

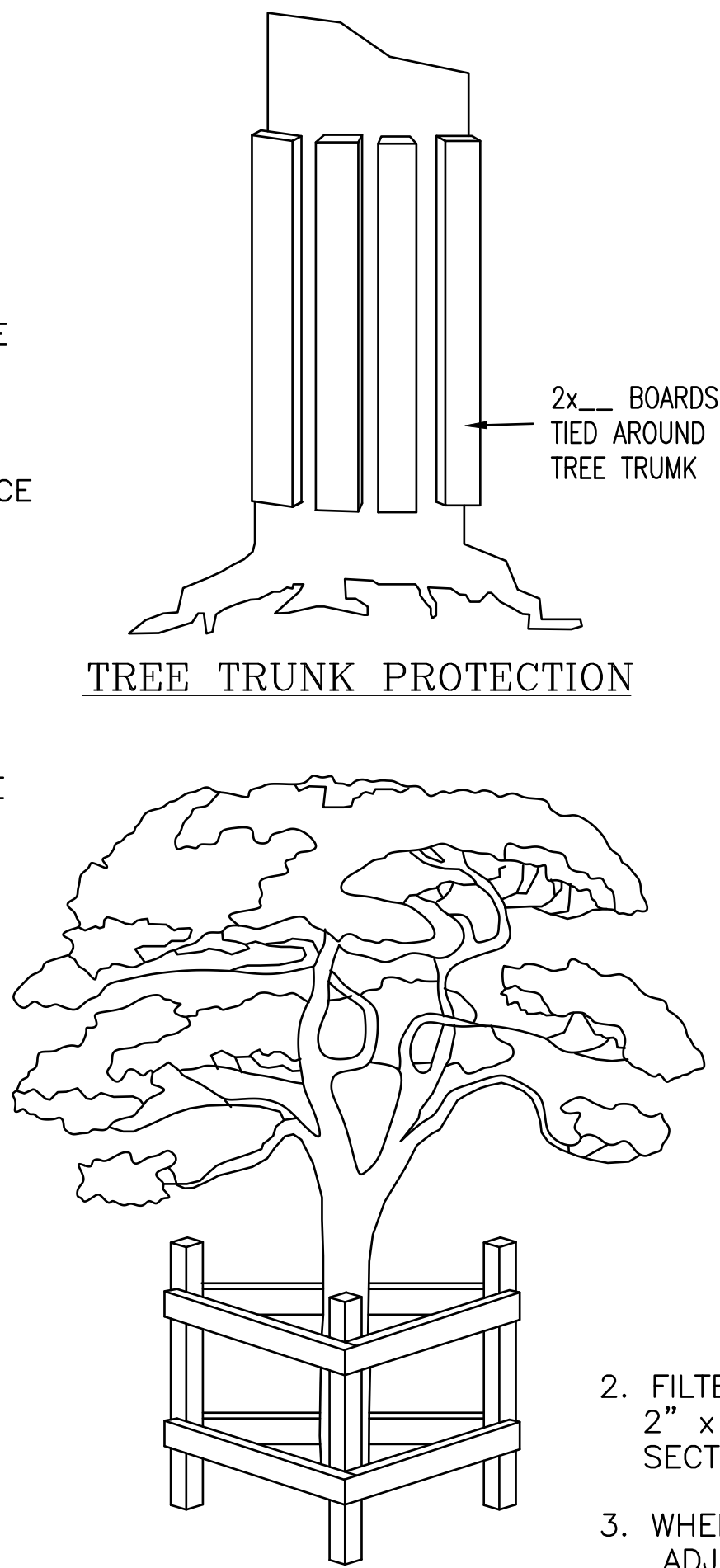
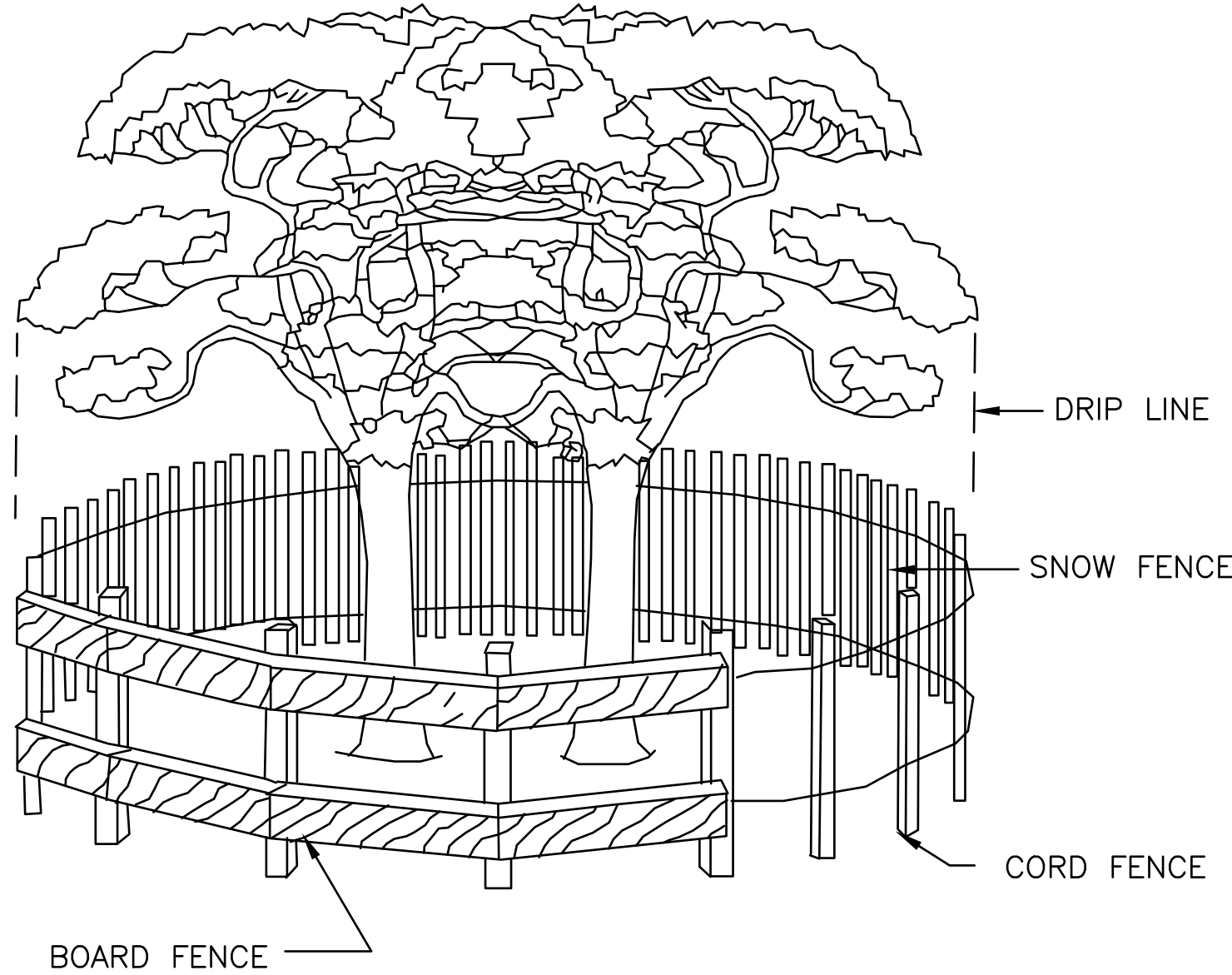
- ALL TREES ARE TO BE REGULATED BY CHAPTER 183 : TREE PROTECTION, OF THE TOWN OF OSSINING CODE.
- ALL INDICATED TREES REMOVED DUE TO STORM DAMAGE.

TOWN OF OSSINING (EXISTING LOT)

* VARIANCES REQUIRED

*SEE CULTECH SPECIFICATION ON ANNEX.

SY-101



TREE PROTECTION

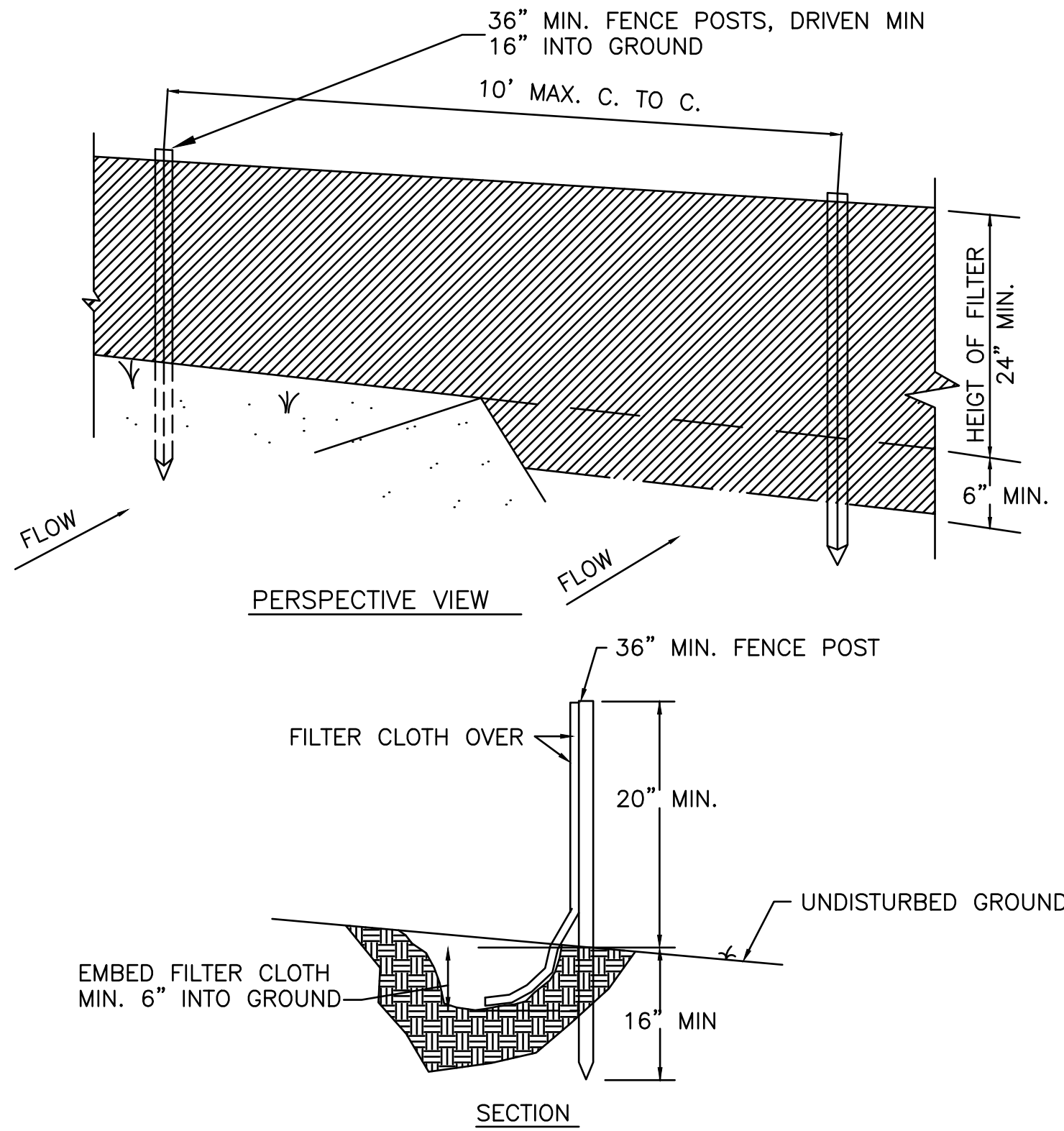
N.T.S.

GENERAL NOTES:

1. THIS ENGINEER IS RESPONSIBLE FOR FINAL CONSTRUCTION DETAILS ONLY.
2. THIS ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION SUPERVISION.
3. CONTRACTOR SHALL COMPLY WITH CODE 53 AND NOTIFY ALL UTILITY COMPANIES TO LOCATE UNDERGROUND UTILITIES THREE DAYS PRIOR TO STATING ANY WORK.
4. CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS SET FORTH BY THE MUNICIPALITY HAVING JURISDICTION THEREOF.
5. CONTRACTOR SHALL SUPPLY CERTIFICATE OF INSURANCE AND WORKMANS COMPENSATION PRIOR TO STARTING ANY WORK.
6. CONTRACTOR SHALL VERIFY SITE/JOB CONDITIONS BEFORE STARTING WORK. ANY DESCREPA NCIES SHOWN ON THIS PLAN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THIS ENGINEER.
7. ALL EXCAVATED AND DISTURBED AREAS SHALL BE PROTECTED TO AVOID PERSONAL INJURY. THESE PROTECTIVE DEVICES SHALL CONFORM TO OSHA STANDARDS.
8. CONSTRUCTION, OTHER THAN SPECIFICALLY SHOWN ON THESE APPROVED PLANS, SHALL NOT BE CONDUCTED WITHIN DESIGNATED WETLAND AREAS OR WATERCOURSES WITHOUT PRIOR APPROVAL OF THE CONSERVATION COMMISSION & ALL OTHER AGENCIES HAVING JURISDICTION THEREOF.
9. WHEREVER FEASIBLE, ALL EXISTING VEGETATION SHALL BE RETAINED AND PROTECTED WITH SILT FENCING. ALL TREES TO REMAIN SHALL BE PROTECTED WITH SILT FENCE PLACED AROUND THE DRIP LINE PRIOR TO BEGINNING CONSTRUCTION IN ITS APPROXIMITY.
10. CONSTRUCTION EQUIPMENT SHALL NOT CROSS LIVE STREAMS EXCEPT BY MEANS OF A BRIDGE, CULVERT OR OTHER APPROVED MEANS.
11. SITE CONSTRUCTION ACTIVITIES SHALL START WHENEVER POSSIBLE AT THE NEAREST POINT UPSLOPE OF SILT TRAPS AND PROCEED TO ACTIVITIES FURTHER UPSLOPE.
12. SILT TRAPS SHALL BE CLEANED OUT WHEN THE ACCUMULATED SEDIMENT HAS REDUCED THE CAPACITY OF THE TRAP BY APPROXIMATELY 50 PERCENT; SEDIMENT REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF TO PREVENT ITS RE-ENTRANCE TO THE DRAINAGE SWALE AND TRAP. SMALL QUANTITIES OF SEDIMENT SHOULD BE PLACED BEHIND PROTECTIVE BERMS. LARGER QUANTITIES OF SEDIMENT SHOULD BE STOCKPILED A SUITABLE DISTANCE AWAY FROM DRAINAGE COURSE AND CONTAINED BY PROTECTIVE BERMS AND VEGETATED.

SEQUENCE OF CONSTRUCTION

1. ALL PERMITS SHALL BE OBTAINED THROUGH THE BUILDING DEPARTEMENT PRIOR TO COMENCENENT OF WORK.
2. ALL WATER, GAS AND ELECTRICAL SERVICES SHALL BE TURNED OFF PRIOR TO COMENCENENT OF WORK.
3. ALL TRAFFIC DETOURING SHALL BE COORDINATED WITH POLICE DEPARTMENT AND HIGHWAY DEPARTMENT.
4. ONCE TRAFFIC DETOURING IS IN PLACE THE SIDE WALK SHALL BE REMOVED AND MINOR EXCAOVATION INTO THE SITE SHALL BE DONE FOR PLACEMENT OF DEMOLITION CONTAINERS SO THAT DEMOLITION OF EXISTING RESIDENCE AND SITE CLEARING CAN BEGIN.
5. ONCE SIDEWALK IS REMOVED AND DEMOLITION CONTAINERS ARE IN PLACE BARICADES SHALL BE PLACED BETWEEN DEMOLITION CONTAINERS AND ROAD. TREFFIC LANE SHIFTS CAN BE REMOVED AND NORMAL TRAFFIC FLOW CAN THEN BE CONTINUE
6. STEPS 4 AN 5 SHALL TAKE APROXIMATELY (1) ON DAY.
7. ONCE CLEARING AND HOUSE DEMOLITION IS COMPLETE ROAD DETOURING BARICADES SHALL BE PUT IN PLACE AGAIN FOR (2) DAYS WHILE EXCACATORS AND 20 YARD DUMP TRUCKS ARE EXCAVATING INTO SITE AND REMOVING EARTH MATERIAL.
8. AFTER 2 DAYS ENOUGH MATERIAL SHALL HAVE BEEN REMOVED SO THAT ALL REQUIRED EQUIPMENT TO CONTINUE CONSTRUCTION SHALL BE PLACED WITHIN THE SITE AN NO FURTHER TRAFFIC ROUTING SHALL BE REQUIRED.



