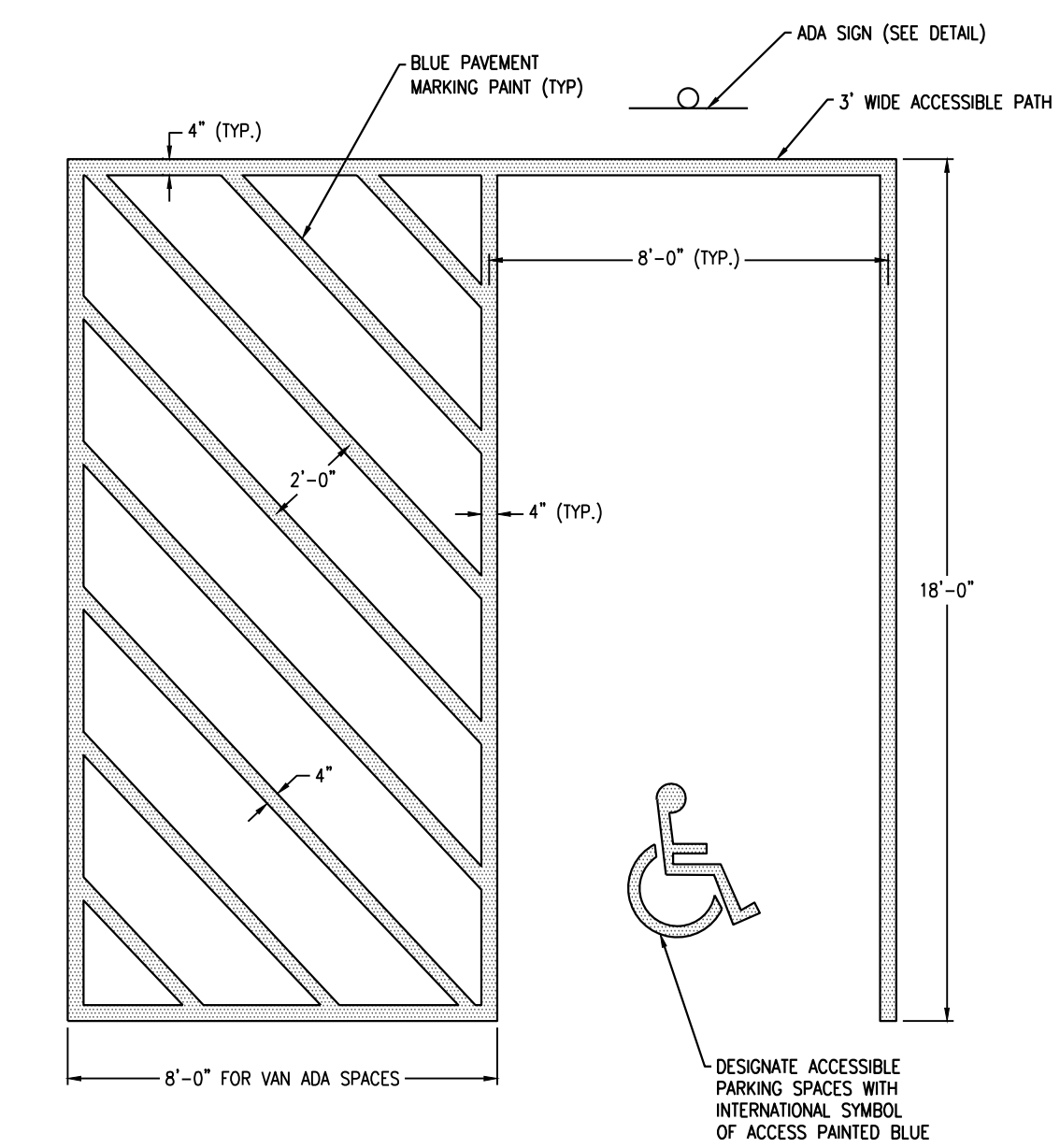
SIGN FACE:

1. LETTERS, SYMBOLS AND BORDERS SHALL BE RECTORIFIED.
2. ALL LETTERING SHALL BE UPPER CASE LETTERS OF THE TYPE APPROVED BY THE JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.
3. ALL LETTERS SHALL BE SERIES "C" ALPHABET IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".



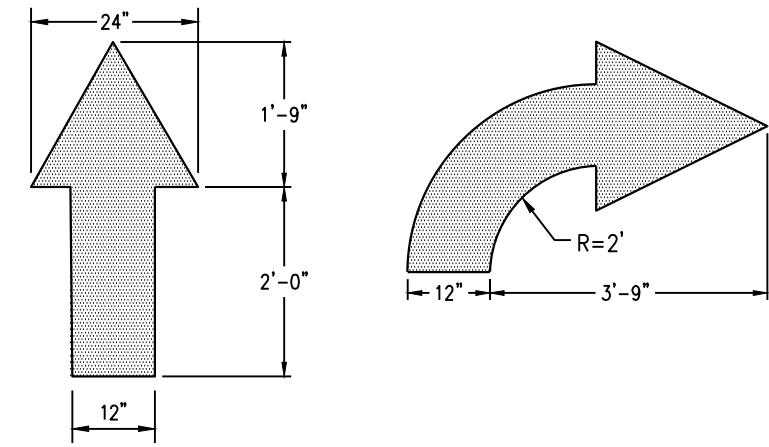
SIGN MOUNTING DETAIL

N.T.S.



ADA PARKING SPACE STRIPING

N.T.S.

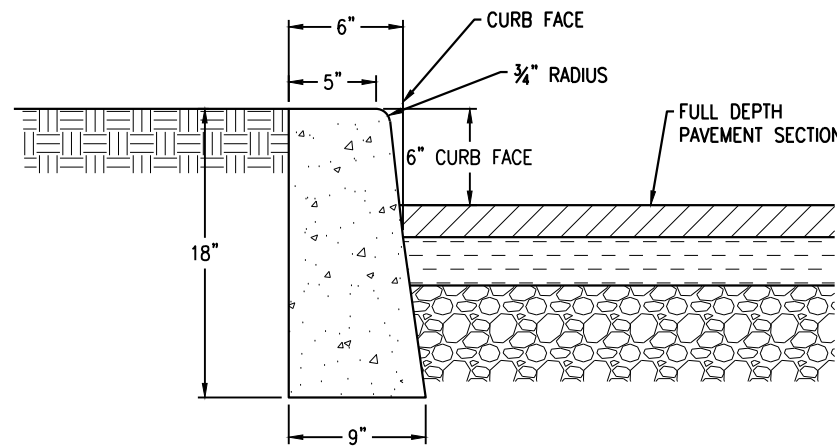


NOTES:

1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE TRAFFIC FLOW ARROWS SHALL BE PAINTED REFLECTIVE YELLOW.

TRAFFIC FLOW ARROWS

N.T.S.

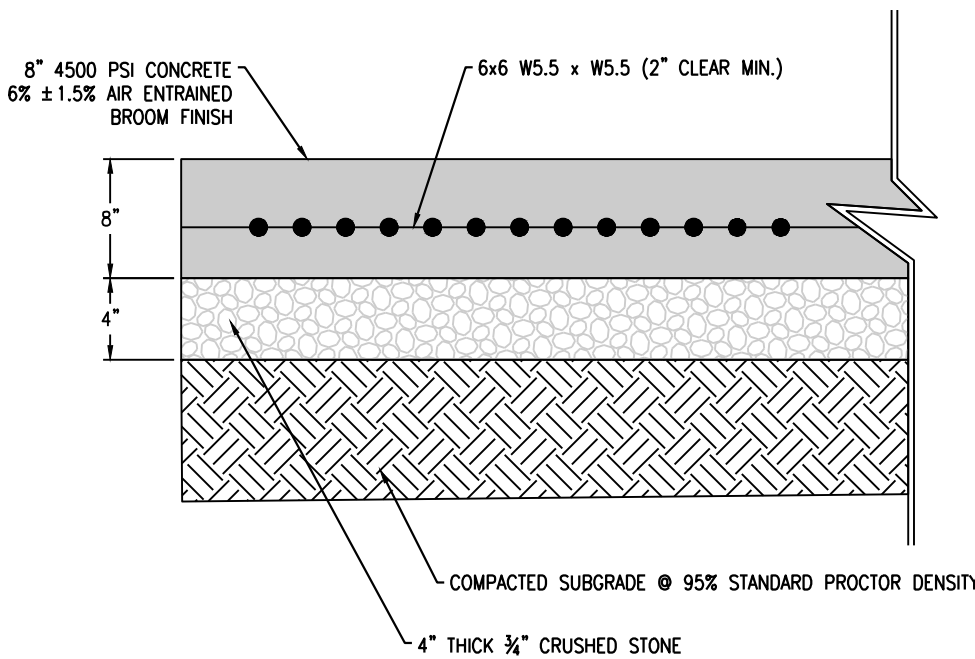


NOTES:

1. CONCRETE TO TEST 4,000 PSI MINIMUM ON 28 DAY DAY TEST, AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3" MAX.
2. TRANSVERSE JOINTS 5' WIDE SHALL BE INSTALLED IN THE CURB 20-FT APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
3. EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE SMOOTH FINISHED SURFACE.