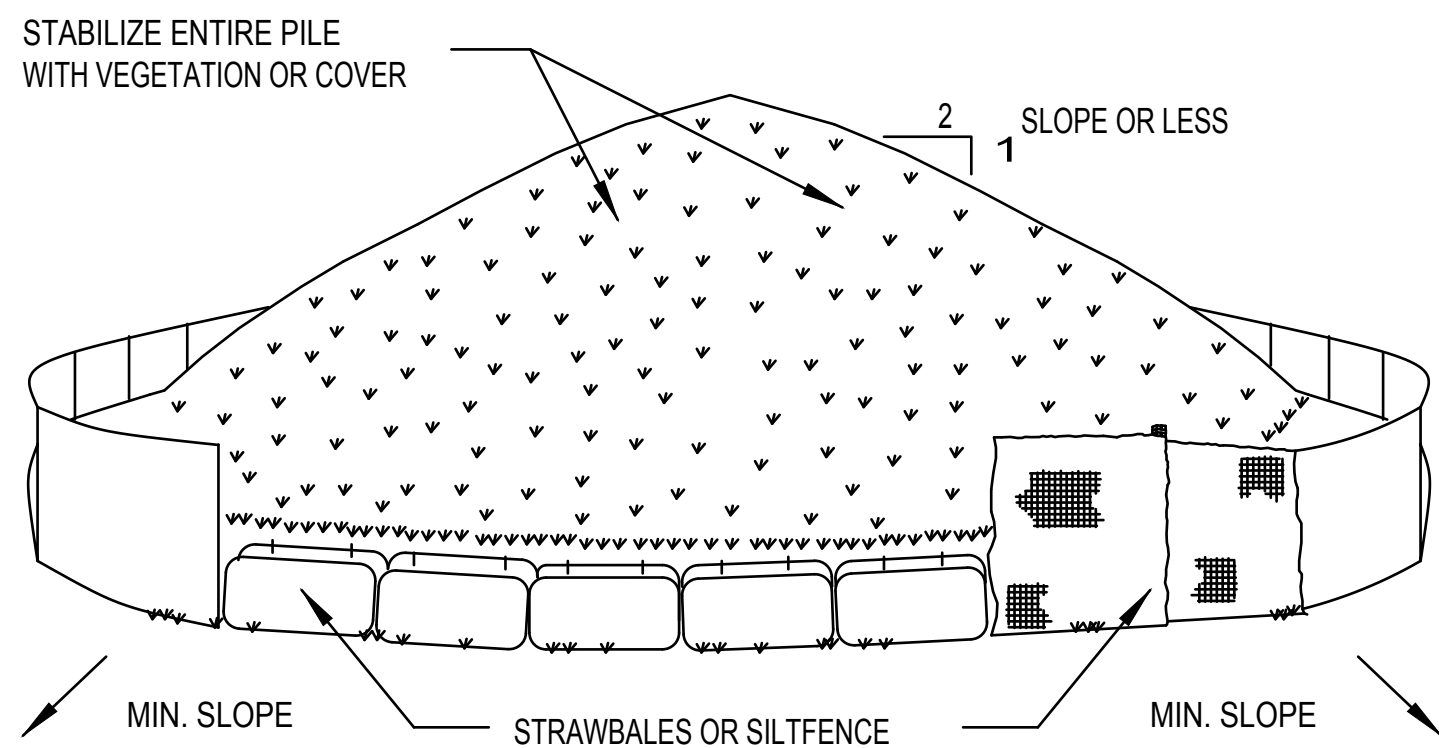
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

2. FILTER CLOTH TO BE FASTENED SECURELY TO 2\"/>
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. MAINTENCE SHALL BE PERFORMED AS NEEDED

FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL

SILT FENCE DETAIL

N.T.S.



INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPIILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPIILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

STOCKPILE DETAIL

N.T.S.

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- The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
- The Architect is not responsible for Construction Phase. Administration of the construction process shall be the responsibility of the Owner.
- Existing conditions (if applicable) should be verified in the field.
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SPECIAL NOTES

Rev. No.	By	Date	Description



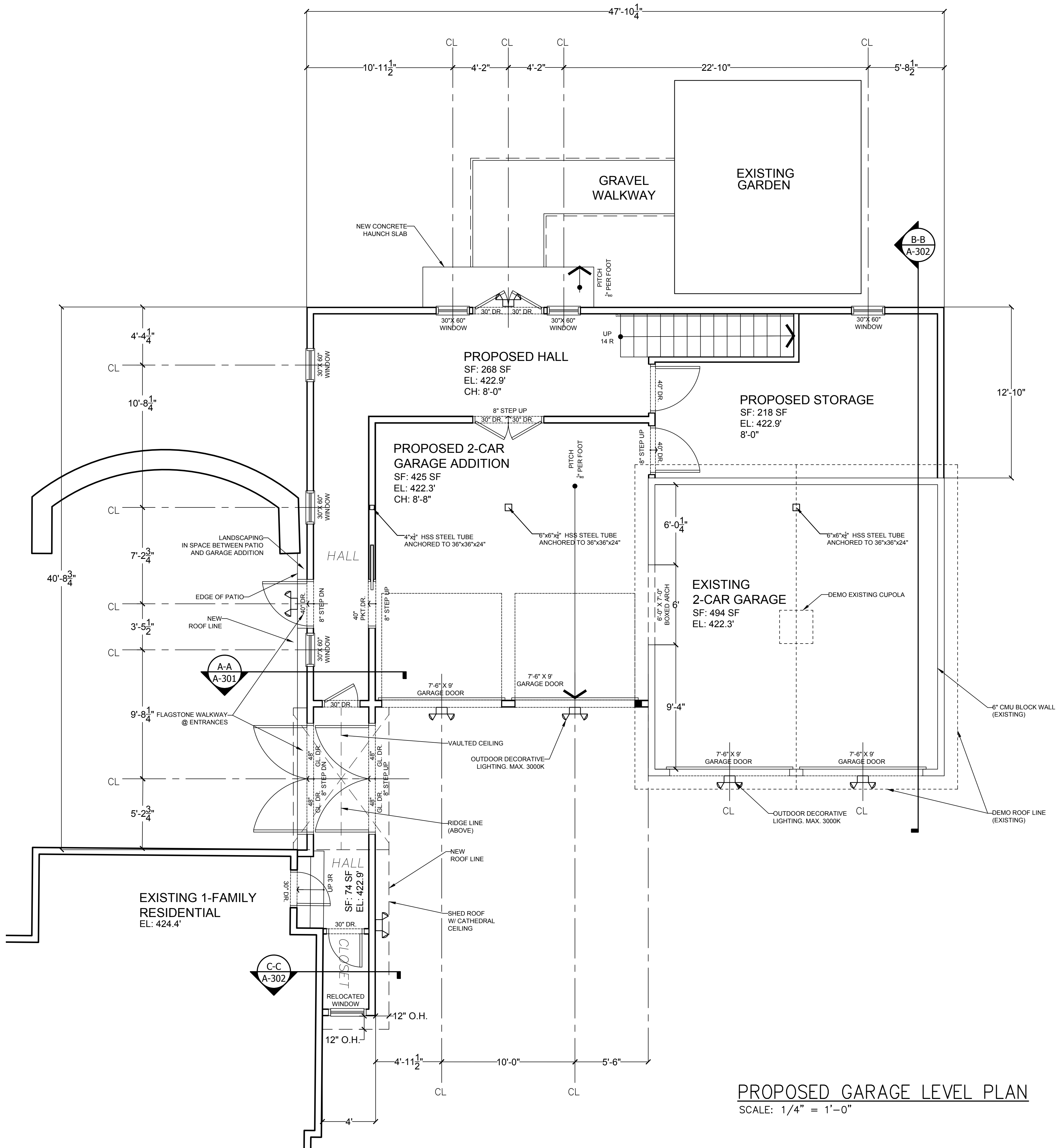
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scale:	as noted
drawn by:	mi/rog
project no.	19-033
proposed residence for:	mark seiden
project:	49 croton dam road, ossining, ny 10562
architects/planners:	gemmola & associates
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

SY-102

NOTES:

- ALL OUTDOOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES
- THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN
- THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK TILL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED
- THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3000 DEGREES KELVIN

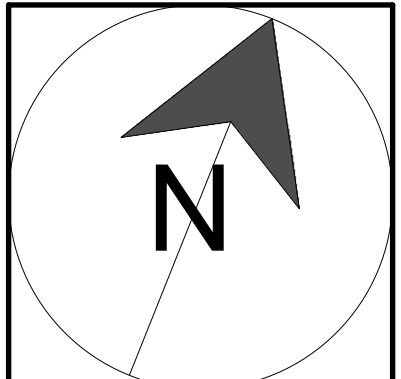


PROPOSED GARAGE LEVEL PLAN
SCALE: 1/4" = 1'-0"

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- The Architect is not responsible for Construction Phase. Administration of the construction of the project is the responsibility of the Contractor.
- The information shown on this drawing is purposed to be accurate but not guaranteed. Existing conditions (if applicable) should be verified in the field.

SPECIAL NOTES

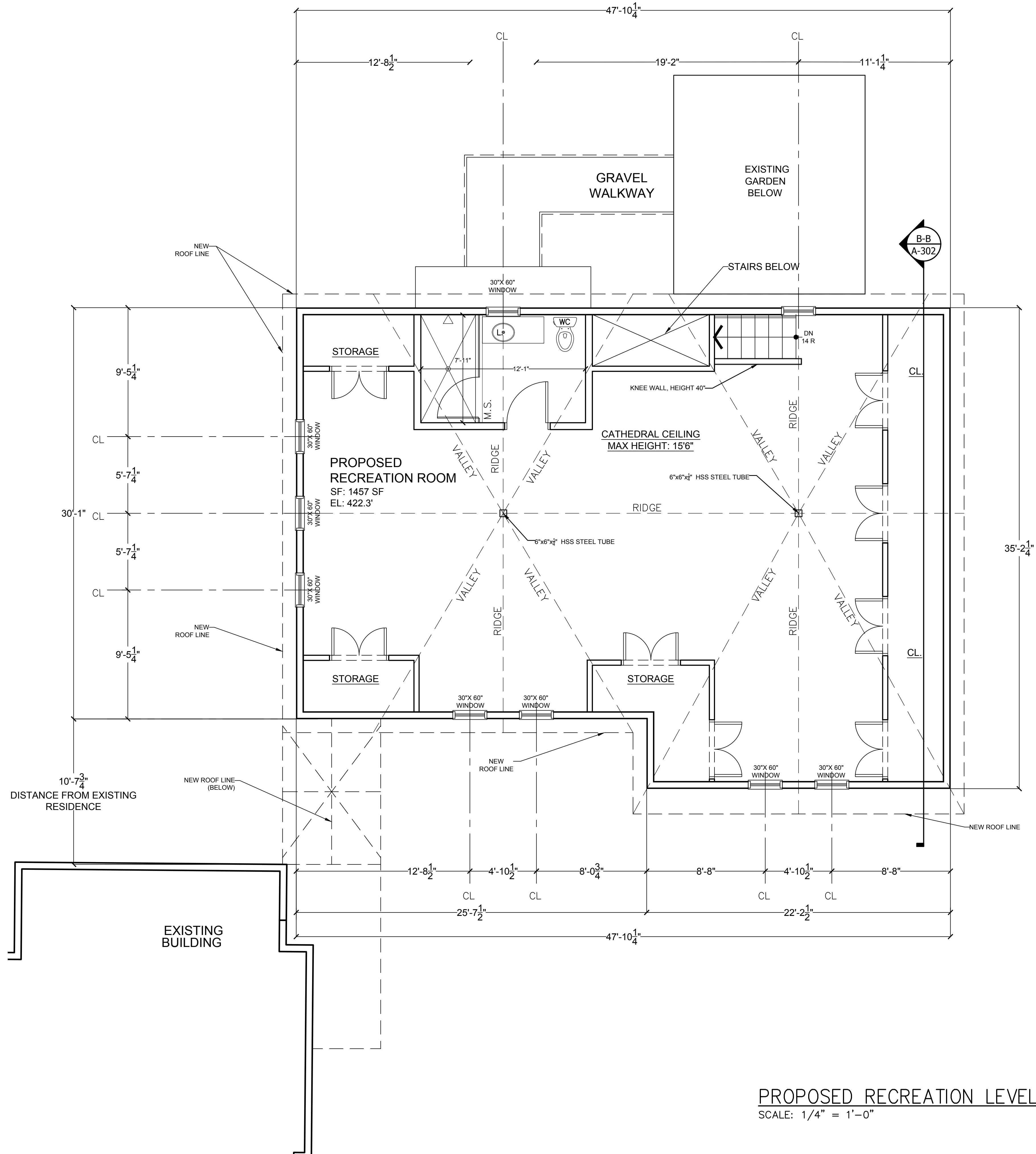
Rev. No.	By	Date	Description
6	MI	12/07/20	general revisions
5	MI	11/18/20	general revisions
4	MI	10/29/20	general revisions
3	MI	10/29/20	general revisions
2	MI	07/14/20	general revisions
1	MI	07/10/20	revisions made as per meeting with owner



drawing title:	proposed garage plan
date:	12/03/20
scale:	as noted
drawn by:	mi/agg
project no.:	19-033
proposed residence for:	mark seiden
project:	149 craton dam road, ossining, ny 10562
architects/planners:	gemmola & associates
address:	377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

A-101

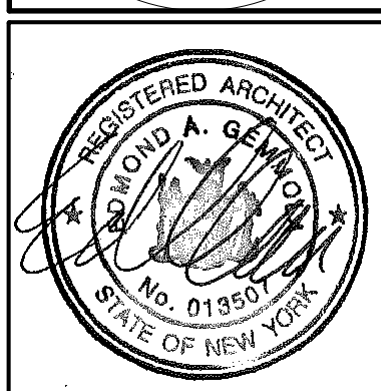
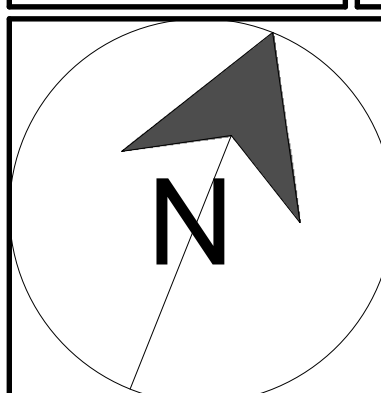


PROPOSED RECREATION LEVEL PLAN
SCALE: 1/4" = 1'-0"

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- These plans are the property of Gemmola & Associates Architects/Planners. Any use or reproduction in whole or part without the written authorization of Gemmola & Associates Architects/Planners is prohibited.
- The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
- The Architect is not responsible for Construction Phase. Administration of the construction shall be the responsibility of the Owner.
- The information shown on this drawing is for informational purposes only and is not to be used for construction.
- Existing conditions (if applicable) should be verified in the field.