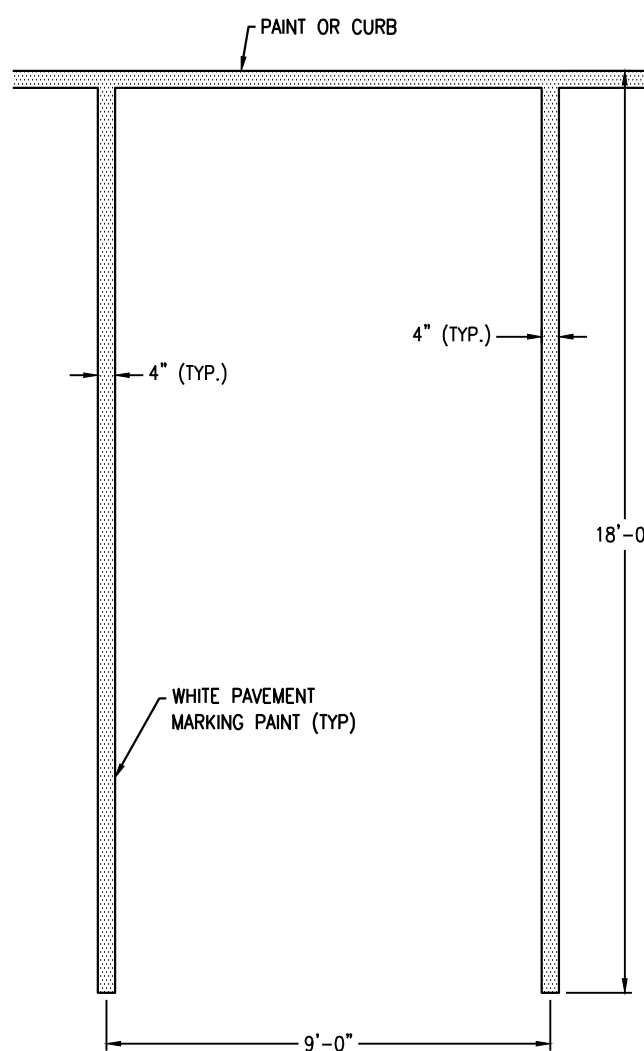
6" CONCRETE CURB

N.T.S.



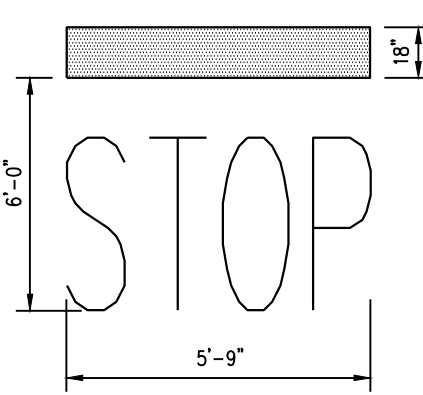
CONCRETE SLAB FOR DUMPSTER

N.T.S.



STANDARD PARKING SPACE STRIPING

N.T.S.

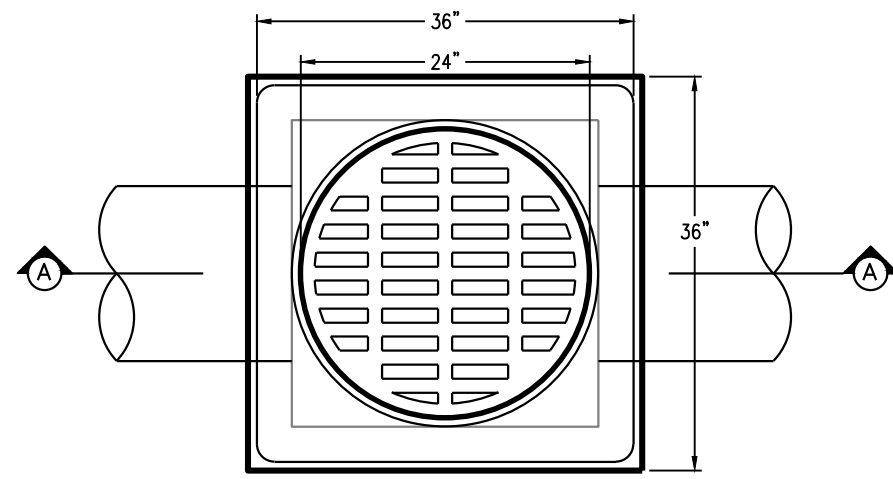


NOTES:

1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

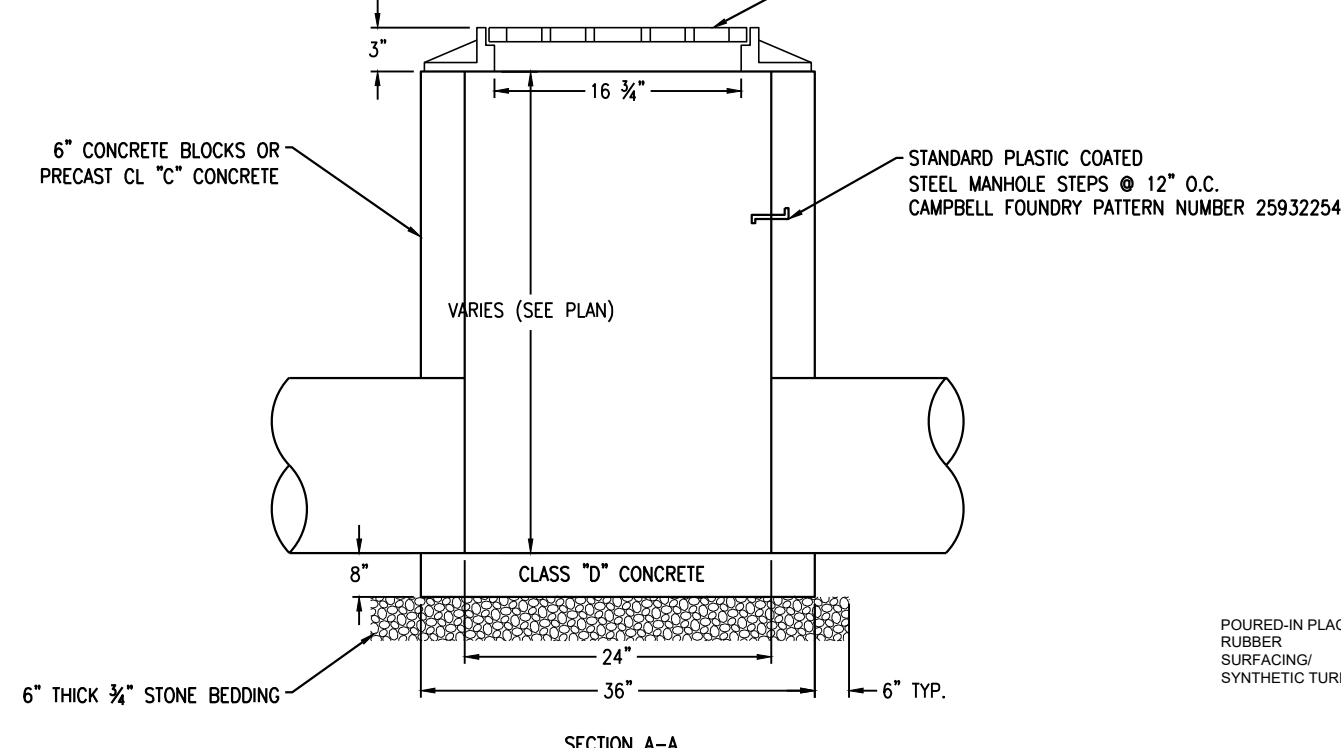
STOP BAR DETAIL

N.T.S.



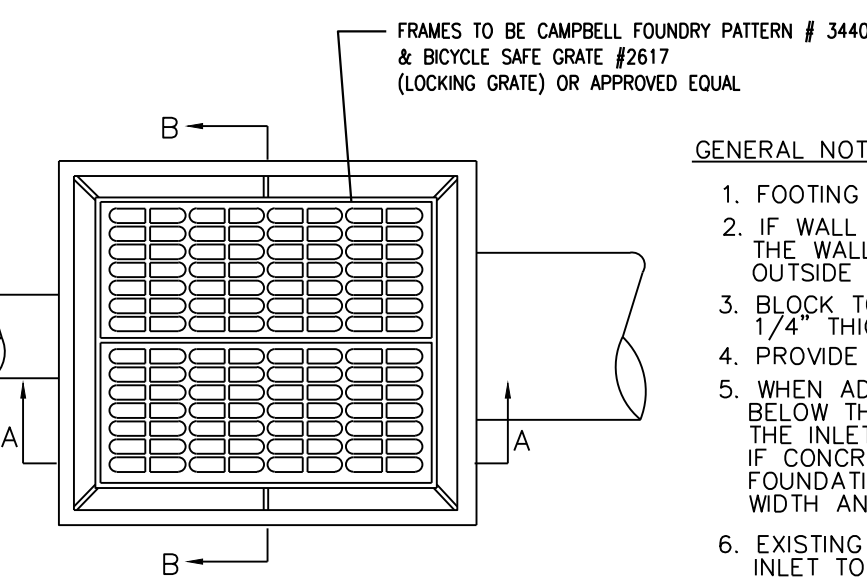
FIELD INLET

N.T.S.



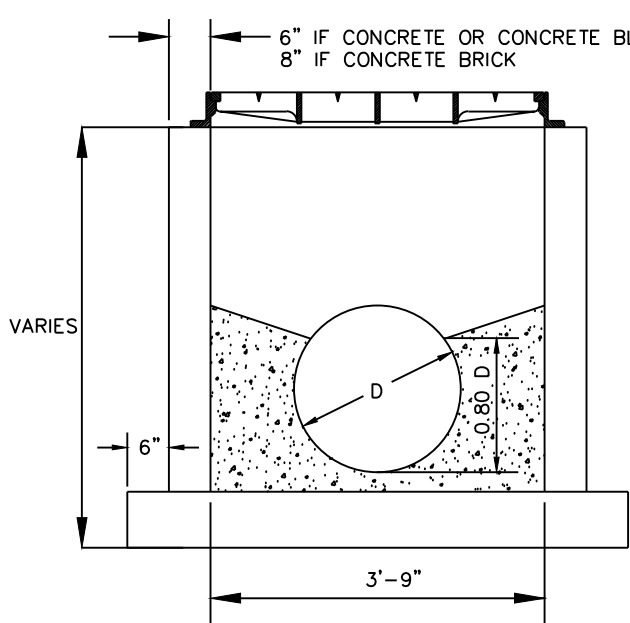
FIELD INLET

N.T.S.

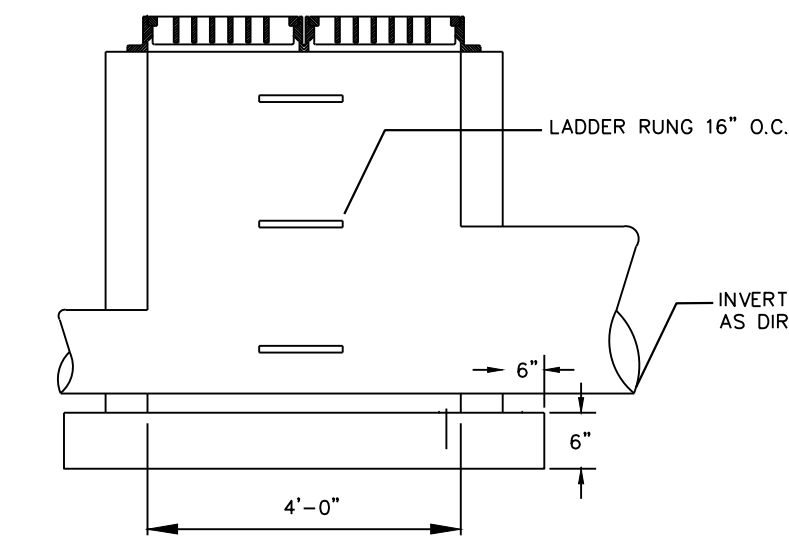


GENERAL NOTES:

1. FOOTING AND INVERT TO BE 3,500 PSI CONCRETE
2. IF WALL CONSTRUCTION OTHER THAN CONCRETE THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER
3. BLOCK TO BE LAID ON 1:2 MORTAR AND JOINTS NOT OVER 1/4" THICK, POINTED FLUSH.
4. PROVIDE 3/4" Ø ALUMINUM LADDER RUNGS AS SHOWN. 16" O.C.
5. WHEN ADDITIONAL DEPTH IS SCHEDULED WALLS BELOW THE DEPTH OF 8'-0" MEASURED FROM THE INLET GUTTER TO INVERT, SHALL BE 12" THICK IF CONCRETE OR DOUBLE BLOCK IF BLOCK. THE FOUNDATION DIMENSION SHALL BE INCREASED 12" IN WIDTH AND TO 12" IN DEPTH.
6. EXISTING STRUCTURE TO BE MODIFIED FROM 8" INLET TO 6" INLET. CONTRACTOR TO REPAIR STRUCTURE AS REQUIRED.



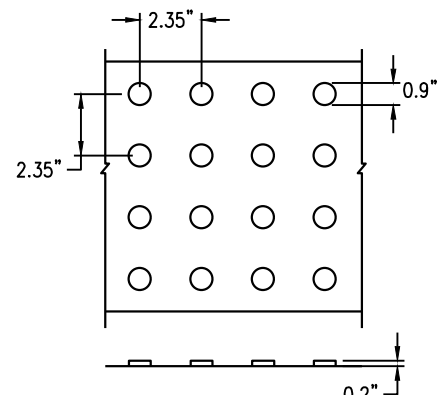
SECTION B-B



SECTION A-A

TYPE "E" INLET

N.T.S.

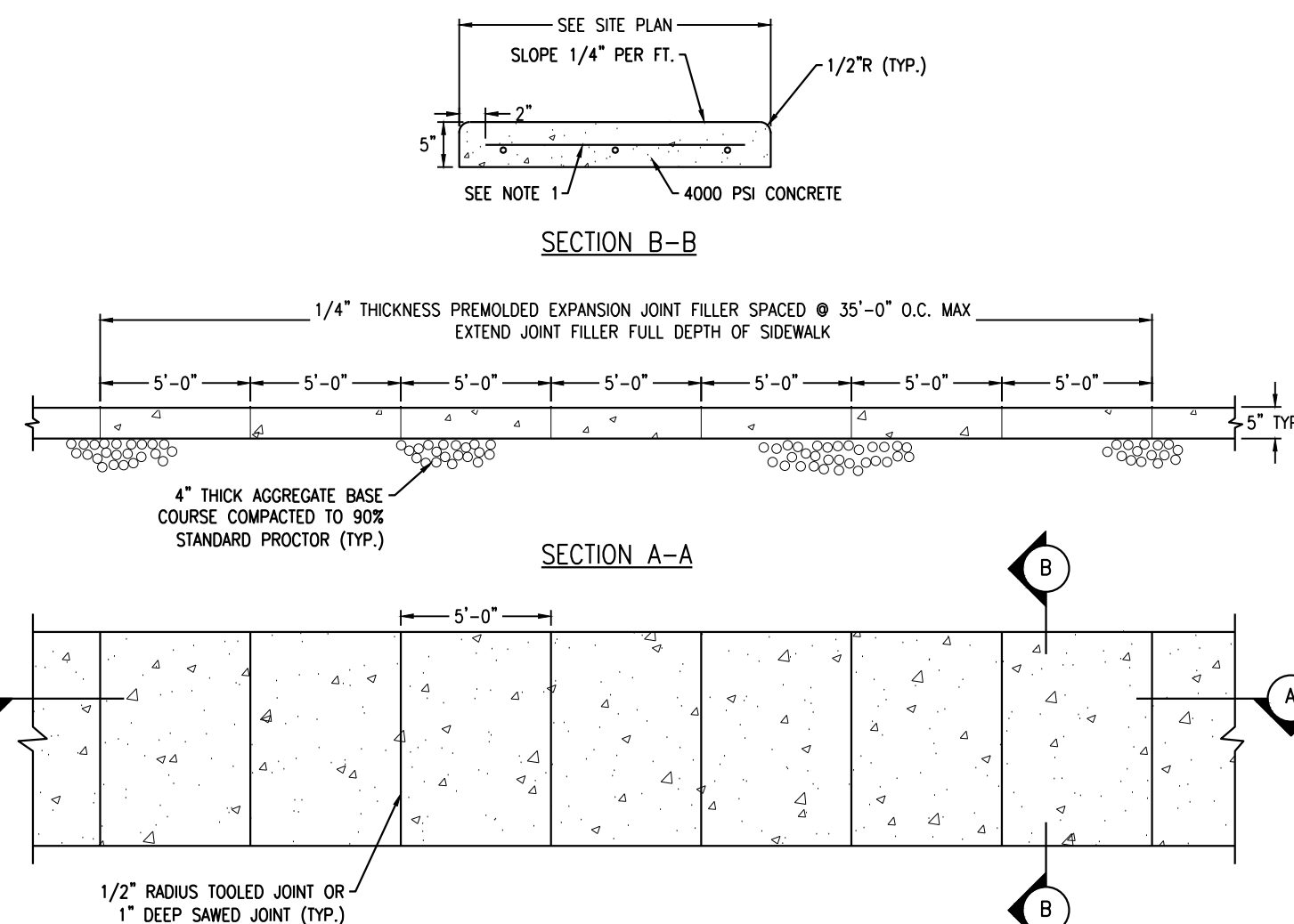


NOTES:

1. A 24" WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES SHALL BE PROVIDED ON THE WALKING SURFACE AT THE PLATFORM EDGE.
2. DOMES SHALL HAVE A DIAMETER OF 0.9", A HEIGHT OF 0.2", AND A CENTER-TO-CENTER SPACING OF 2.35".
3. MATERIAL SHALL BE NEEHAH FOUNDRY CAST IN PLACE STEEL DETECTABLE PLATES (COLOR-RED).