SPECIAL NOTES

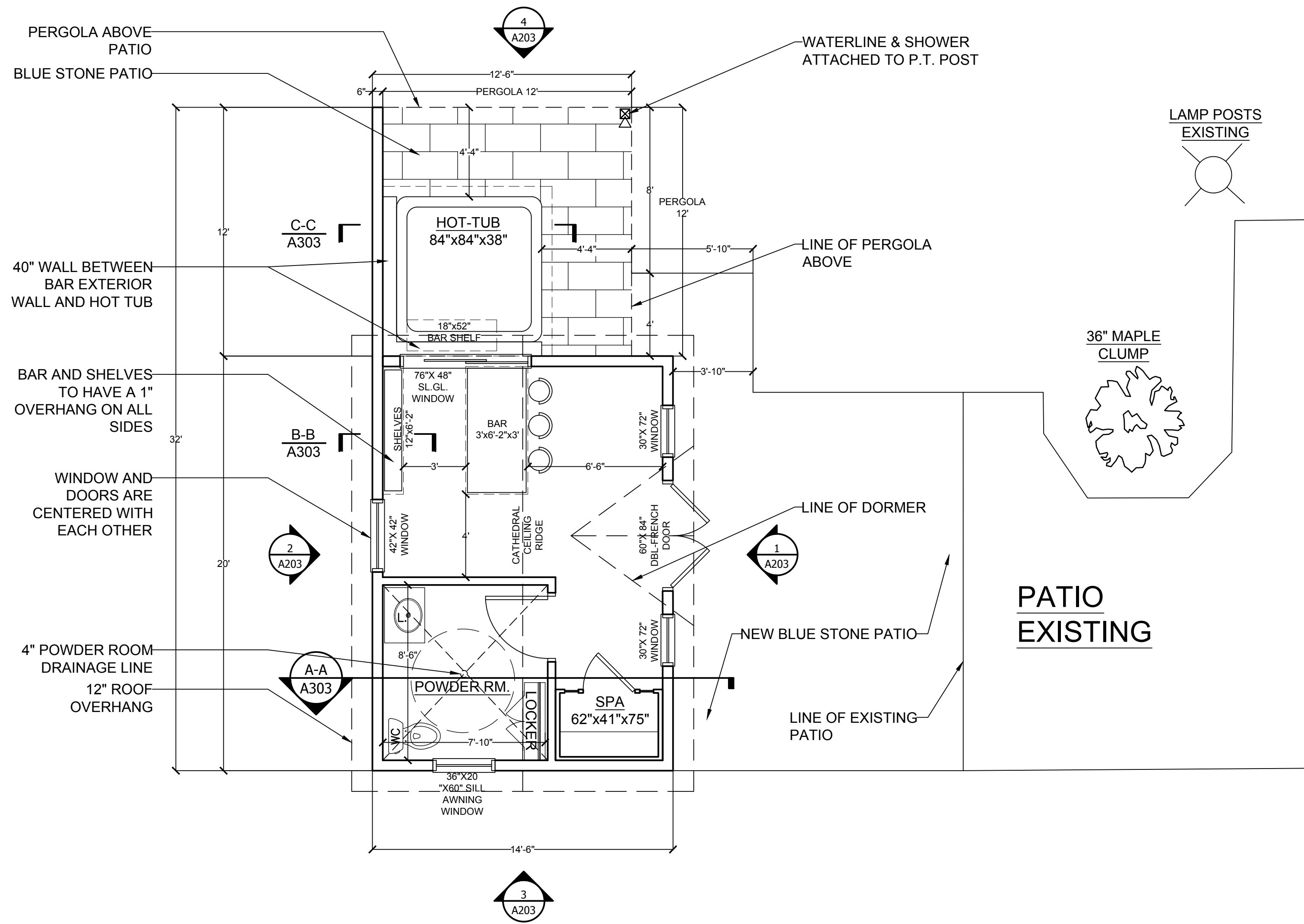
Rev. No.	By	Date	Description
7	MI	12/22/20	general revision
6	MI	12/01/20	general revision
5	MI	11/18/20	general revision
4	MI	10/20/20	general revision
3	MI	10/29/20	general revision
2	MI	07/14/20	general revision
1	MI	07/10/20	revisions made as per meeting with owner



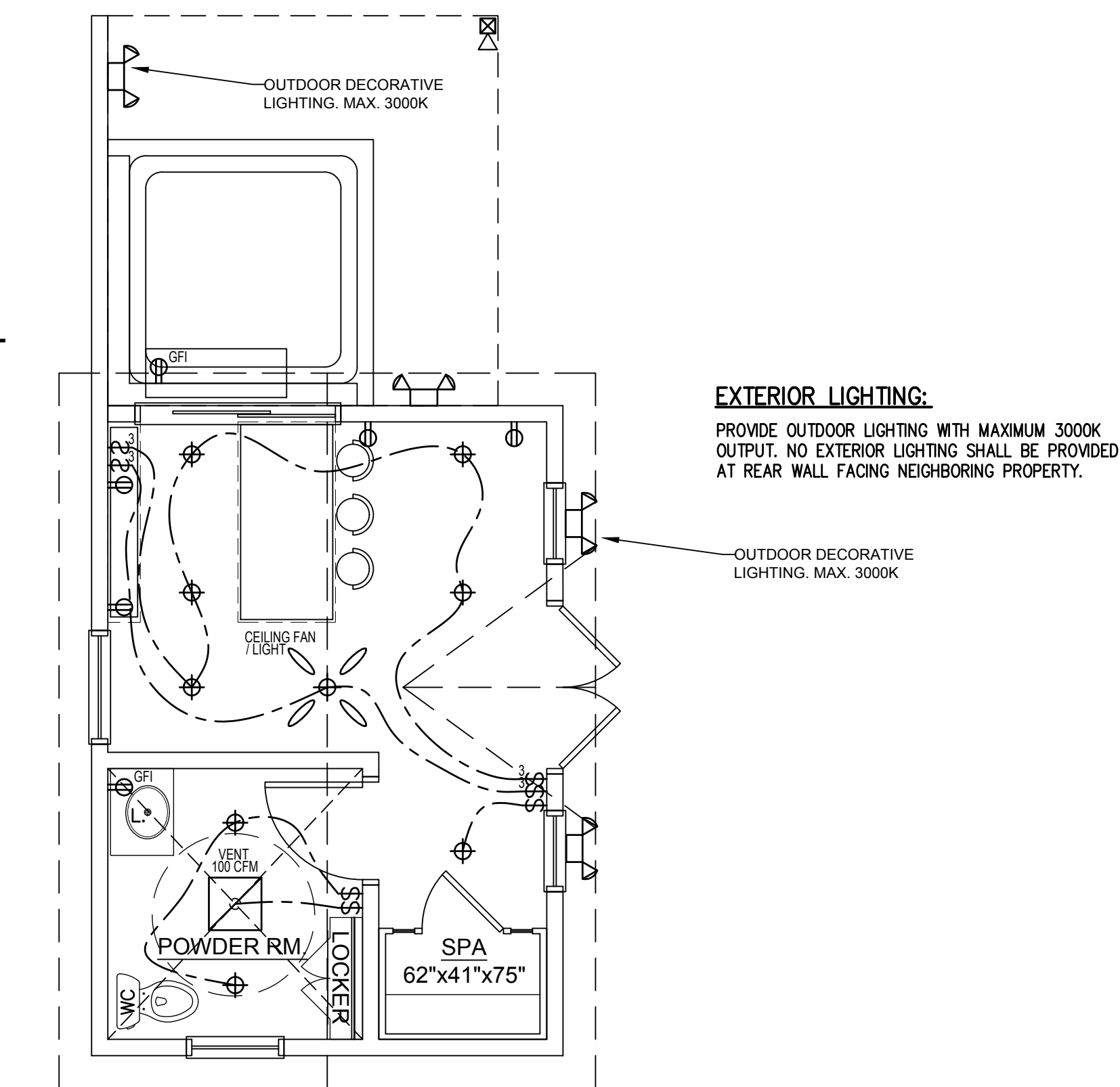
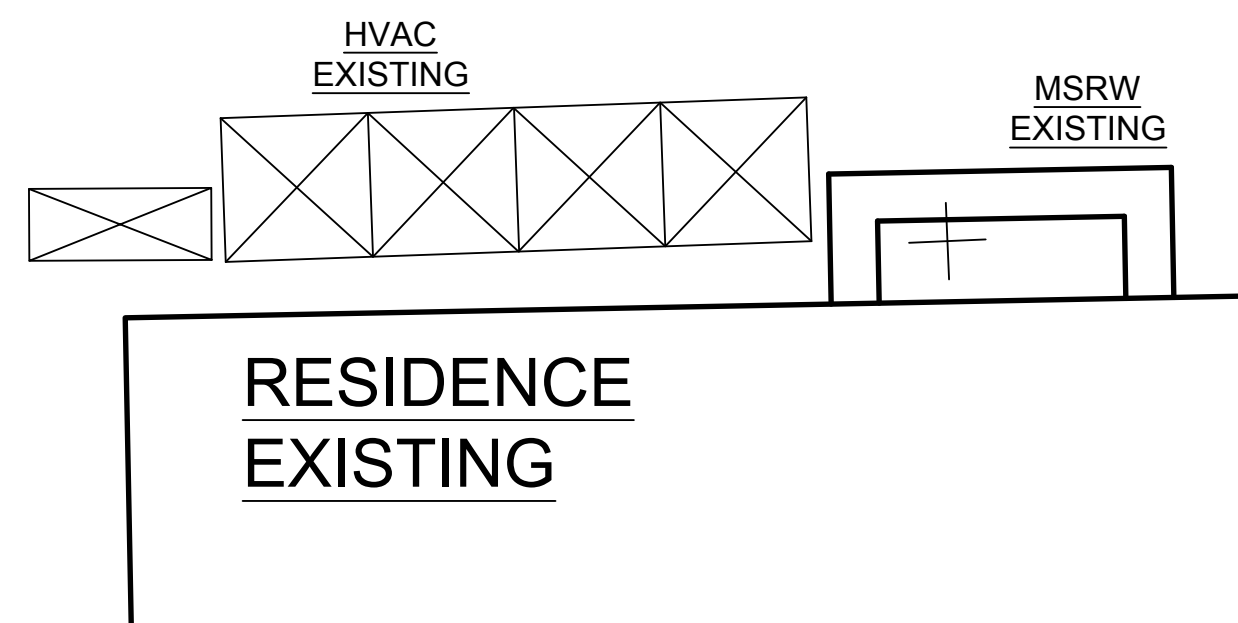
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project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
date:	12/22/20
scale:	as noted
drawn by:	mi/rog
project no.:	19-033
architects/planners:	gemma & associates
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

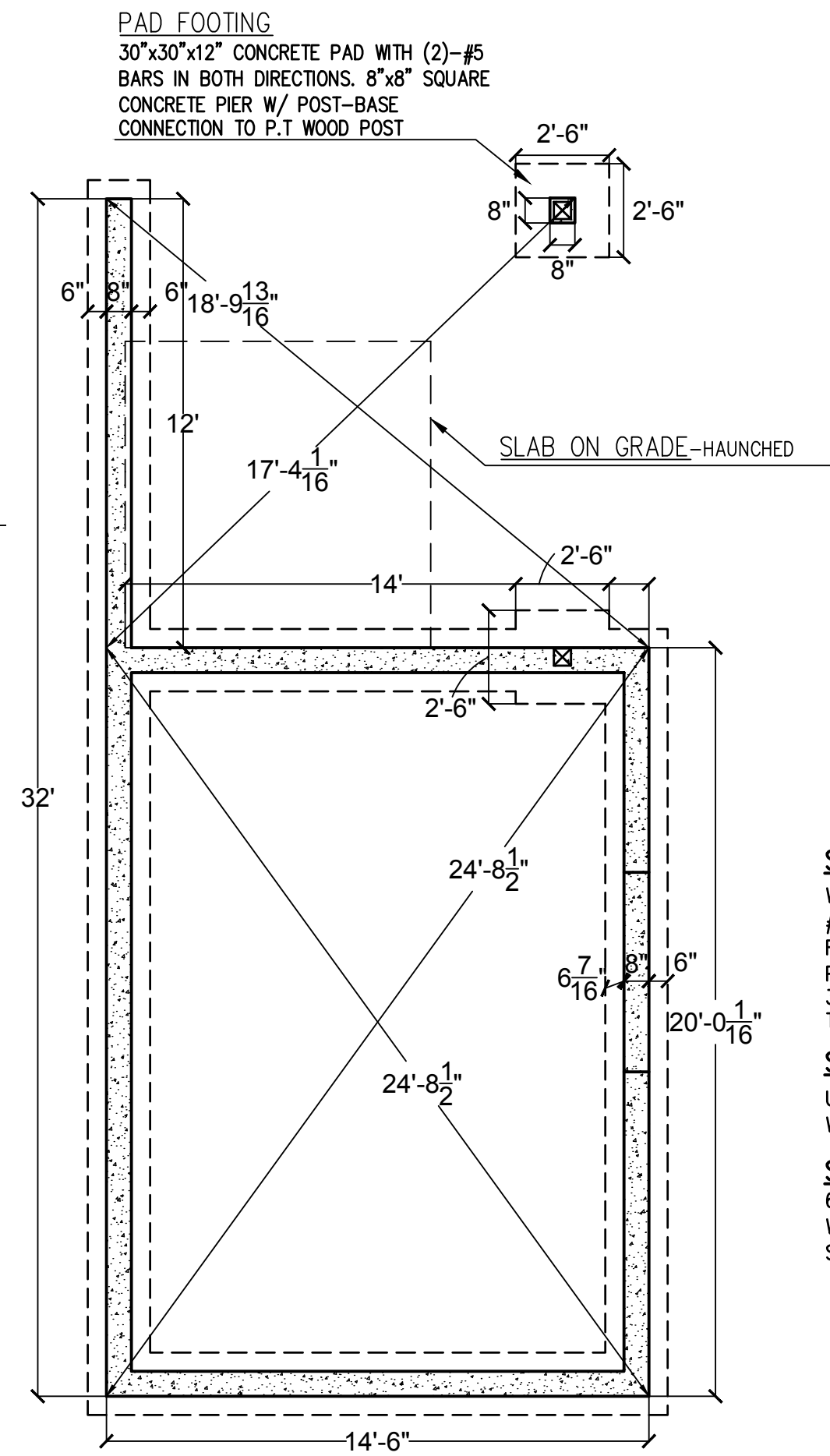
A-102



PROPOSED BAR-SHED PLAN
SCALE: 1/4" = 1'-0"