DETECTABLE WARNING SURFACE

N.T.S.

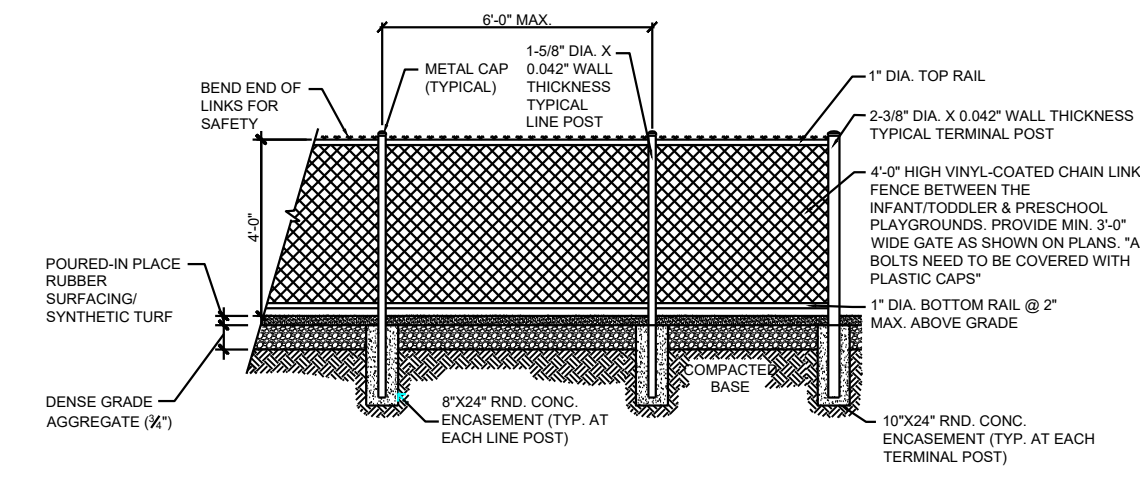


NOTES:

1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
3. CONCRETE SIDEWALK SHALL CONSIST OF ONE PART PORTLAND CEMENT TYPE II, ONE AND ONE HALF PARTS OF FINE AGGREGATE AND THREE PARTS OF COARSE AGGREGATE (EITHER BROKEN STONE OR SCREENED GRAVEL) SIZE NUMBER 3 (1").
4. NO. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W14 x W14 WWF

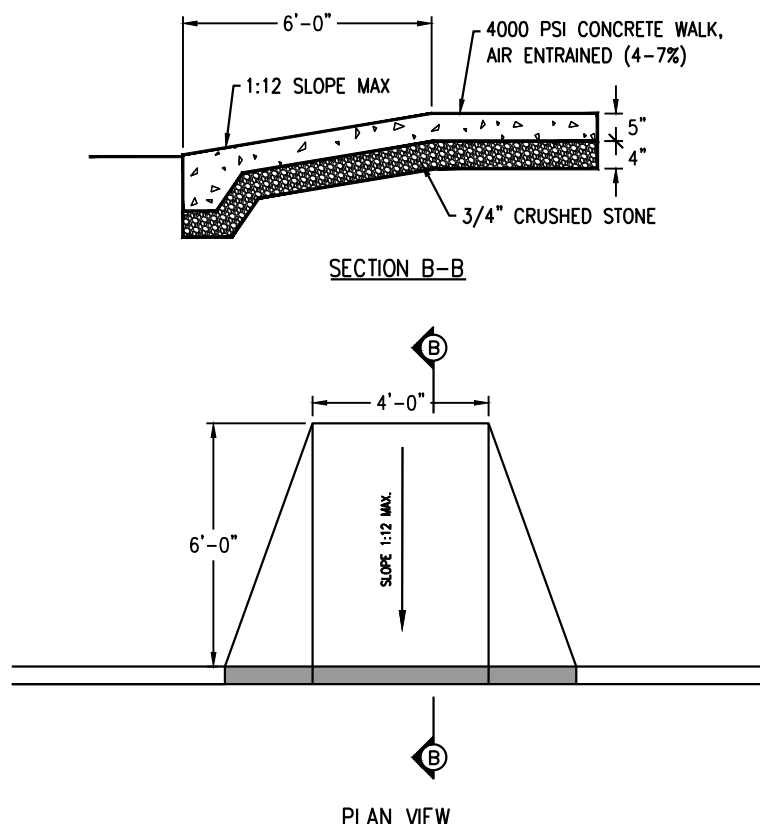
CONCRETE SIDEWALK

N.T.S.



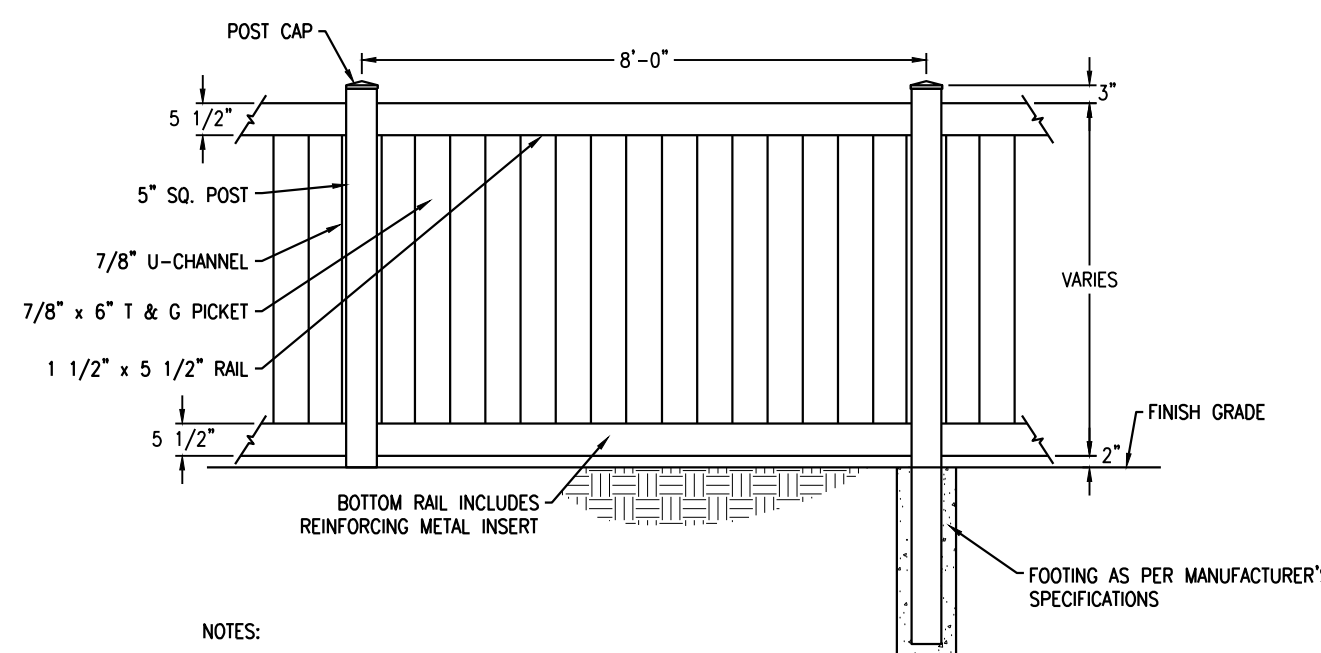
4'-0" CHAIN LINK FENCE

N.T.S.



HANDICAP CURB AT SIDEWALK

N.T.S.



NOTES:

1. FENCE TO BE "LEGEND VINYL SERIES", PRIVACY STYLE FENCE, WHITE COLOR, BY MASTER HALCO, OR APPROVED EQUIVALENT.
2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
3. FOOTING AS PER MANUFACTURER'S SPECIFICATION.

SOLID VINYL FENCE DETAIL

N.T.S.



Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA
AZ: LIC 48159
CO: LIC ARC-401483
CT: LIC ARJ-0011415
DC: LIC S-0007254
FL: LIC APR4034
GA: LIC K0011484
IA: LIC 05077
IL: LIC 001 020069
IN: LIC AR-0209
MD: LIC 125162189
MI: LIC 05077
NJ: LIC 21A00794793
NY: LIC 07482
PA: LIC 00004300
TX: LIC 123822

NJ: LIC AD-12787
NH: LIC 44454
NC: LIC 10120
NE: LIC 3501
NY: LIC 024473
OH: LIC A-9912444
PA: LIC RA-0148518
RI: LIC ARC-0004785
SC: LIC AR-9163
TN: LIC 103859
TX: LIC 20992
VA: LIC 9401 014089
WI: LIC 2453
WY: LIC 21A00794793
NJ: LIC 07482
PA: LIC 00004300
TX: LIC 123822

IRWIN H. KIZEL, AIA, PE

RICHARD A. JARMEL, PE
AZ: LIC 48159
CO: LIC ARC-401483
CT: LIC ARJ-0011415
DC: LIC S-0007254
FL: LIC APR4034
GA: LIC K0011484
IA: LIC 05077
IL: LIC 001 020069
IN: LIC AR-0209
MD: LIC 125162189
MI: LIC 05077
NJ: LIC 21A00794793
NY: LIC 07482
PA: LIC 00004300
TX: LIC 123822

ASSOCIATES

RONALD A. BROKENSHIRE, PE
AZ: LIC 48159
CO: LIC ARC-401483
CT: LIC ARJ-0011415
DC: LIC S-0007254
FL: LIC APR4034
GA: LIC K0011484
IA: LIC 05077
IL: LIC 001 020069
IN: LIC AR-0209
MD: LIC 125162189
MI: LIC 05077
NJ: LIC 21A00794793
NY: LIC 07482
PA: LIC 00004300
TX: LIC 123822

DAVID L. LESSONE, RA

MICHAEL J. VOLLMER, RA
AZ: LIC 48159
CO: LIC ARC-401483
CT: LIC ARJ-0011415
DC: LIC S-0007254
FL: LIC APR4034
GA: LIC K0011484
IA: LIC 05077
IL: LIC 001 020069
IN: LIC AR-0209
MD: LIC 125162189
MI: LIC 05077
NJ: LIC 21A00794793
NY: LIC 07482
PA: LIC 00004300
TX: LIC 123822

GERARD P. GESARIO, PE

FREDERICK KINCAD, RA
AZ: LIC 48159
CO: LIC ARC-401483
CT: LIC ARJ-0011415
DC: LIC S-0007254
FL: LIC APR4034
GA: LIC K0011484
IA: LIC 05077
IL: LIC 001 020069
IN: LIC AR-0209
MD: LIC 125162189
MI: LIC 05077
NJ: LIC 21A00794793
NY: LIC 07482
PA: LIC 00004300
TX: LIC 123822

JEROME LESLIE EBEL, PA, PP

CHERYL SCHWIEBER, AIA
AZ: LIC 48159
CO: LIC ARC-401483
CT: LIC ARJ-0011415
DC: LIC S-0007254
FL: LIC APR4034
GA: LIC K0011484
IA: LIC 05077
IL: LIC 001 020069
IN: LIC AR-0209
MD: LIC 125162189
MI: LIC 05077
NJ: LIC 21A00794793
NY: LIC 07482
PA: LIC 00004300
TX: LIC 123822

THE LEARNING EXPERIENCE

530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No:

TLENY-S-17-155

Scale:

AS NOTED

Drawn By:

LB

Approved By:

GPG

Drawing Name:

DETAIL SHEET

Drawing Number:

C-900

Sheet No:

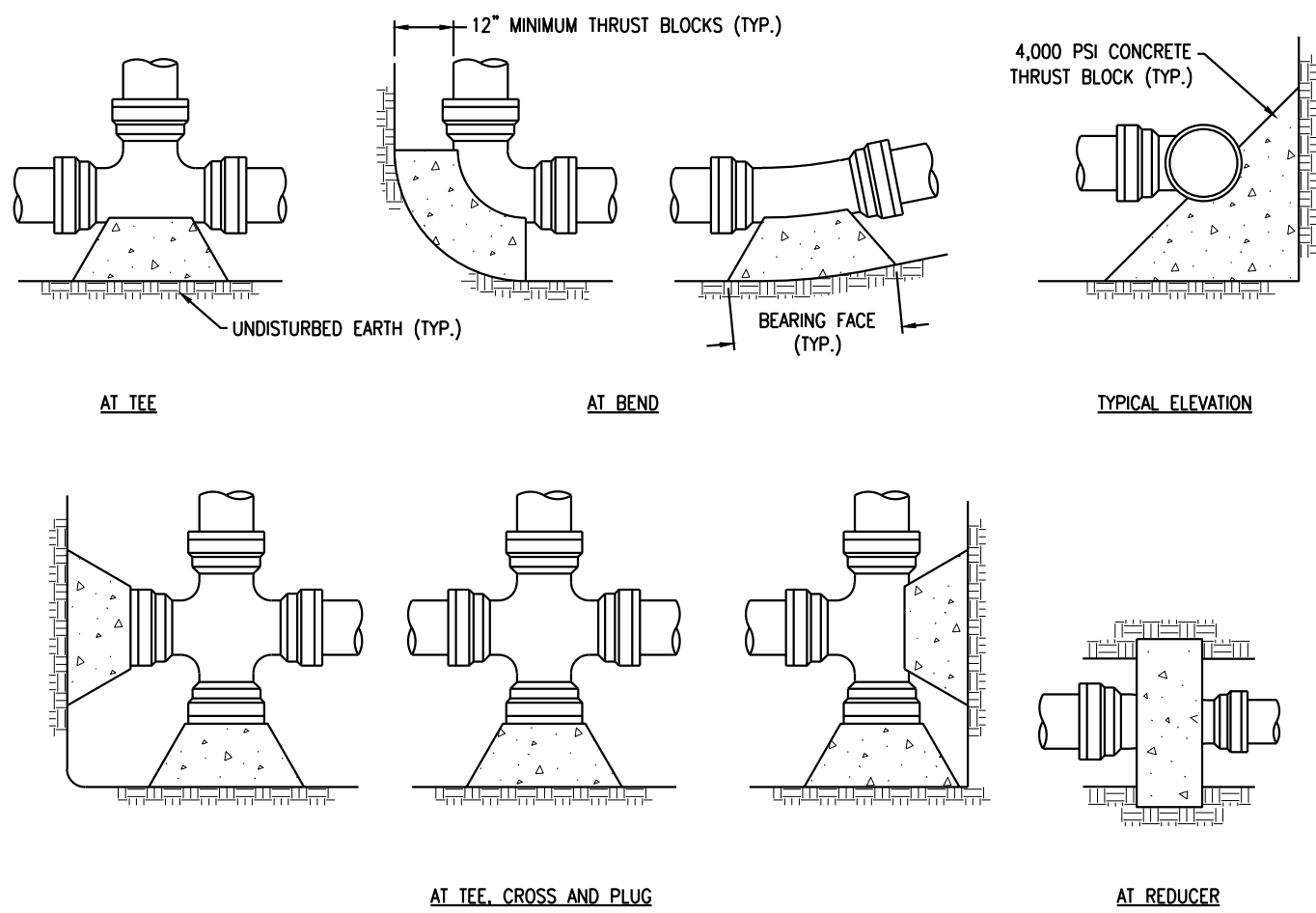
9 of 12

Initial Date:

APRIL 27, 2018

RICHARD A. JARMEL
PROFESSIONAL
ENGINEER
N.Y. LIC. #073898-1

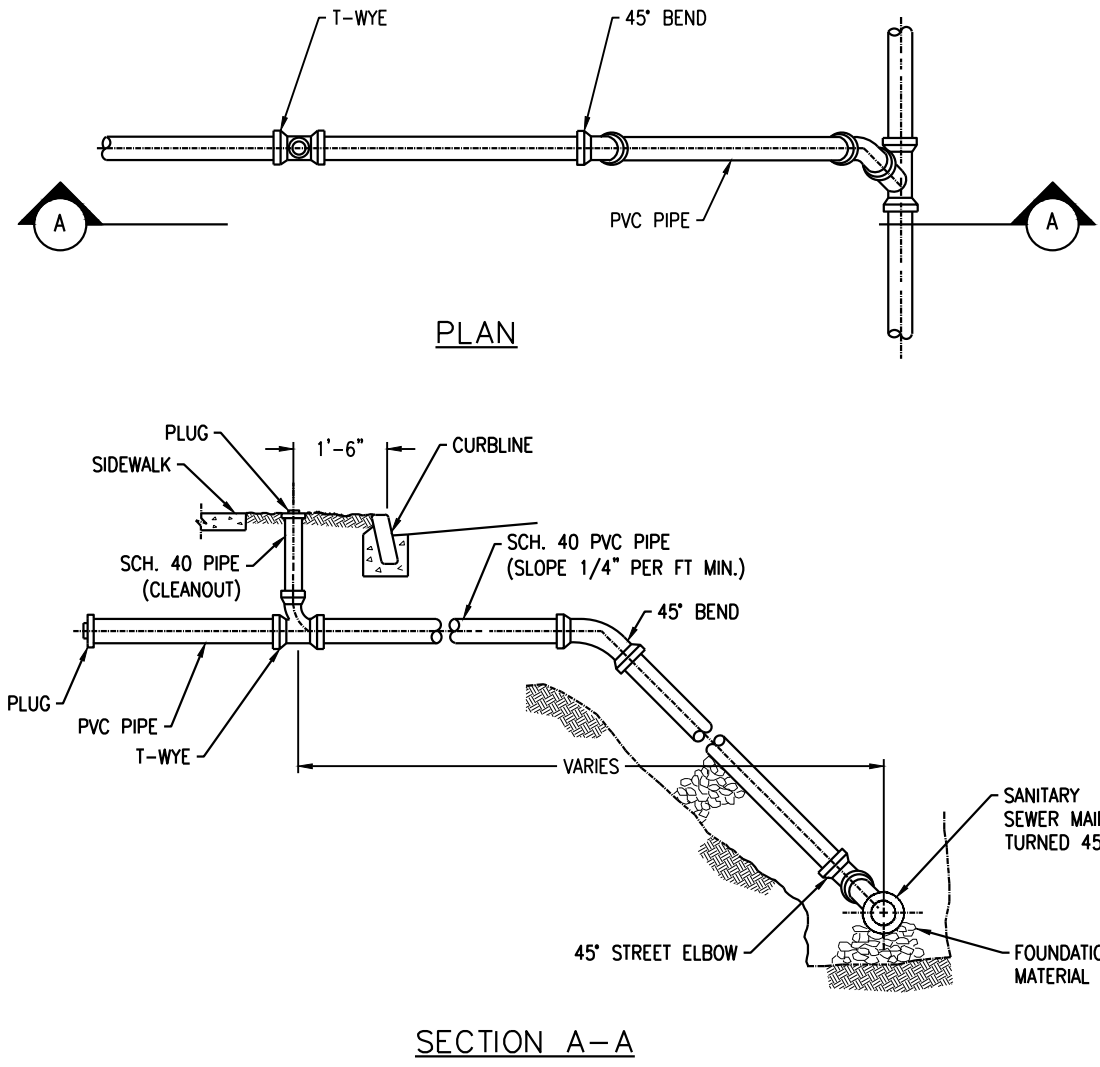
AREA OF BEARING FACE OF THRUST BLOCK IN SQUARE FEET (AREA BASED ON INTERNAL PRESSURE OF 150 PSIG AND SOIL BEARING PRESSURE OF 2000 PSF) (SEE NOTE 1)								
PIPE SIZE	BEND					TEE PLUG	REDUCER	
	90°	45°	22-1/2°	11-1/4°			SIZE	AREA
4" - 6"	4	2.5	1.5	1	3	6" x 4"	2	
8"	7	4	2	1	5	8" x 6"	2.5	
12"	14.5	8	4	2	10.5	12" x 8"	5.5	



- NOTES:
- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
 - THRUST BLOCK IS TO BE POURED AGAINST UNDISTURBED EARTH. WIDTH OF THRUST BLOCK SHOULD BE APPROXIMATELY TWICE HEIGHT.
 - THRUST BLOCK IS TO BE INSTALLED AT ALL BENDS, PLUGS, TEES, AND TAPPING SLEEVE AND VALVE CONNECTIONS.
 - FACTORY CAST OFFSETS ARE TO BE TREATED AS (2) 45 DEGREE BENDS.
 - FOR REDUCERS, THRUST BLOCK IS TO BE KEYS INTO WALLS AND BOTTOM OF TRENCH.
 - MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK.
 - WOOD BLOCKING IS NOT PERMITTED.

THRUST BLOCK DETAILS

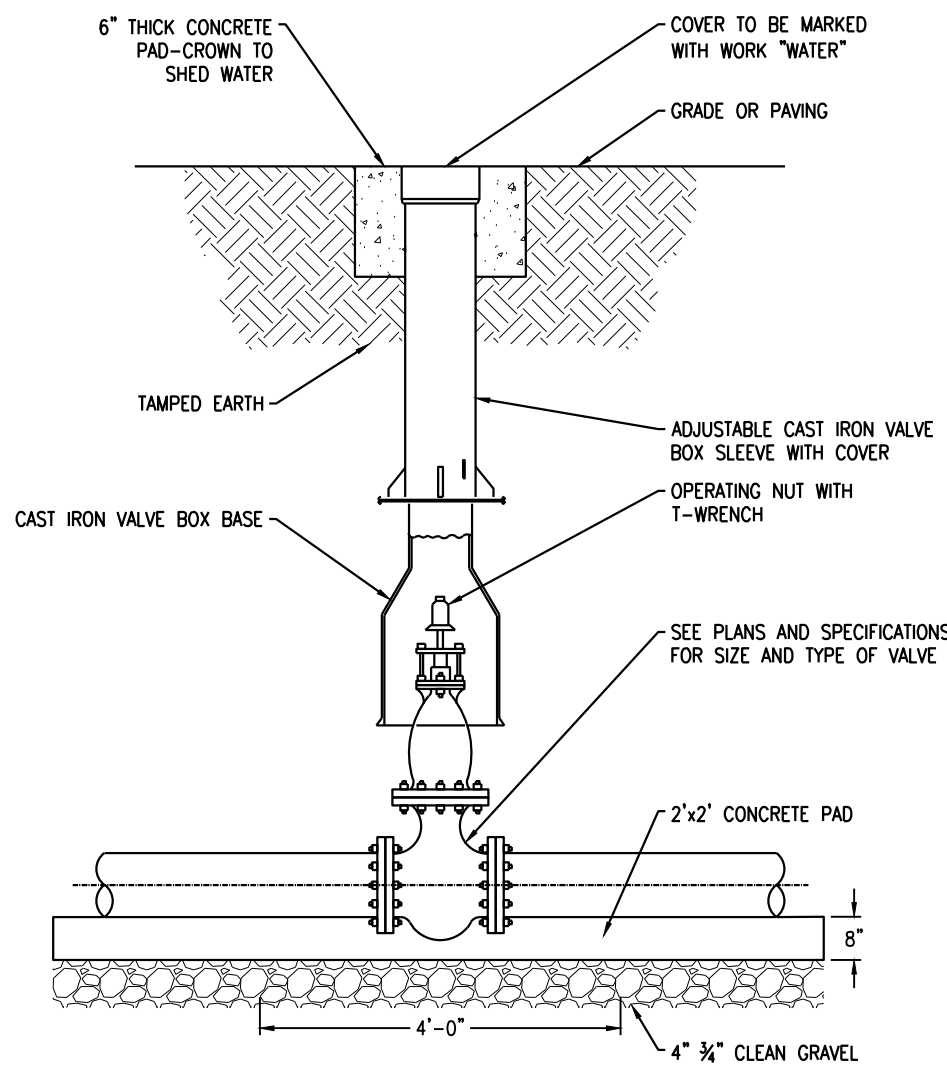
N.T.S.



- GENERAL NOTES:
- ALL COUPLINGS, PLUGS, SOIL PIPES & CAPS TO BE STANDARD FOR TYPE OF PIPE USED, INSTALLATION TO BE WATERTIGHT.
 - HOUSE CONNECTIONS ARE TO BE 6" P.V.C.
 - ALL PLUG THREADS SHALL BE GREASED AT TIME OF INSTALLATION.
 - MINIMUM DEPTH OF COVER ON SANITARY SEWER MAINS SHALL BE 5 FEET.
 - POLYVINYL CHLORIDE PIPE AND FITTINGS FOR HOUSE LATERALS SHALL CONFORM TO A.S.T.M. D-3034.