PROPOSED BAR-SHED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

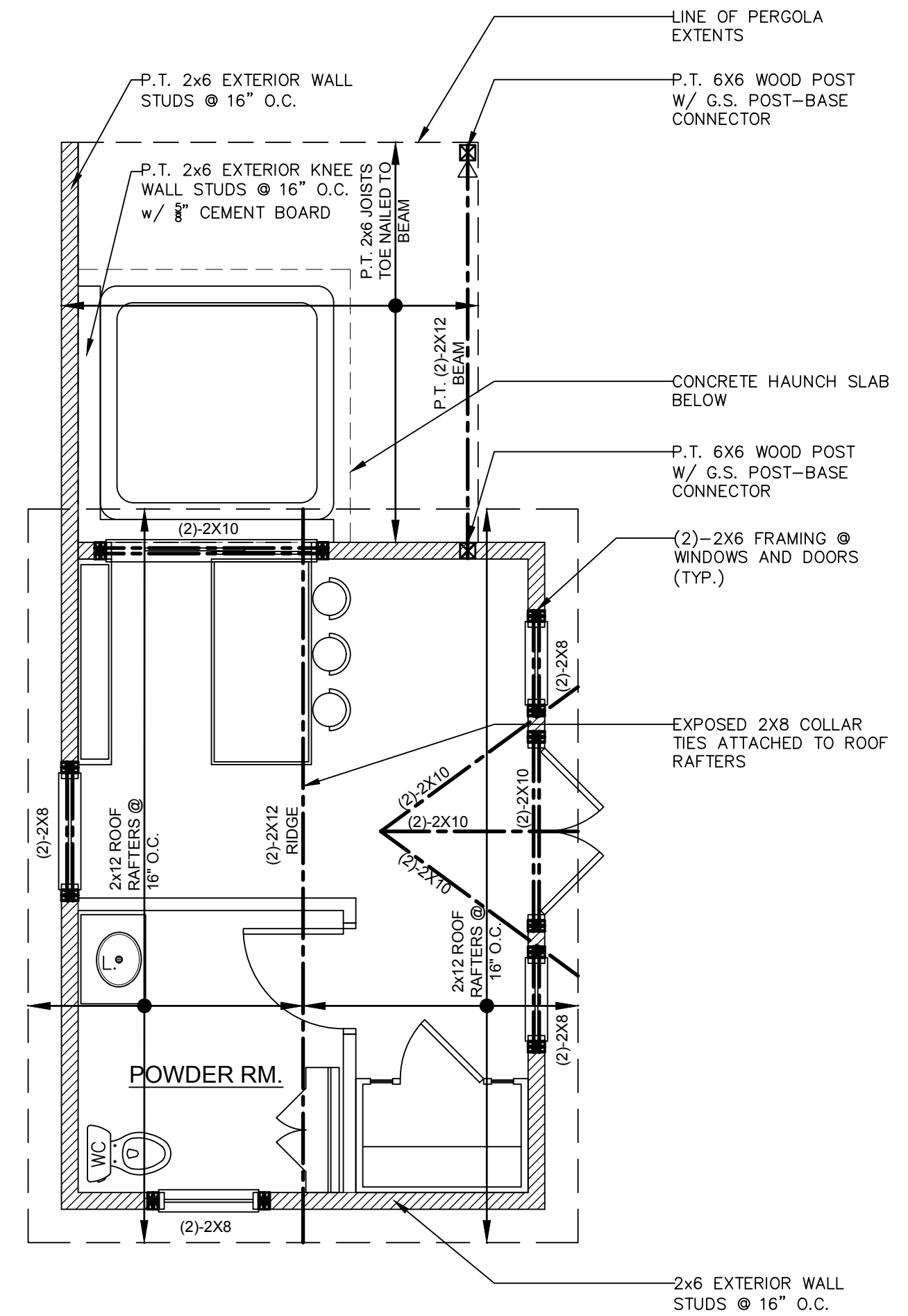


PROPOSED BAR-SHED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

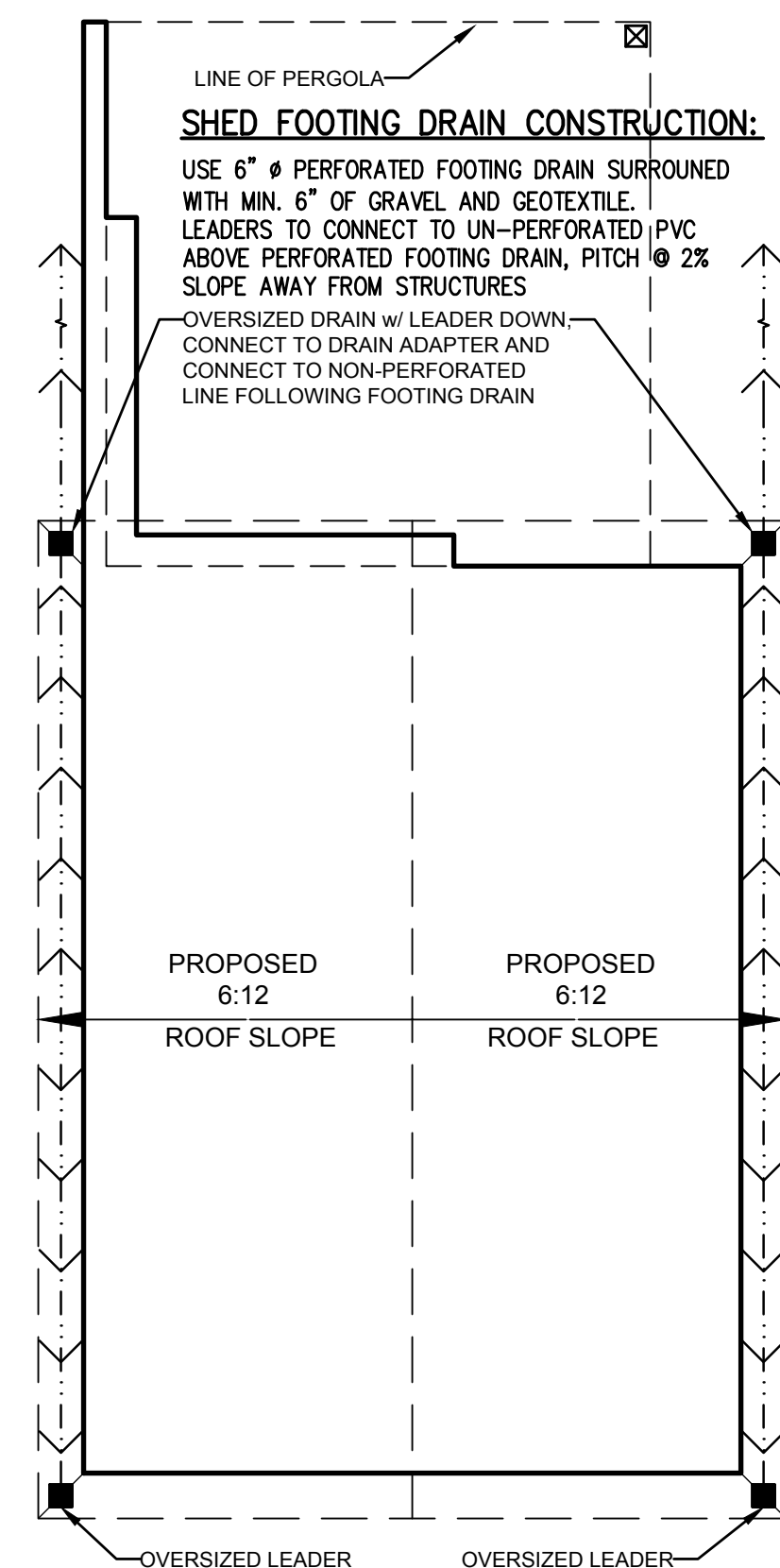
SHED FOUNDATION CONSTRUCTION:
W20 X H12 CONTINUOUS CONCRETE FOOTING w/ (2) #5 REBAR LAID FLAT, 42" BELOW FROST (TYPICAL). FOUNDATION WALL SHALL BE 8" CONCRETE. PERIMETER WALLS w/ POSTS INDICATED TO HAVE 30x30x12 EXPANDED FOOTING. 6X6 WOOD COLUMN TO CONNECT TO 30x30x20 PAD FOOTING.

SHED FOOTING DRAIN CONSTRUCTION:
USE 6" Ø PERFORATED FOOTING DRAIN SURROUNDED WITH MIN. 6" OF GRAVEL AND GEOTEXTILE.

SHED SLAB CONSTRUCTION:
6" POURED CONCRETE SLAB WITH 66-W1.4XW1.4 WWF ON 6 MIL VAPOR BARRIER OVER 6" CRUSHED STONE/GRAVEL BED



PROPOSED BAR-SHED STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

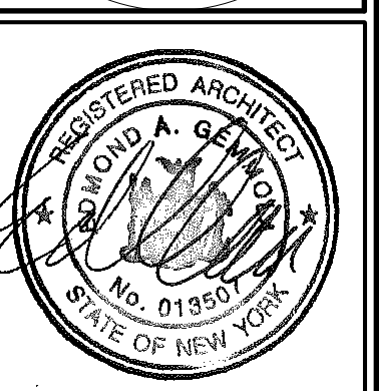
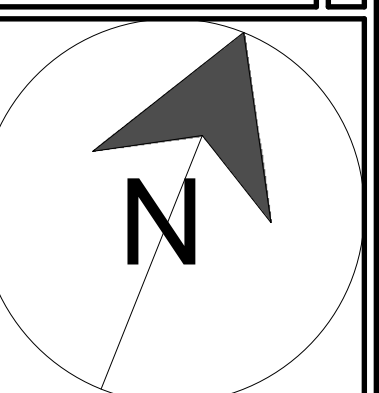


PROPOSED BAR-SHED ROOF PLAN
SCALE: 1/4" = 1'-0"

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The construction documents do not include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
The Architect is not responsible for Construction Phase. Administration of the construction information shown in this drawing is the responsibility of the Contractor.
Existing conditions (if applicable) should be verified in the field.
Scale drawings.
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SPECIAL NOTES

Rev. No.	By	Date	Description
8			general revision
7			general revision
6			general revision
5			general revision
4			general revision
3			general revision
2			general revision
1			revisions made as per meeting with owner



drawing title: **proposed outdoor bar-shed plans**

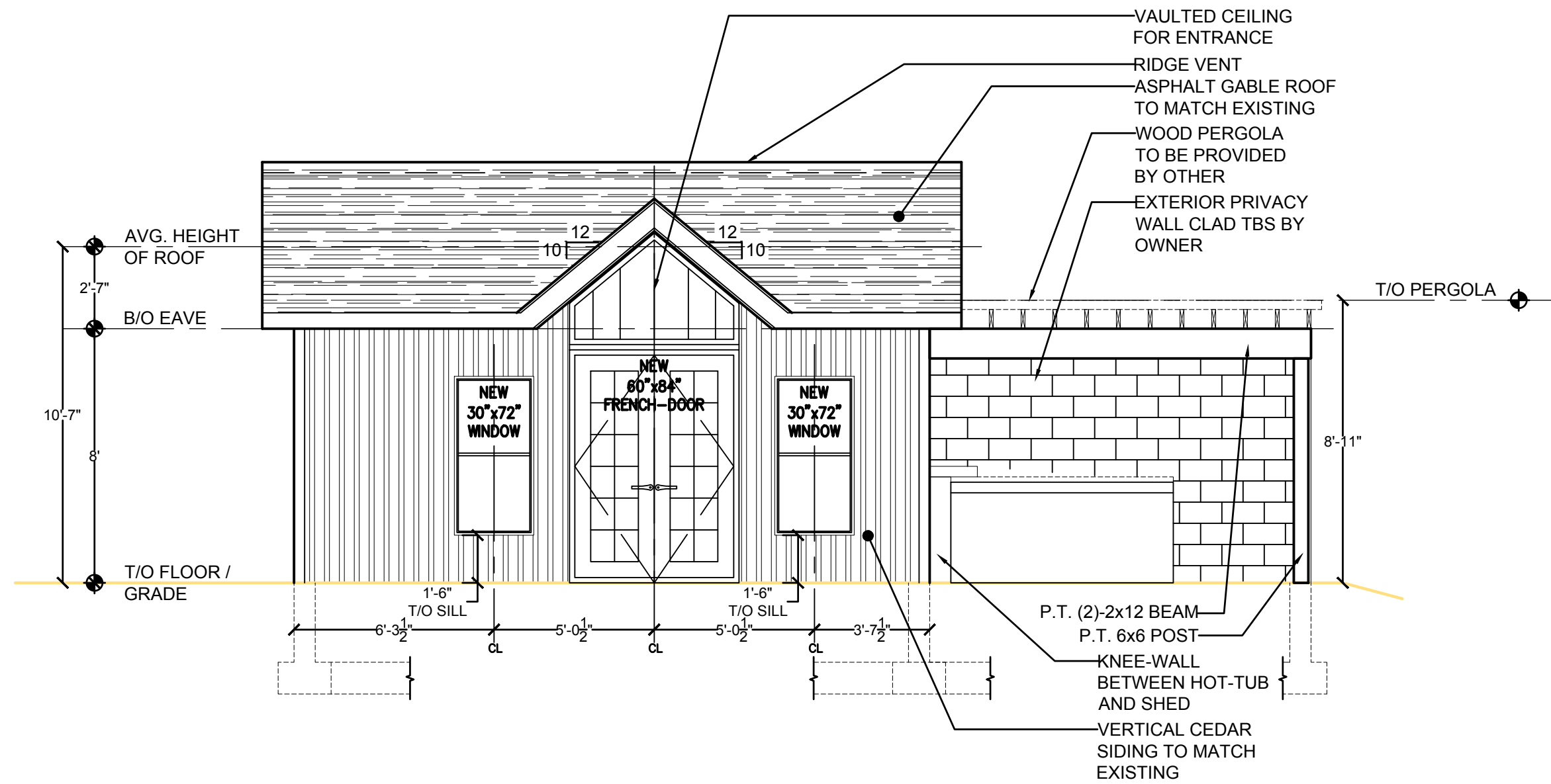
project: **proposed residence for: mark selden**
49 croton dam road, cossing, ny 10562

date: 12/22/20
scale: as noted
drawn by: ml/rog
project no.: 19-033

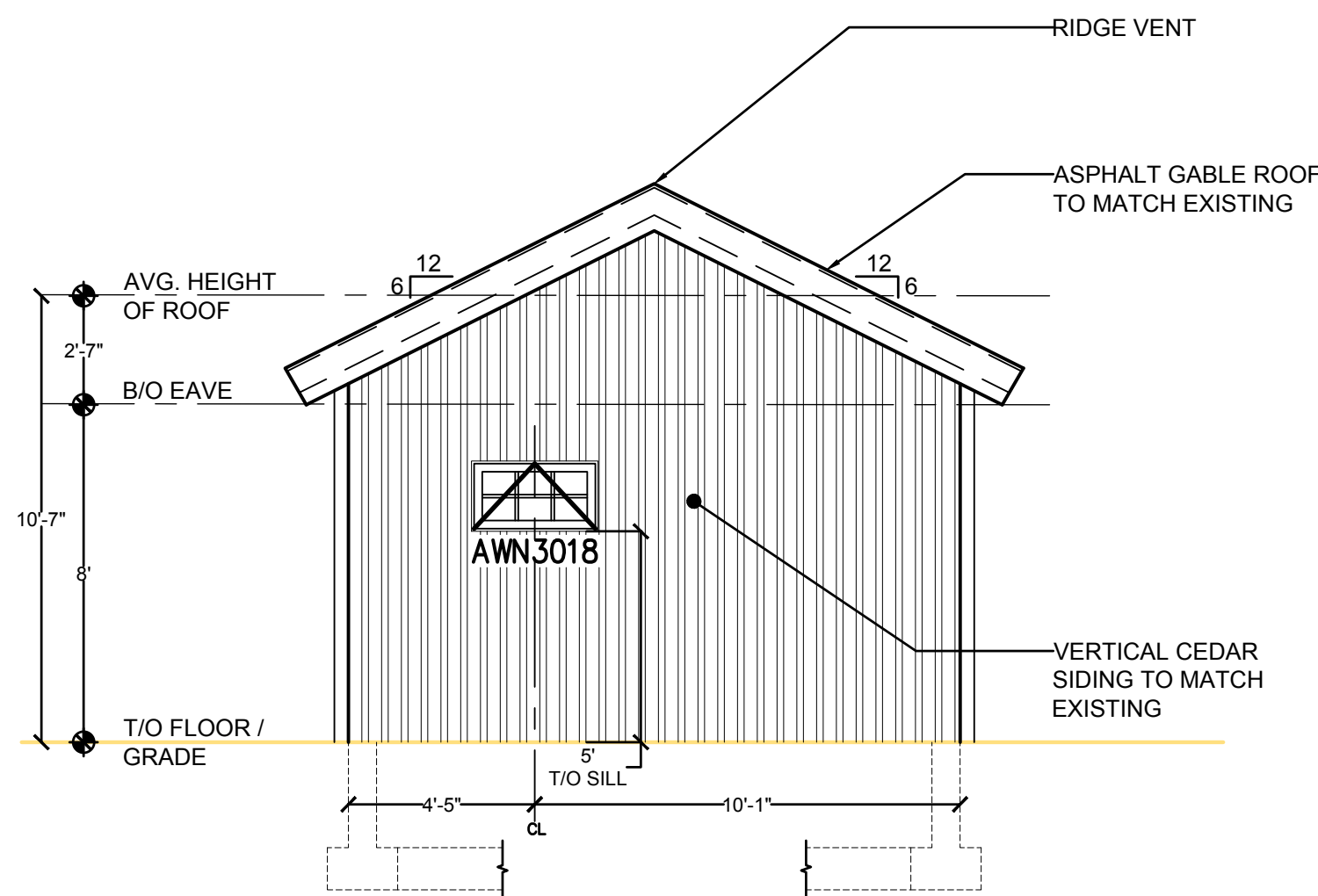
gemma & associates architects/planners
377 elwood avenue, hawthorne, new york 10532 tel: (914) 862-0202 fax: (914) 862-0204

drawing no.

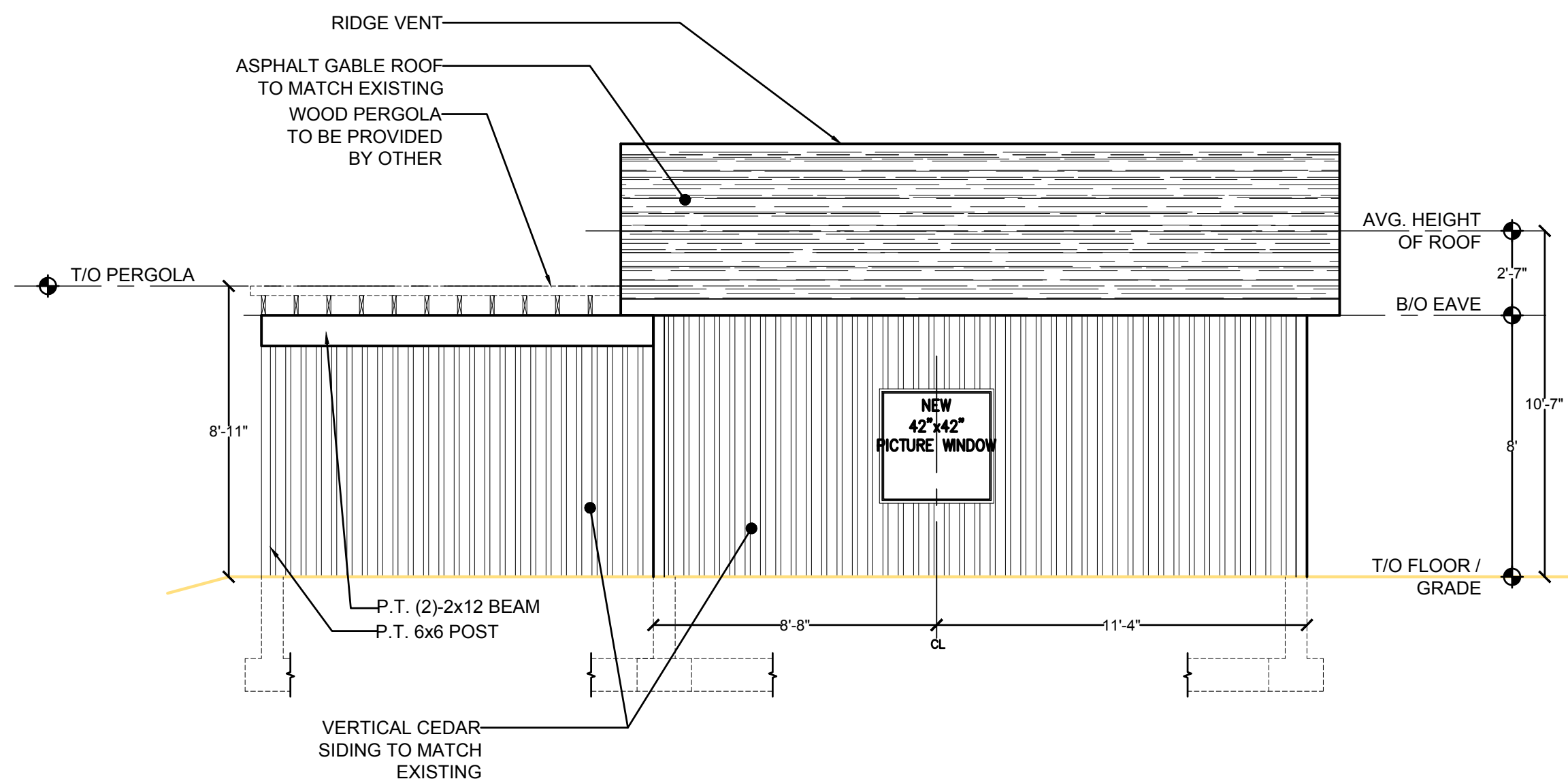
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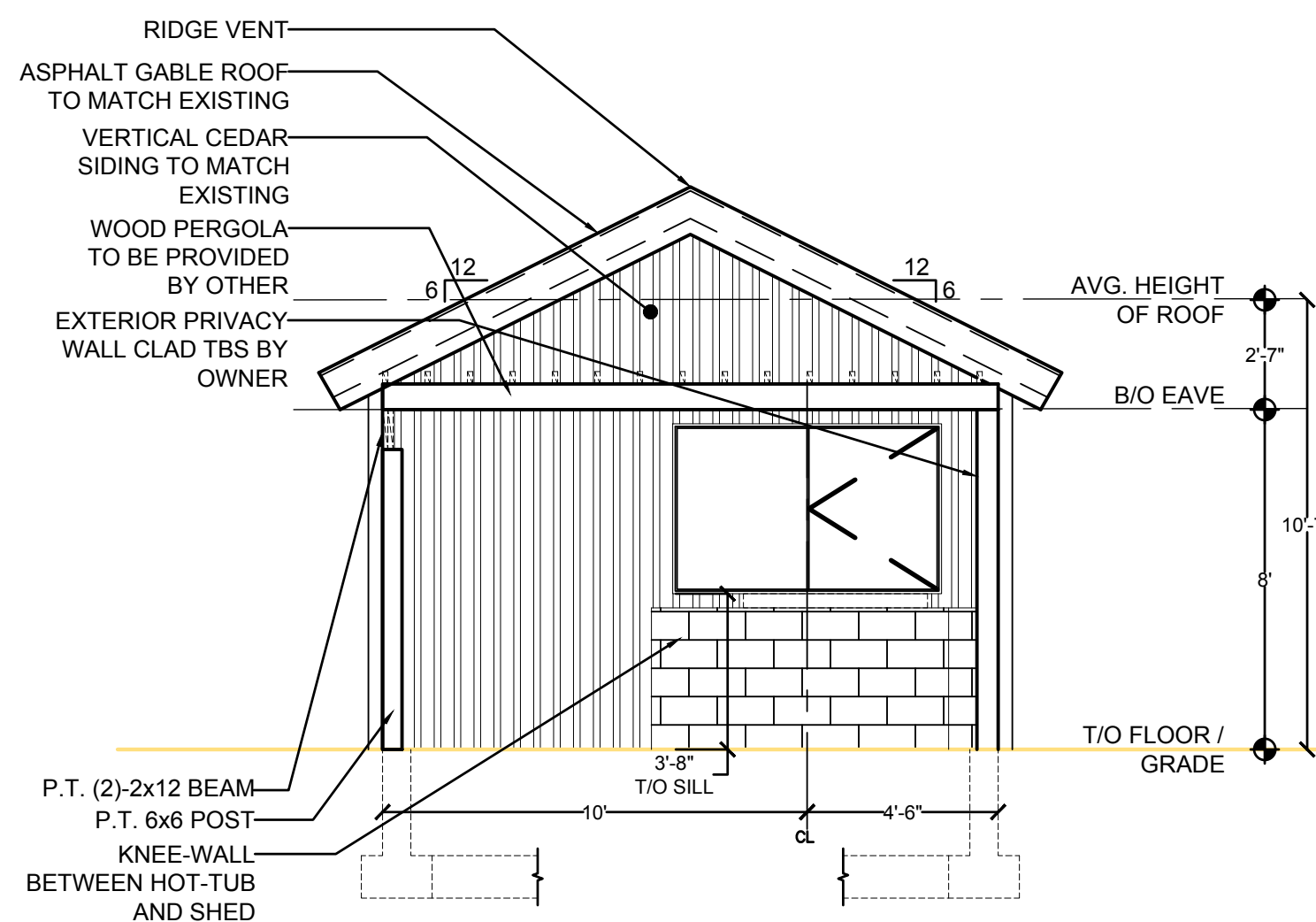
PROPOSED FRONT ELEVATION-1
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION-3
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION-2
SCALE: 1/4" = 1'-0"

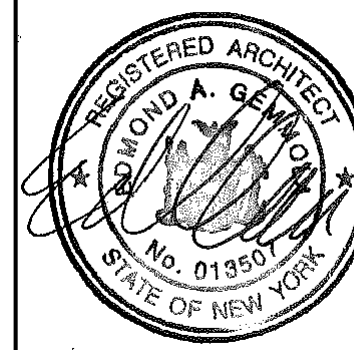


PROPOSED RIGHT ELEVATION-4
SCALE: 1/4" = 1'-0"

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SPECIAL NOTES

Rev. No.	By	Date	Description
7	MI	12/03/20	general revision
6	MI	12/01/20	general revision
5	MI	11/18/20	general revision
4	MI	10/29/20	general revision
3	MI	10/29/20	general revision
2	MI	07/14/20	general revision
1	MI	07/10/20	revisions made as per meeting with owner



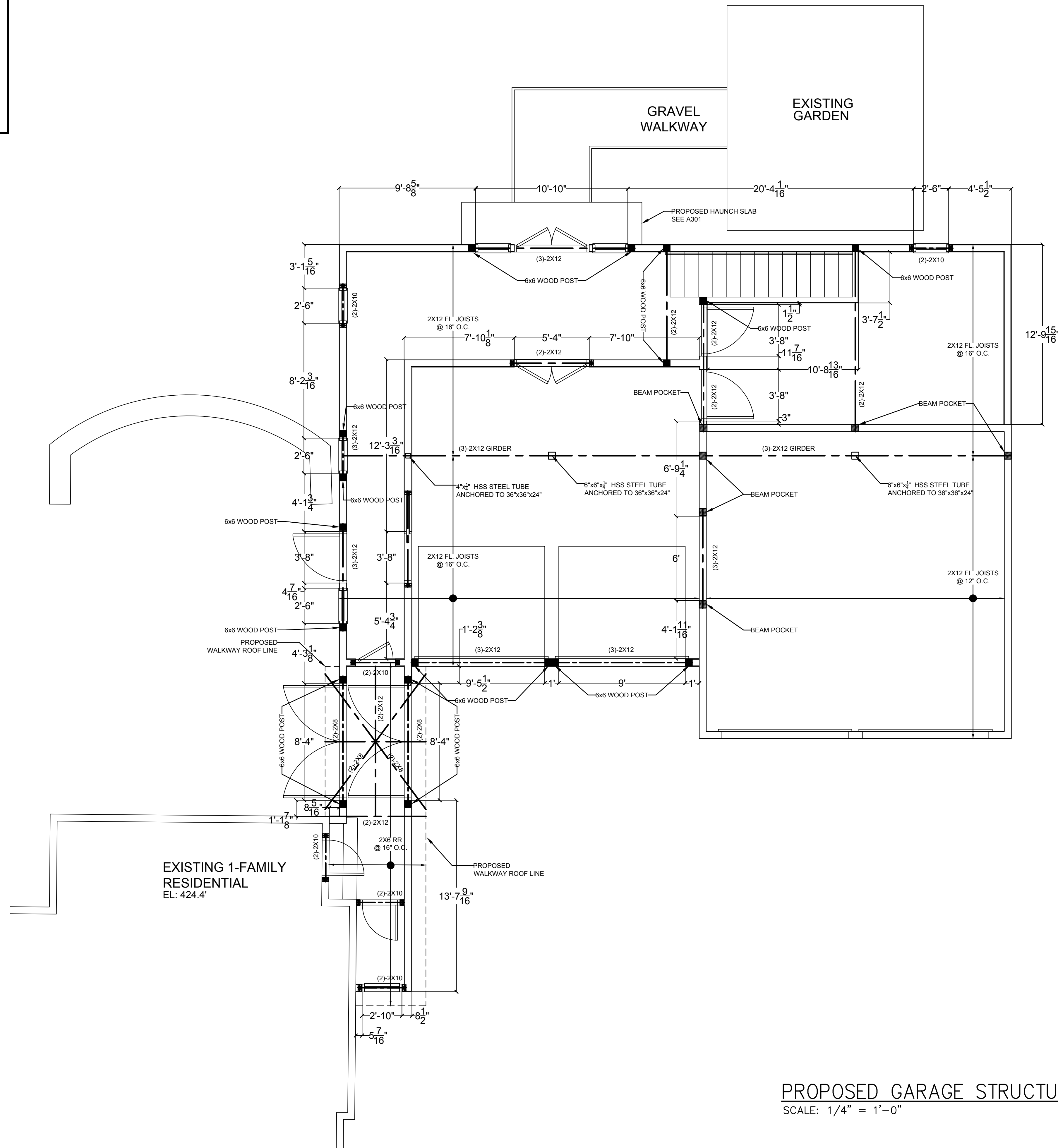
proposed elevations
proposed residence for:
mark seiden
149 croton dam road, cossing, ny 10562
gemmola & associates architects/planners
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204
date: 12/03/20
scale: as noted
drawn by: mi/rog
project no. 19-033

drawing no.

A-203

NOTES!

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @
JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON
STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW
FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF
STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



PROPOSED GARAGE STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

and are for the construction of test building only whose name appears on the plans.

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The Architect is not responsible for Construction Phase. Administration of the construction contract is the responsibility of the Owner.

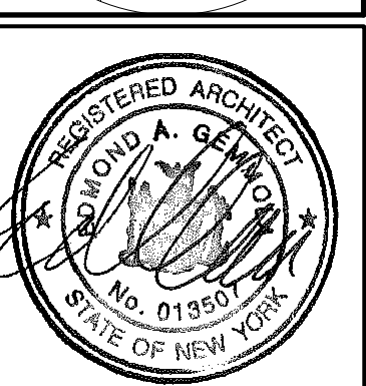
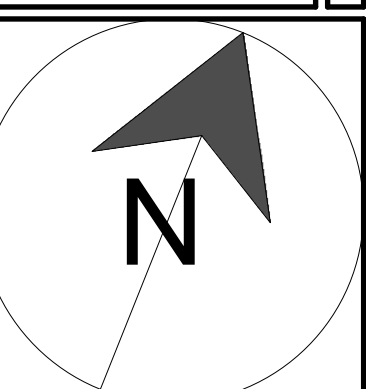
Any and all work not specified in the contract documents shall be performed in accordance with the following conditions (if applicable) shall be verified in the field.

- Do not scale drawings.