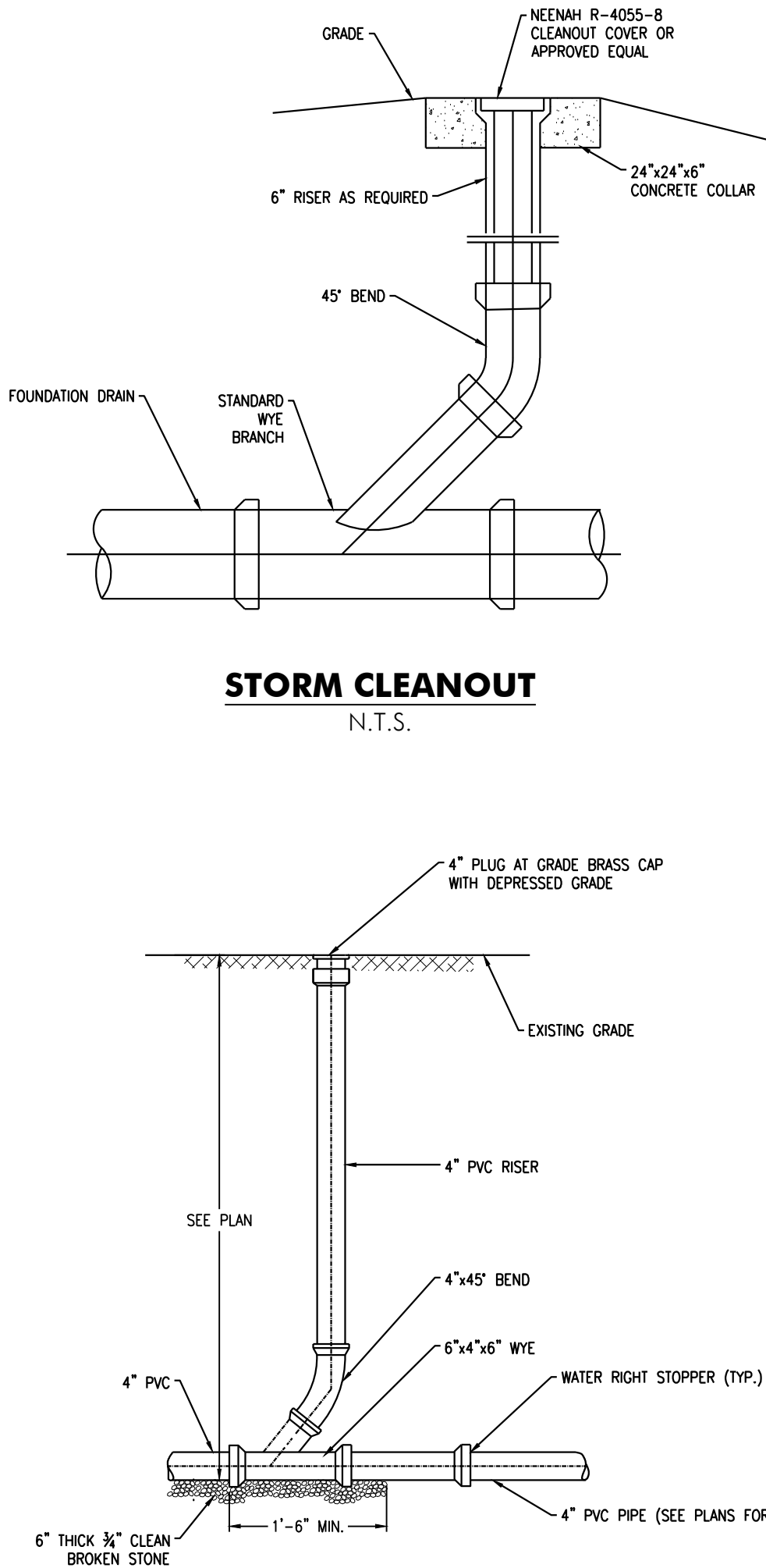
SANITARY SEWER BUILDING CONNECTION

N.T.S.



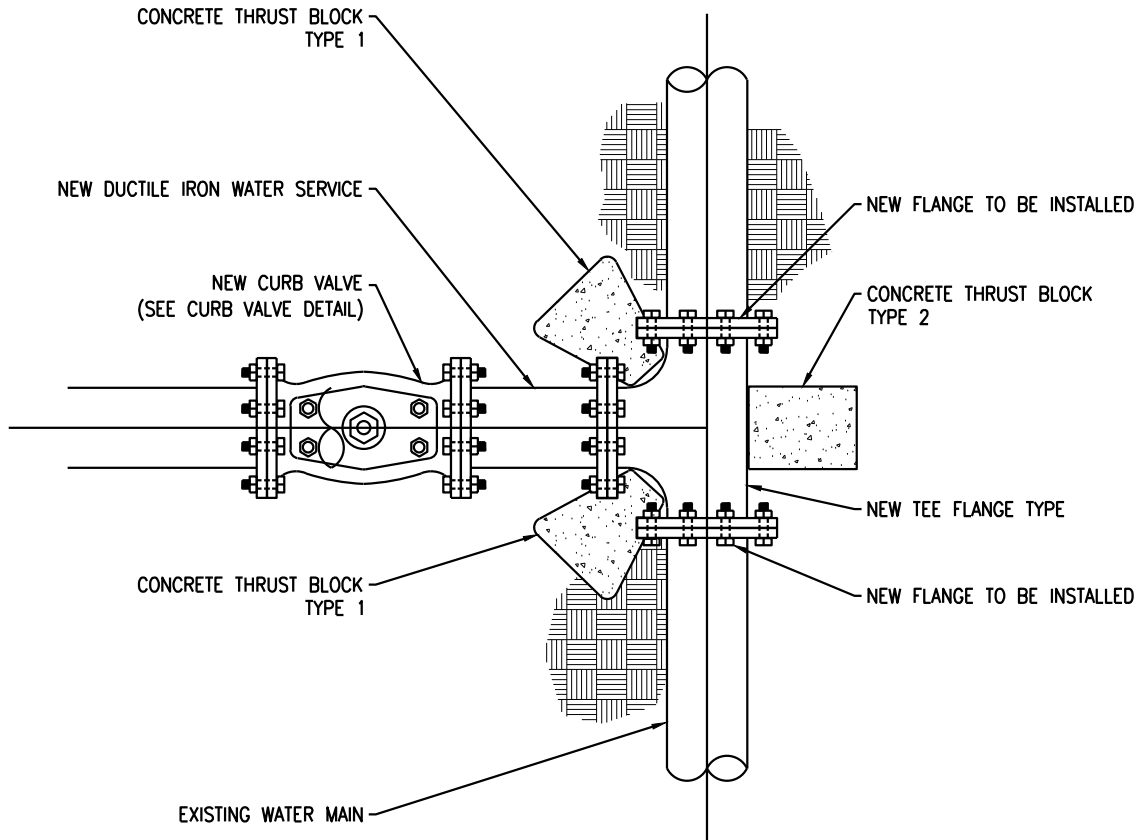
CURB VALVE DETAIL

N.T.S.



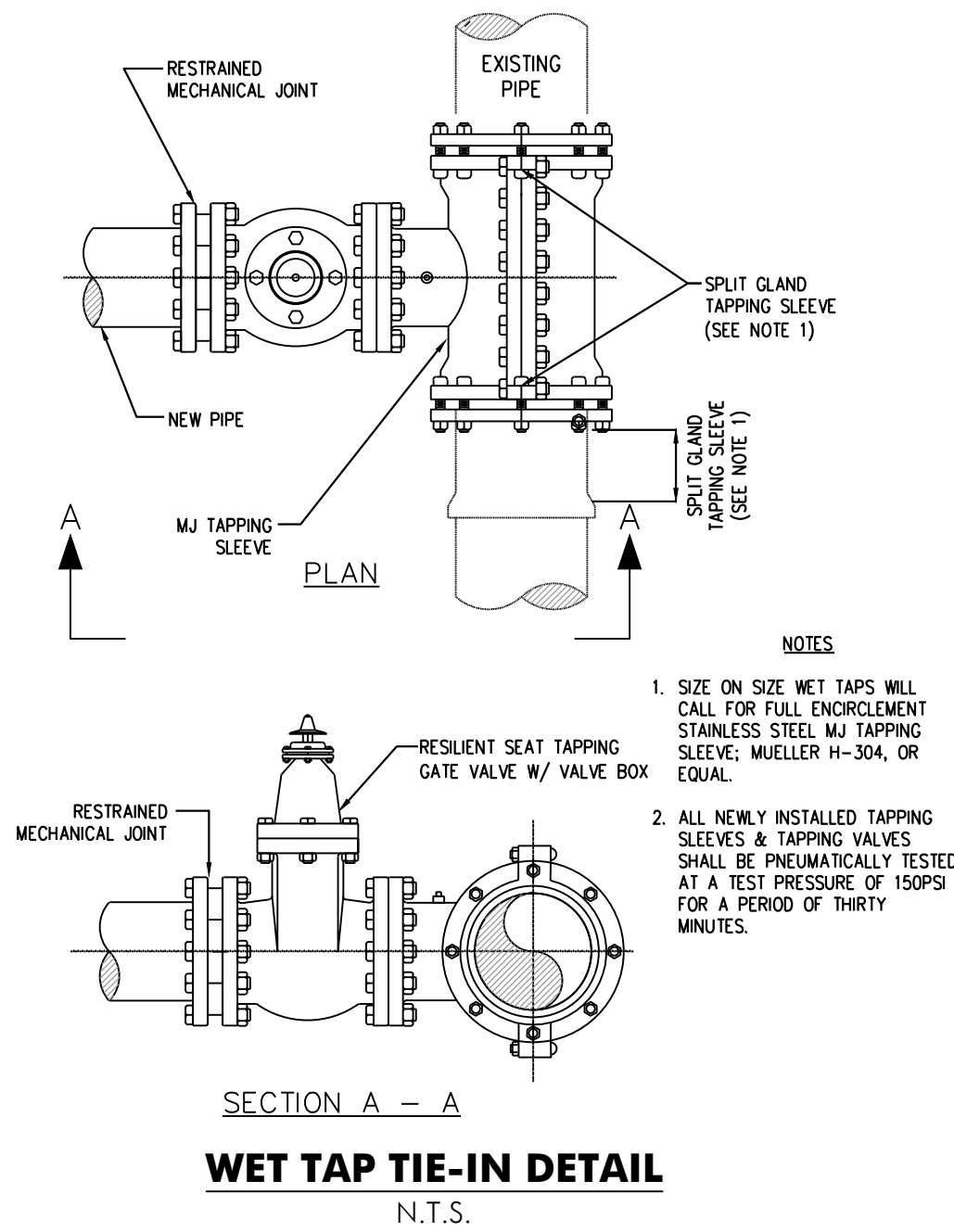
SANITARY CLEANOUT

N.T.S.