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SPECIAL NOTES

rev. no.	by	date	description
6	MI	12/01/20	general revisions
5	MI	11/18/20	general revisions
4	MI	10/30/20	general revisions
3	MI	10/29/20	general revisions
2	MI	07/14/20	general revisions
1	MI	07/10/20	revisions made as per meeting with owner



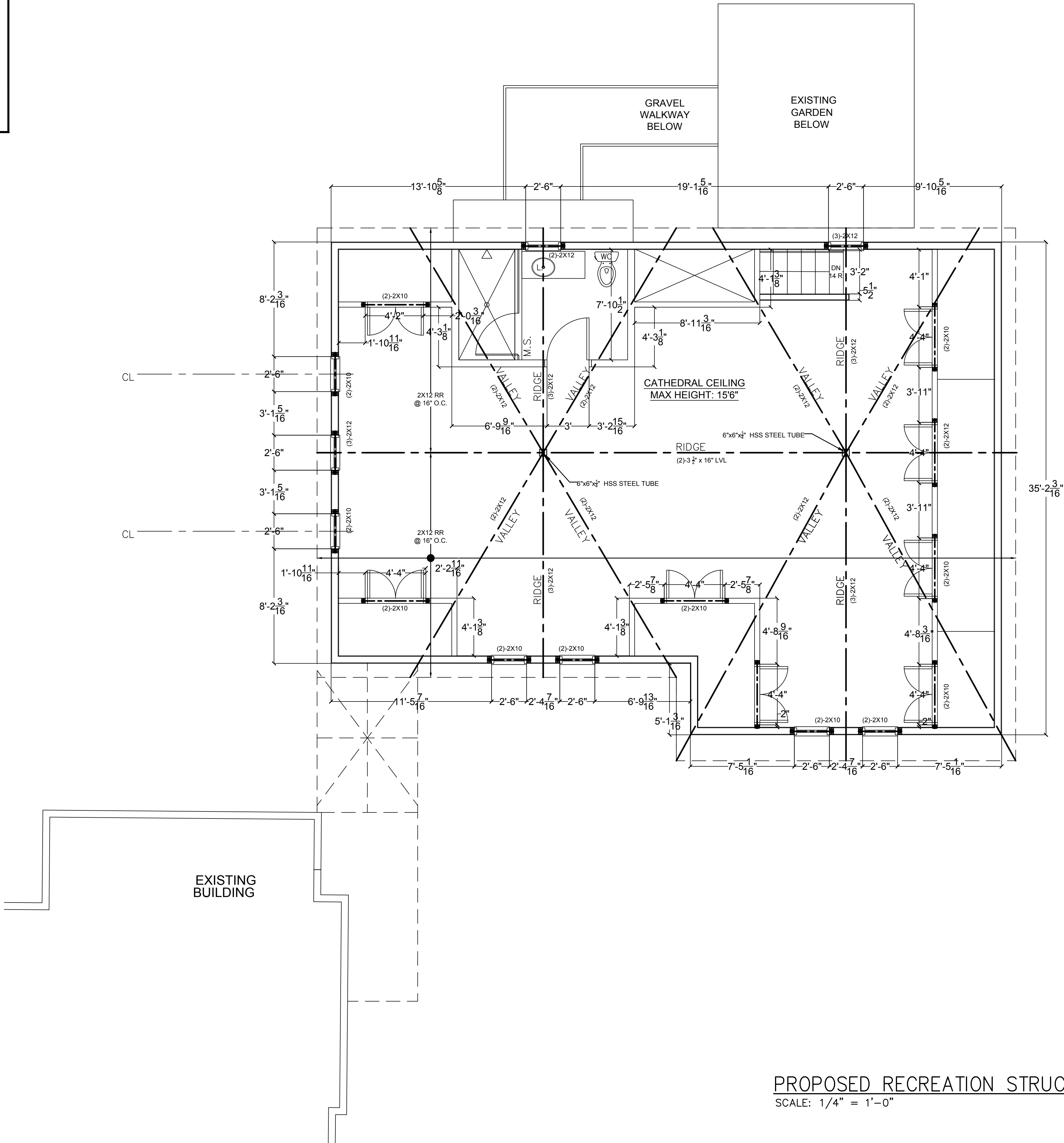
proposed garage level structure	project: proposed residence for: mark seiden 49 croton dam road, ossining, ny 10562 date: 12/03/20 scale: as noted drawn by: ml/sag project no.: 19-033
gemmella & associates architects/planners 317 alwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

S-101

NOTES!

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED

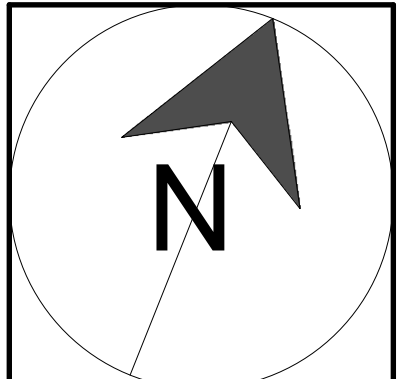


PROPOSED RECREATION STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

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The construction documents do not include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
The Architect is not responsible for Construction Phase. Administration of the construction documents is the responsibility of the Contractor. The information shown in this drawing is purposed to be accurate but not guaranteed.
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SPECIAL NOTES

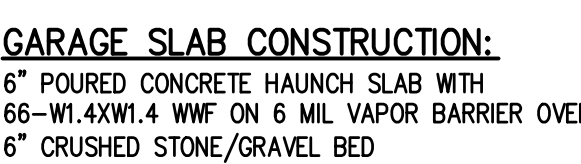
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6	MI	12/07/20	general revisions
5	MI	11/08/20	general revisions
4	MI	10/29/20	general revisions
3	MI	10/29/20	general revisions
2	MI	07/14/20	general revisions
1	MI	07/10/20	revisions made as per meeting with owner



drawing title:	proposed recreation level structure
project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
date:	12/03/20
scale:	as noted
drawn by:	mi/rog
project no.:	19-033
architects/planners:	germola & associates
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

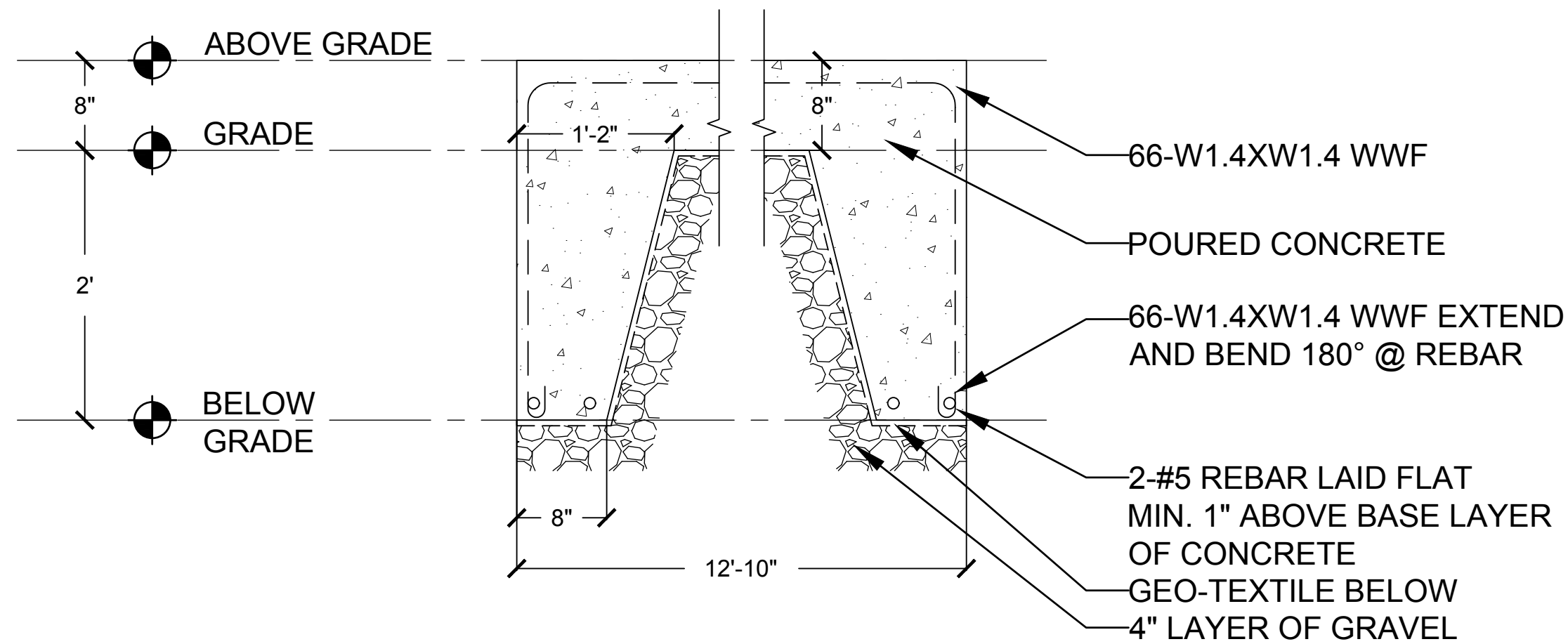
S-102



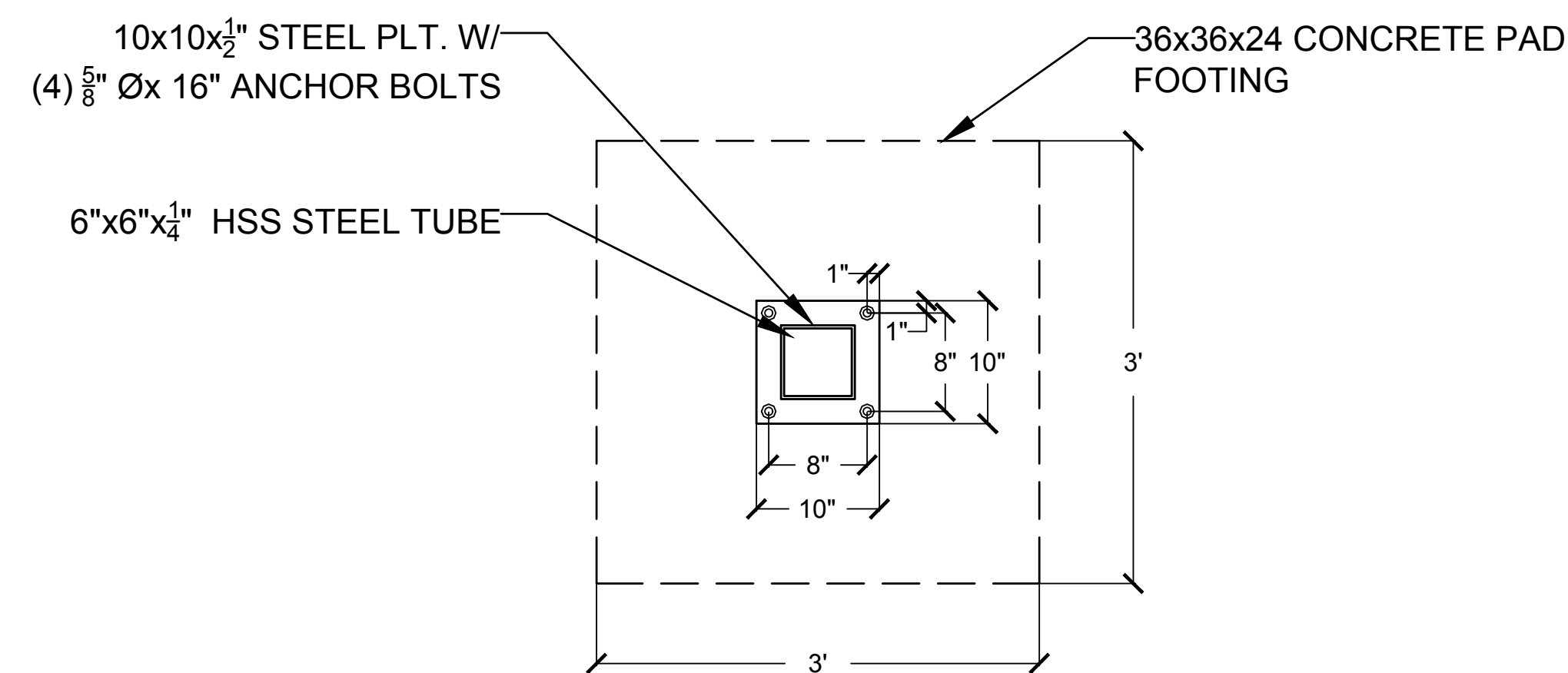
SCALE: $1/4" = 1'-0"$

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- The Contractor shall be responsible for obtaining all permits required by local authorities for reproduction in whole or part without the written authorization of Cermak & Associates.
- The Contractor shall be responsible for obtaining all permits required by local authorities for alterations/modifications to existing conditions.
- It is acknowledged that the Contractor's cooperation using plans without proper architect/seal/stamp is prohibited.
- The construction documents do not indicate/provide the scope of work of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
- The Architect is not responsible for Construction Phase. Administration of the construction contract is the responsibility of the Owner.
- The Contractor shall be responsible for the design of the work proposed to be constructed.
- Existing conditions (if applicable) should be verified in the field.
- Do not scale drawings.

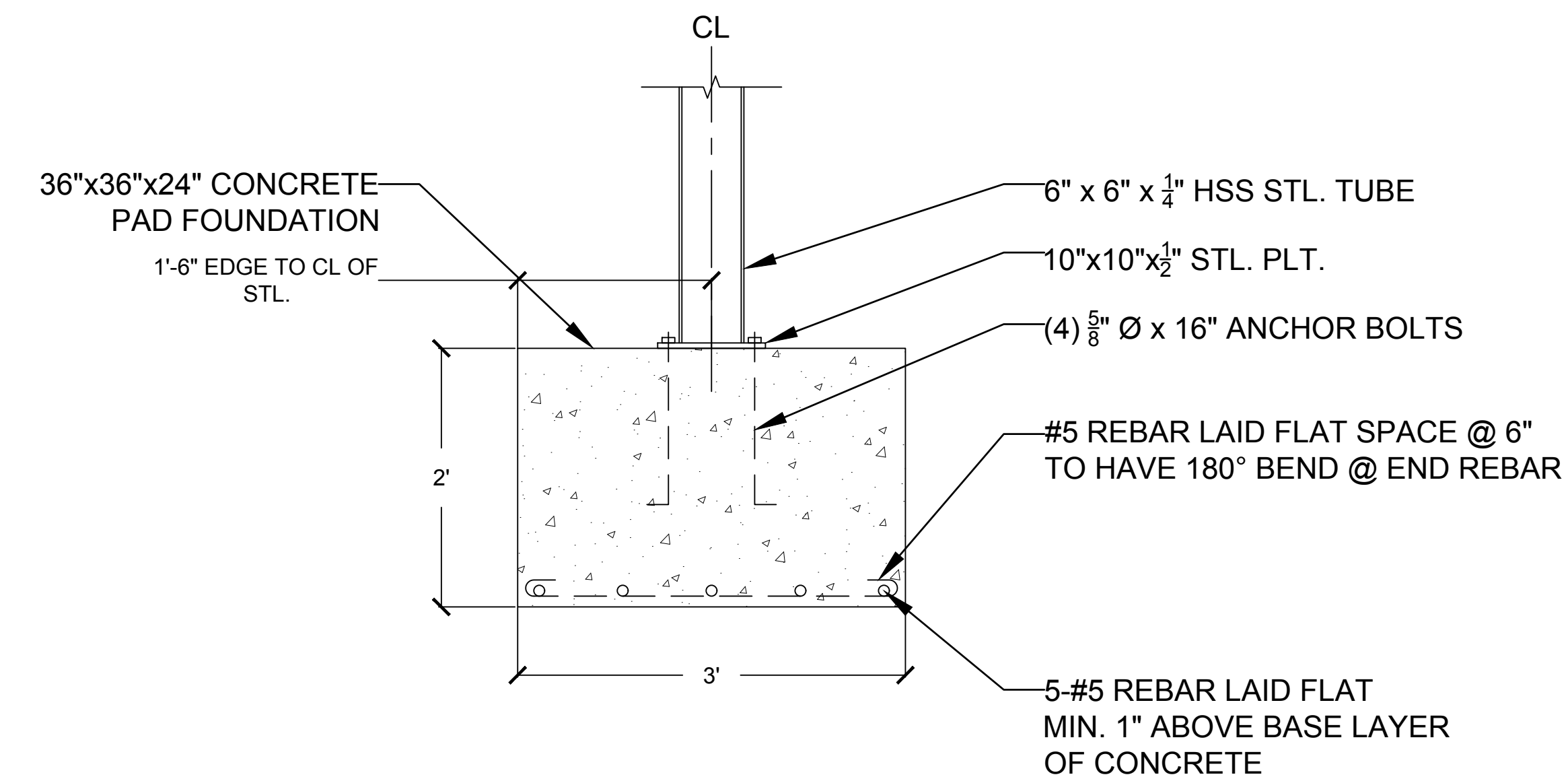
F-10'



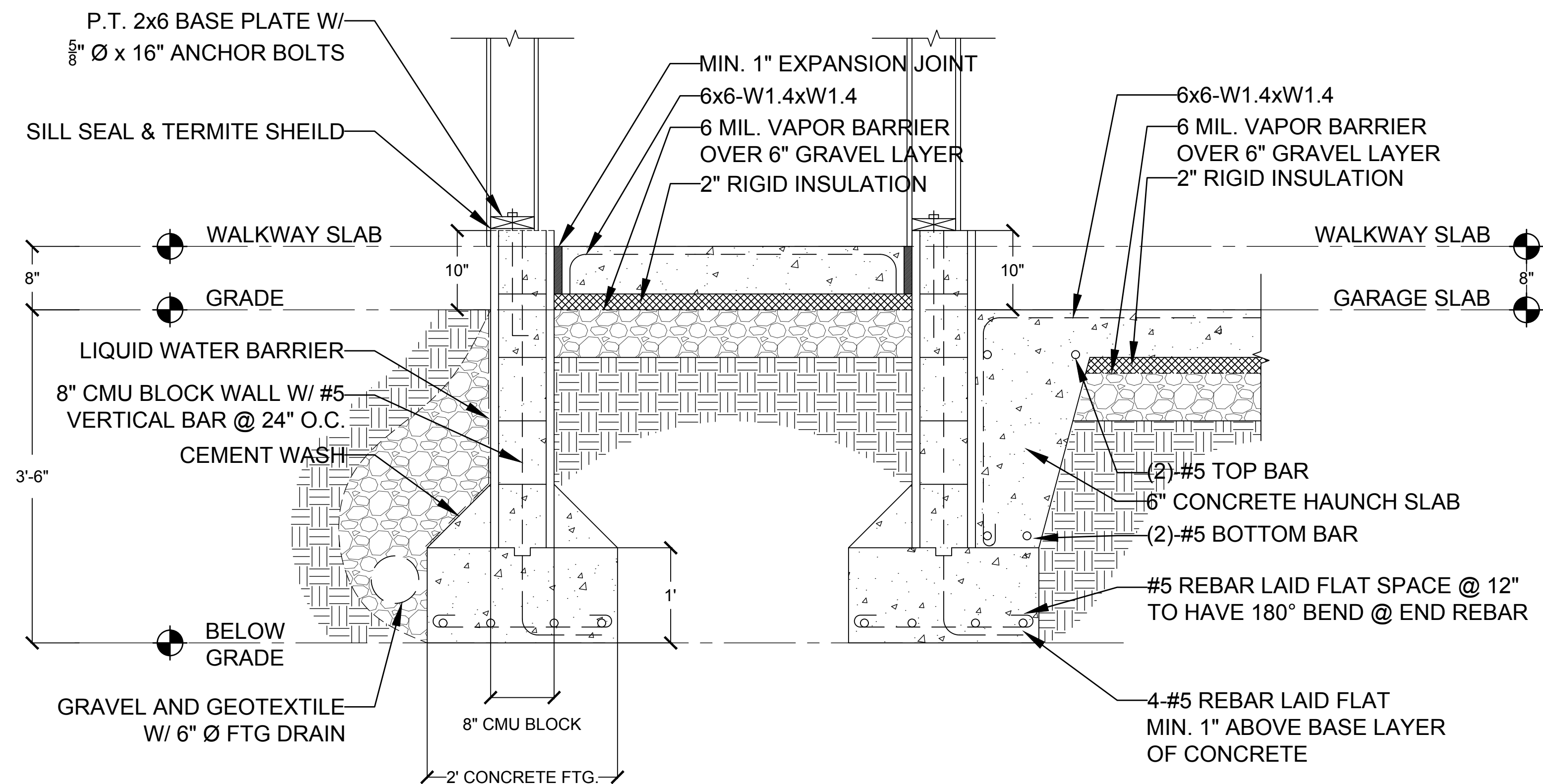
HAUNCH SLAB DETAIL
SCALE: 1" = 1'-0"



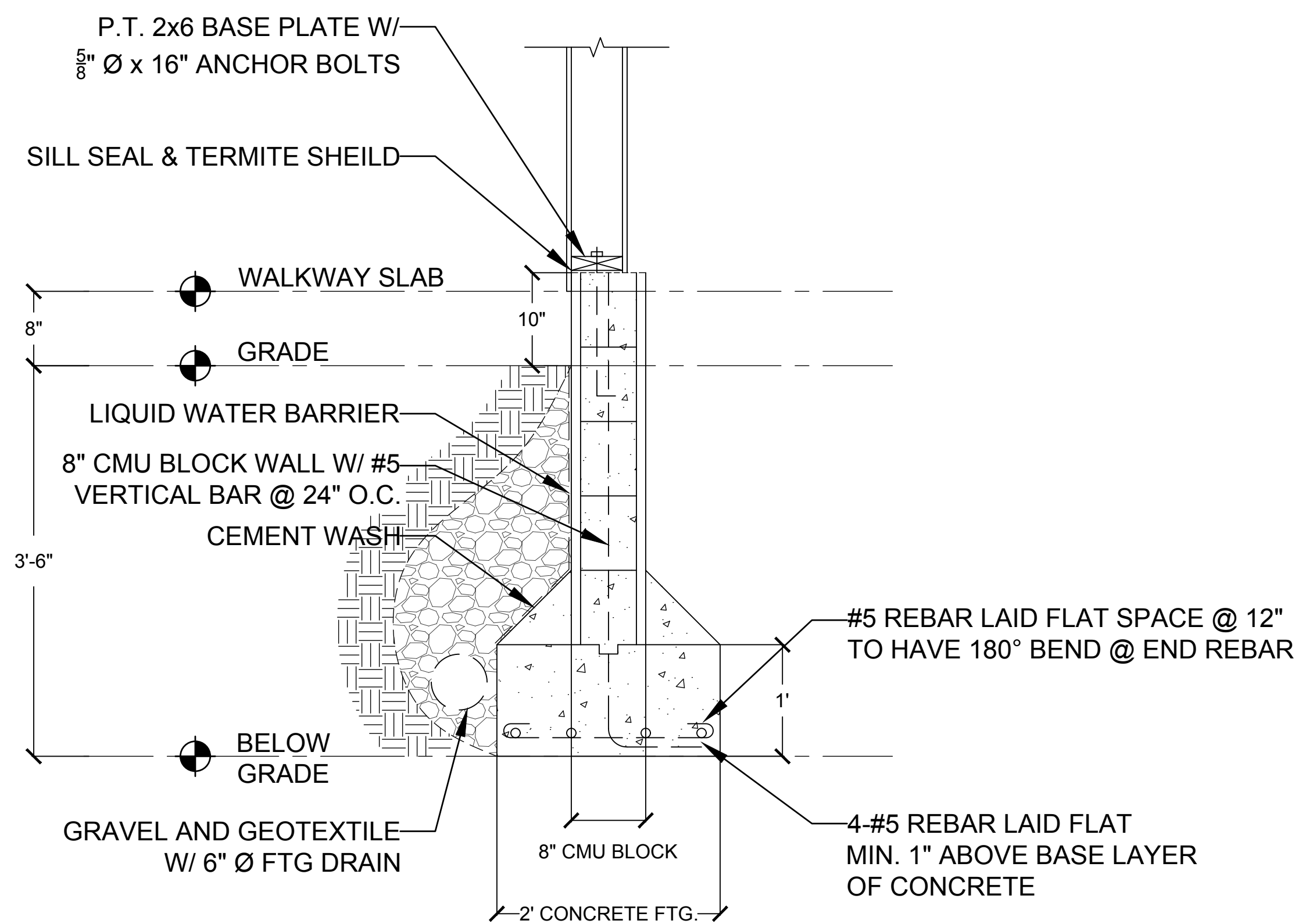
CONCRETE PAD PLAN VIEW
SCALE: 1" = 1'-0"



CONCRETE PAD SECTION
SCALE: 1" = 1'-0"



SECTION "A-A"
SCALE: 1" = 1'-0"



FOOTING AND CMU FOUNDATION DETAIL
SCALE: 1" = 1'-0"

NOTES:

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED

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SPECIAL NOTES

Rev.	No.	By	Date	Description
4	12/01/20	MI	12/01/20	general revisions
3	11/18/20	MI	11/18/20	general revisions
2	10/29/20	MI	10/29/20	general revisions
1	10/29/20	MI	10/29/20	general revisions



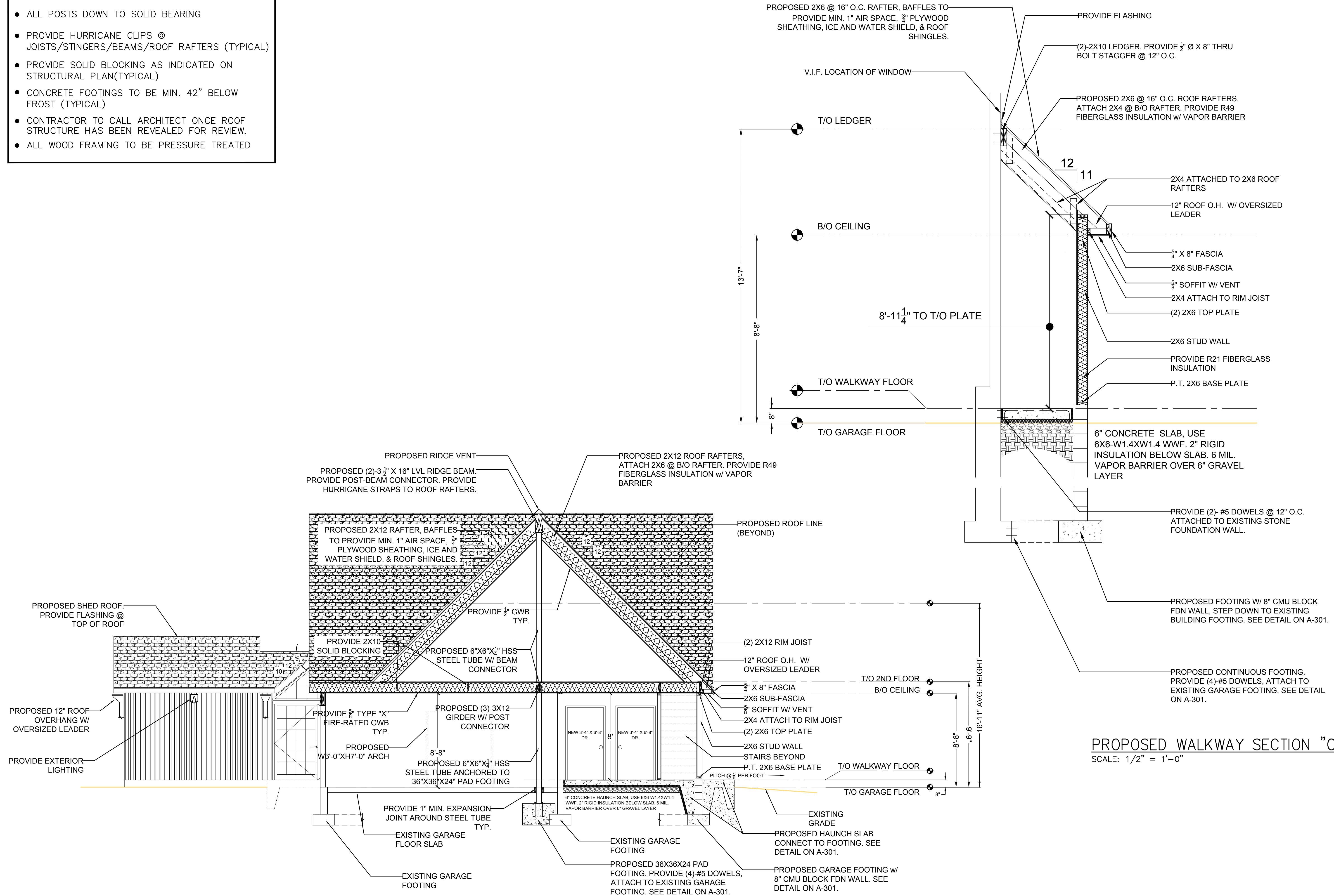
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project:	proposed residence for: mark seiden 49 croton dam road, cossing, ny 10562
date:	12/03/20
scale:	as noted
drawn by:	mi/aog
project no.:	19-033
architects/planners:	gemmola & associates 317 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

A-301

NOTES!

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
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PROPOSED GARAGE SECTION "B-B"
SCALE: 1/4" = 1'-0"

PROPOSED WALKWAY SECTION "C-C"
SCALE: 1/2" = 1'-0"

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SPECIAL NOTES

Rev. No.	By	Date	Description
3	MI	12/01/20	general revisions
2	MI	10/30/20	general revisions
1	MI	10/29/20	general revisions



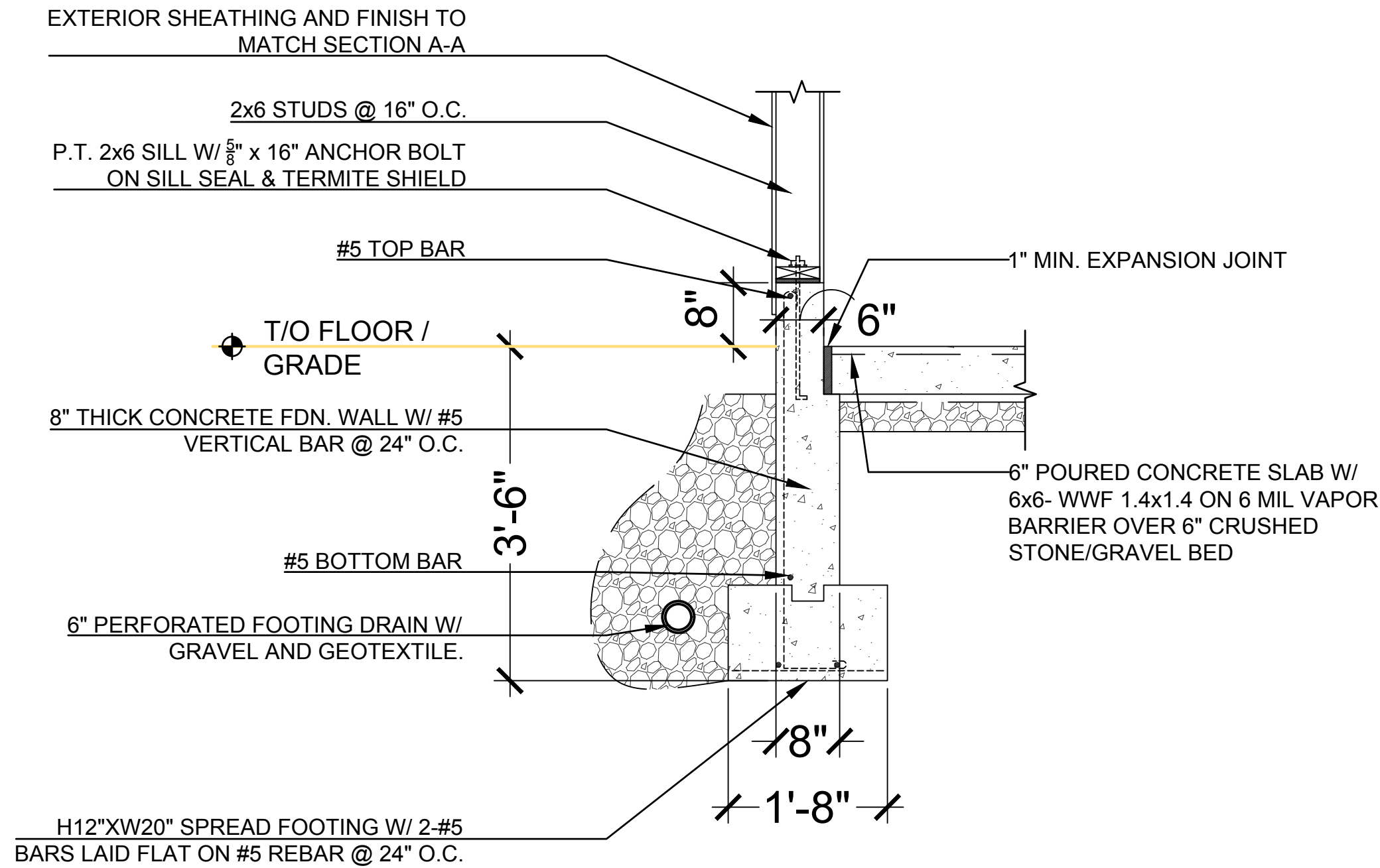
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project:	proposed residence for: mark seiden 49 croton dam road, cossing, ny 10562
date:	12/03/20
scale:	as noted
drawn by:	mi/aag
project no.:	19-033
architects/planners:	gennola & associates 377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