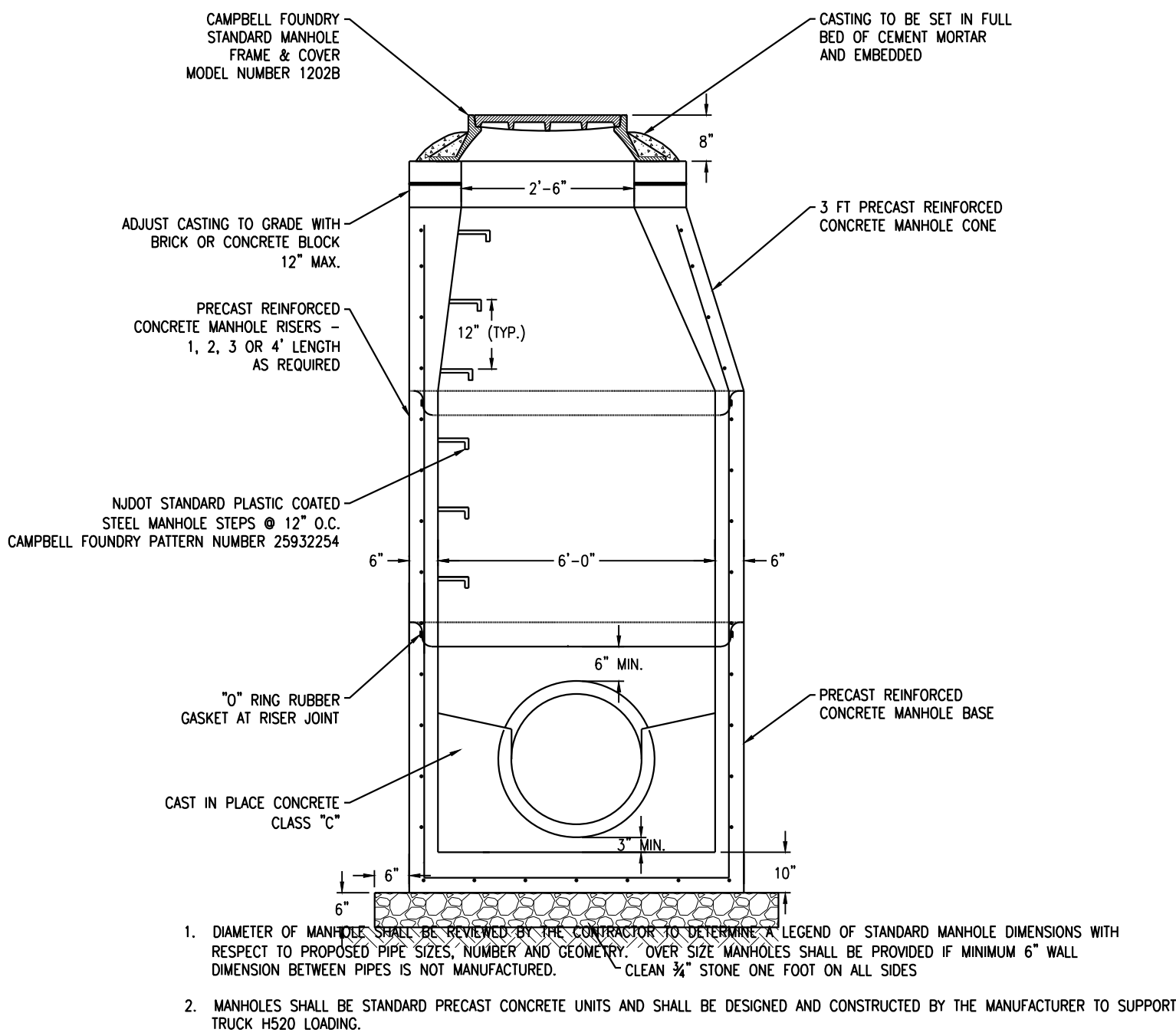


WATER MAIN CONNECTION DETAIL

N.T.S.



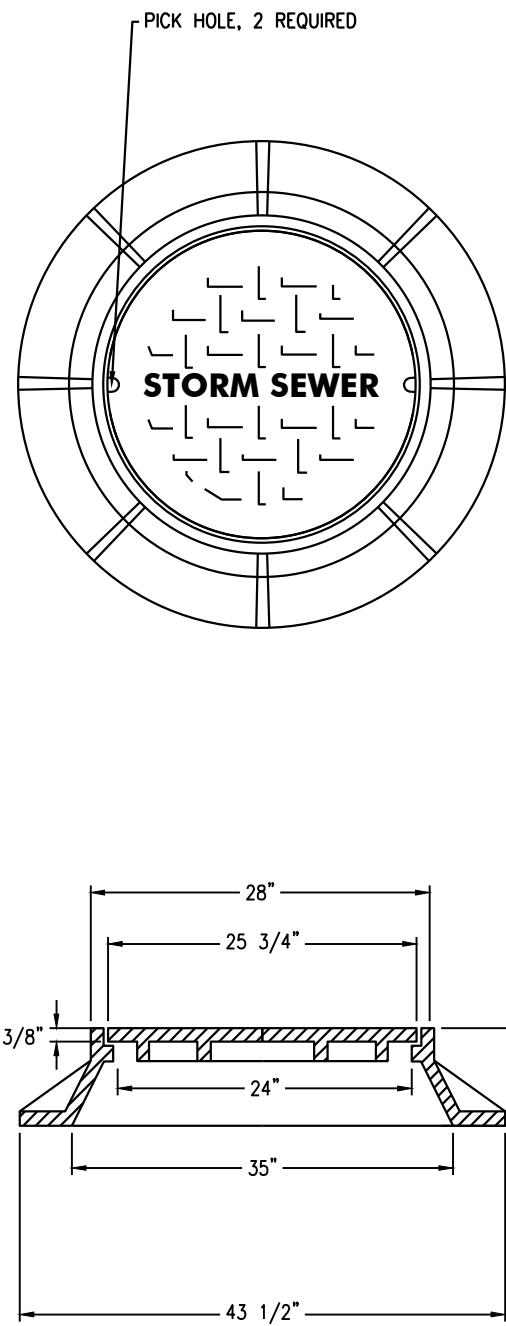
- NOTES:
- SIZE ON SIZE WET TAPS WILL CALL FOR FULL ENDORSEMENT STAINLESS STEEL MU TAPPING SLEEVE, MUELLER #4-304, OR EQUAL.
 - ALL NEWLY INSTALLED TAPPING SLEEVES & TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150PSI FOR A PERIOD OF THIRTY MINUTES.



- DIAMETER OF MANHOLE SHALL BE REVIEWED BY THE CONTRACTOR TO DETERMINE A LEGEND OF STANDARD MANHOLE DIMENSIONS WITH RESPECT TO PROPOSED PIPE SIZES, NUMBER AND GEOMETRY. OVER SIZE MANHOLES SHALL BE PROVIDED IF MINIMUM 6" WALL DIMENSION BETWEEN PIPES IS NOT MANUFACTURED.
- MANHOLES SHALL BE STANDARD PRECAST CONCRETE UNITS AND SHALL BE DESIGNED AND CONSTRUCTED BY THE MANUFACTURER TO SUPPORT TRUCK HS20 LOADING.

STORM MANHOLE

N.T.S.



MANHOLE FRAME AND COVER

N.T.S.



Jarmel Kizel
ARCHITECTS AND ENGINEERS INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.
1	9.20.18	PER 9/5/18 PB MEETING	GPG

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA
AZ: LIC 48139
CO: LIC ARC-401483
CT: LIC AR-0011415
DC: LIC ARC101849
DE: LIC 55-0007254
FL: LIC AR94034
GA: LIC 80011484
IA: LIC 05077
IL: LIC 001 020069
IN: LIC AR-0208
MD: LIC 120162
MI: LIC 20162189
NJ: LIC 08022
NY: LIC 00007735
PA: LIC 31420
RI: LIC 000992
TX: LIC 08498

IRWIN H. KIZEL, AIA, PP

RICHARD A. JARMEL, PE
AZ: LIC 074862
FL: LIC 72138
IN: LIC 00105239
MD: LIC 00105239
MI: LIC 00105239
NJ: LIC 08498

ASSOCIATES

RONALD A. BROKENSHIRE, PE
PA: LIC PER88817
DAVID L. LESSENE, RA
NY: LIC 004719
MICHAEL J. VOHLAND, RA
PA: LIC RA-420581
GERARD P. GESARIO, PE
NJ: LIC 000992
FREDERICK KINCAID, RA
NJ: LIC 21A1018294
JEROME LESLIE EBEL, PA, PP
NJ: LIC A15883
CHERYL SCHWIEBER, AIA
NJ: LIC 019151
NJ: LIC 21A00209000
PA: LIC RA407927

[1] State Board Of Architects Authorization No. 161
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name:

DETAIL SHEET

Drawing Number:	C-902
Sheet No: of:	11 12
Initial Date:	APRIL 27, 2018
	RICHARD A. JARMEL PROFESSIONAL ENGINEER N.Y. LIC. #073898-1