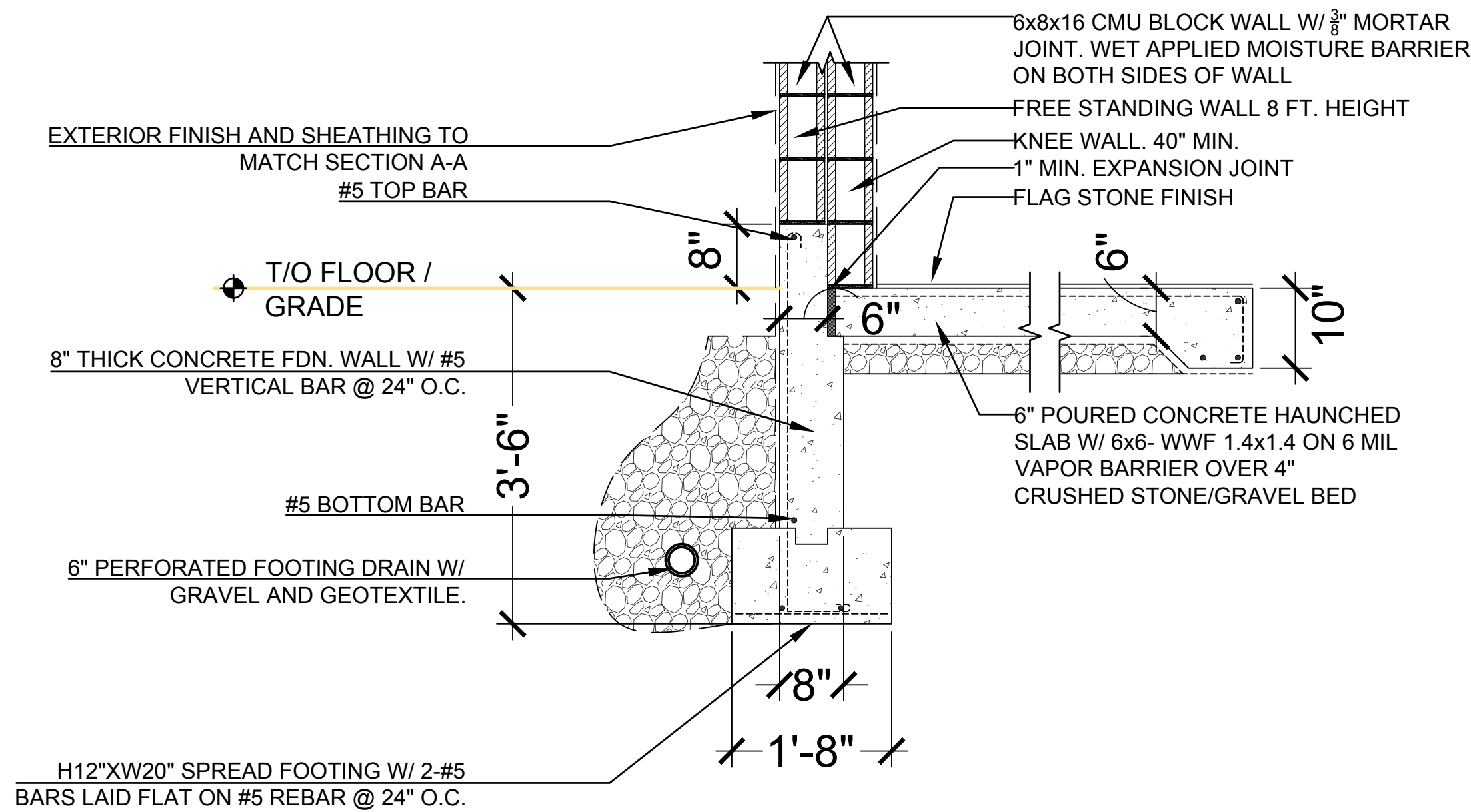
A-302

NOTES!

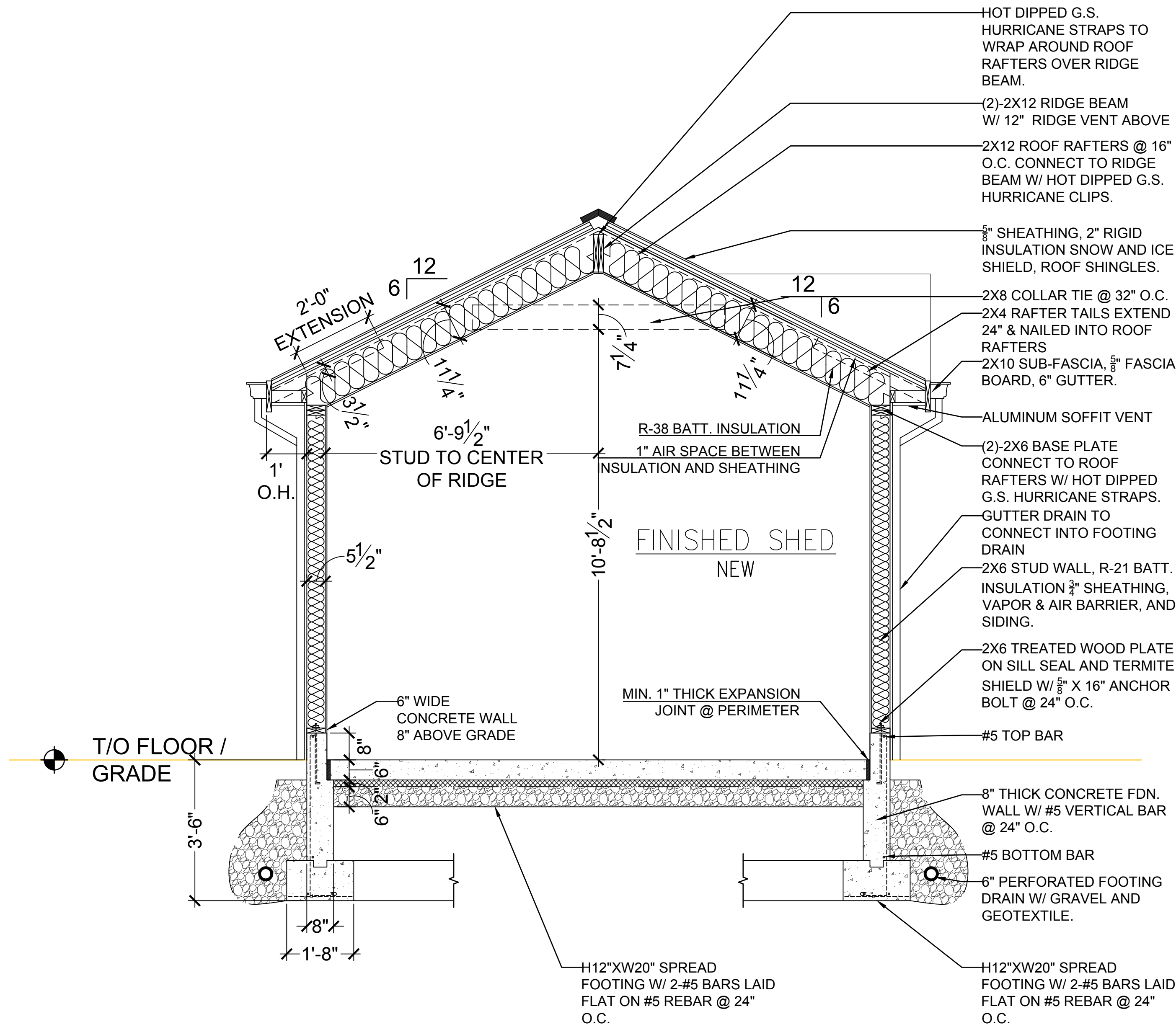
- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



SECTION B-B
SCALE: $\frac{3}{4}$ " = 1'-0"



SECTION C-C
SCALE: $\frac{3}{4}$ " = 1'-0"

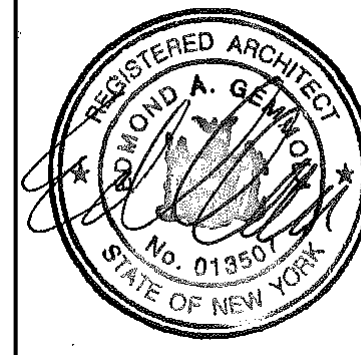


PROPOSED SECTION A-A
SCALE: $\frac{1}{2}$ " = 1'-0"

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SPECIAL NOTES

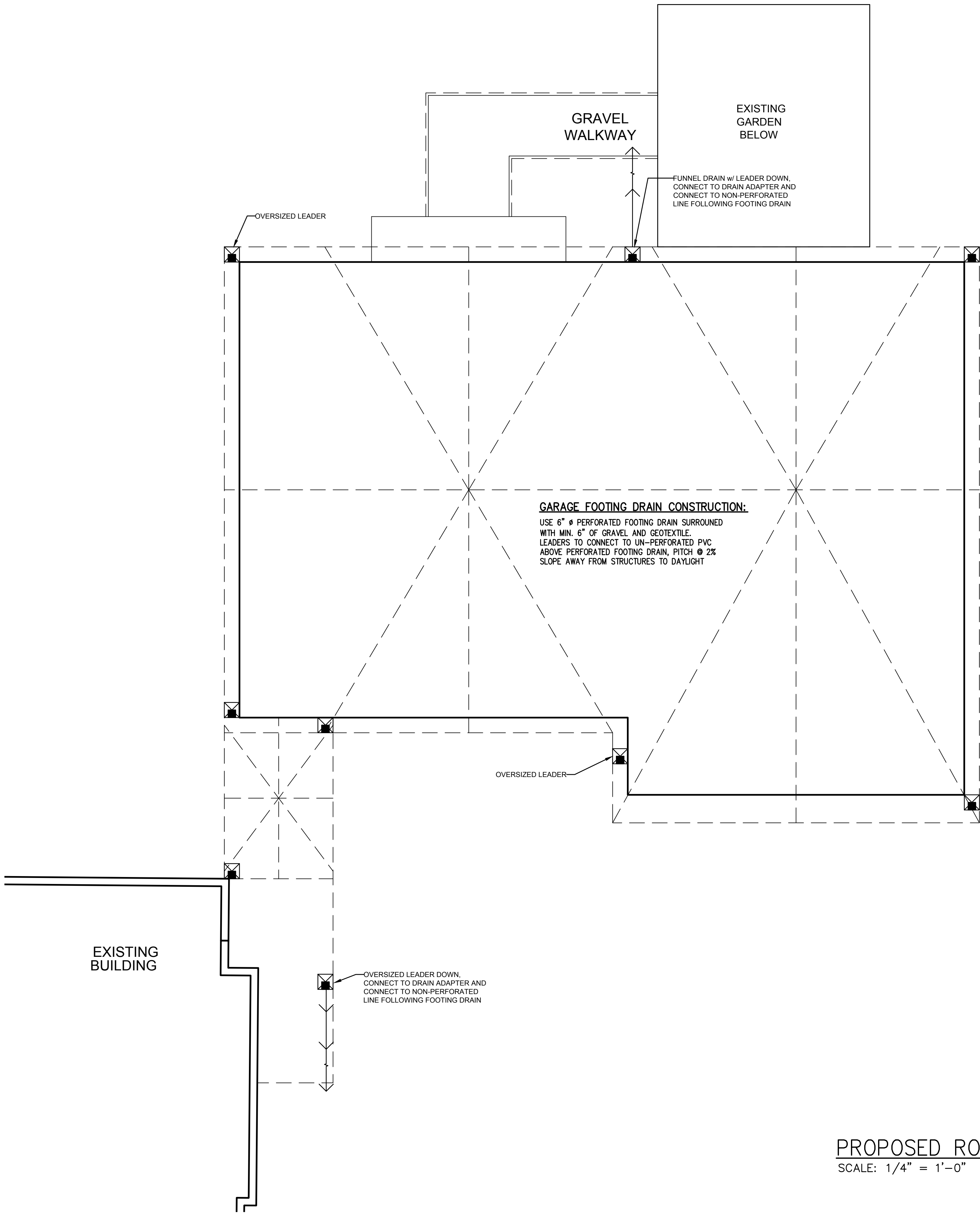
Rev.	No.	By	Date	Description
4	12/03/20			general revisions
3	12/01/20			general revisions
2	10/29/20			general revisions
1	10/29/20			general revisions



drawing title:	proposed bar-shed sections
proposed residence for:	mark seiden
project:	49 croton dam road, cossing, ny 10562
date:	12/03/20
scale:	as noted
drawn by:	mi/agg
project no.:	19-033
architects/planners:	gernimo & associates
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

A-303

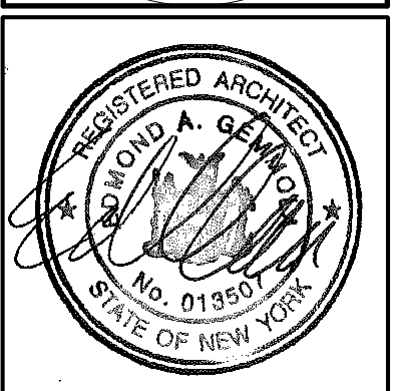
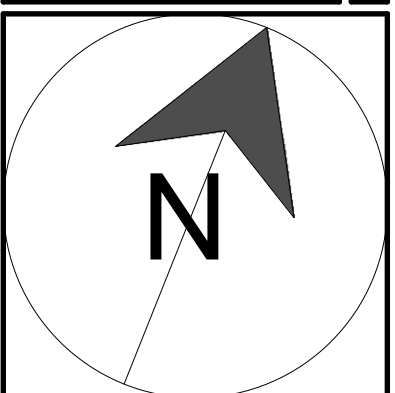


PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

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- The Architect is not responsible for Construction Phase. Administration of the construction shall be the responsibility of the Owner.
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SPECIAL NOTES

REV. NO.	BY	DATE	DESCRIPTION
1	ML	11/01/20	general revisions



drawing title: **proposed garage/recreation roof plan**

project:	date:	scale:
proposed residence for:	12/03/20	as noted
mark seiden	drawn by:	ml/rog
149 croton dam road, ossining, ny 10562	project no.	19-033

germola & associates architects/planners
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

R-101