

Town of Ossining (Westchester County, New York)
Application for Planning Board

A copy of this form accompanied by a \$250.00 Filing Fee, Escrow Deposit as outlined on the Town fee schedule, 10 Copies and 1 PDF of an accurate intelligible plan of the property. This must be submitted to the Planning Board Secretary on the specified submission date prior to the regularly scheduled meeting (see Calendar).

I, (We) John Fussell President Rayford Deverne & sons

Address 1 A SUMMERLAND LANE BRIARCLIFF MANOR
NY 10510

Phone Number 914 261 6347 Email John.Fussell@SIcounsel.com

Request a Planning Board Hearing for:

☐ Preliminary Site Plan Review

☒ Architectural Review

☐ Site Plan Approval

☐ Conditional Use Permit

☐ Rezoning Application

☐ Subdivision Approval

☐ Filling and Grading Permit

☐ Wetland Approval

RECEIVED

FEB 12 2018

Town of Ossining
Building & Planning Department

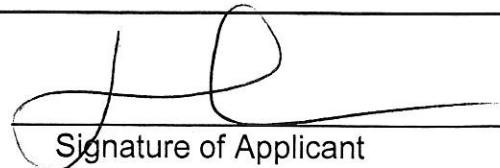
Location of Property OLD 52 ALBANY POST RD 52-1 AND 52-3 OSSINING NY

Section 80.14 Plate Block 2 Lot(s) 87-1 & 87-3 10562

Present Zoning R-5

Purpose of Hearing: ARCHITECTURAL REVIEW TO CONSTRUCT 2 NEW
1 FAMILY RESIDENCES

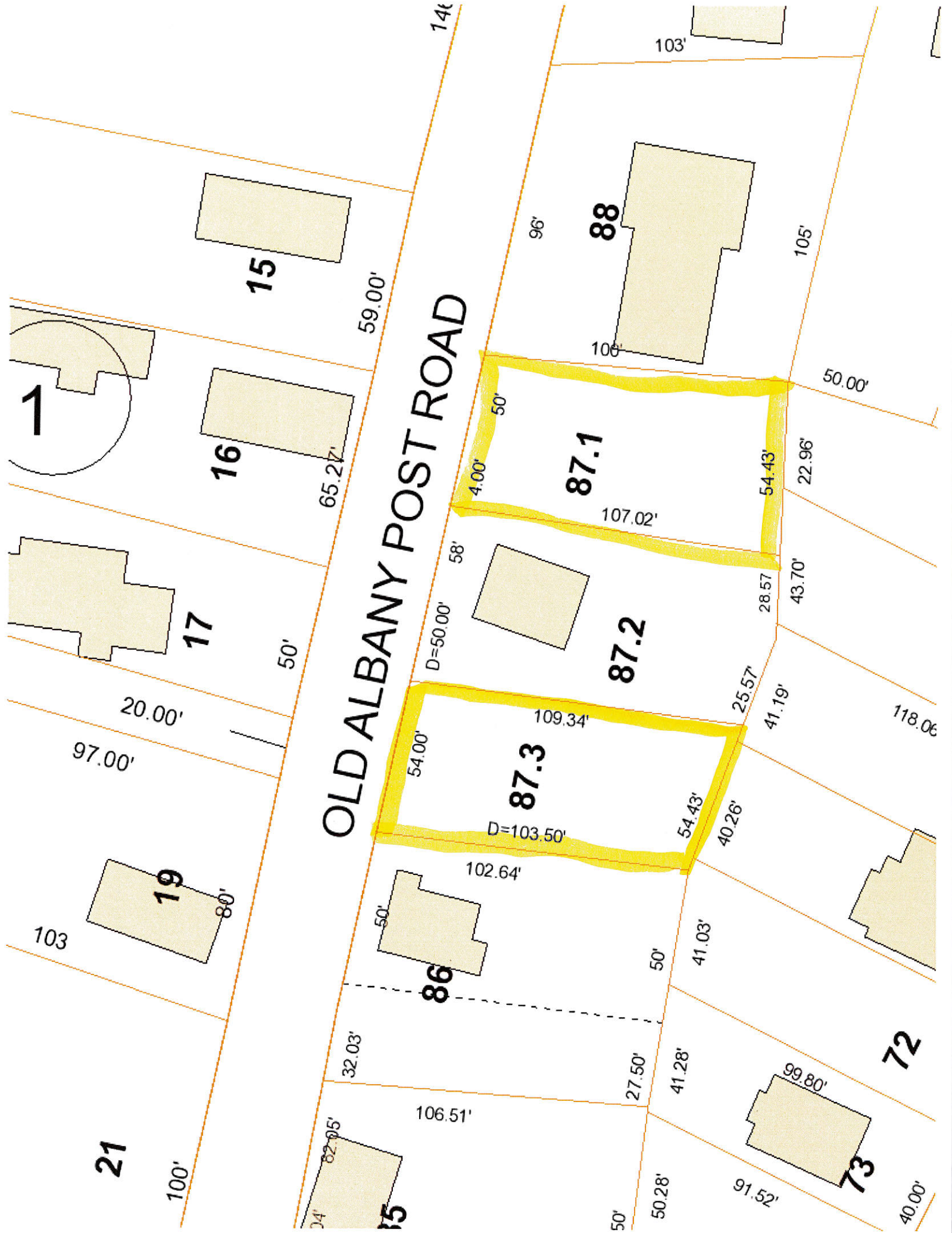
Date: 2/9/18

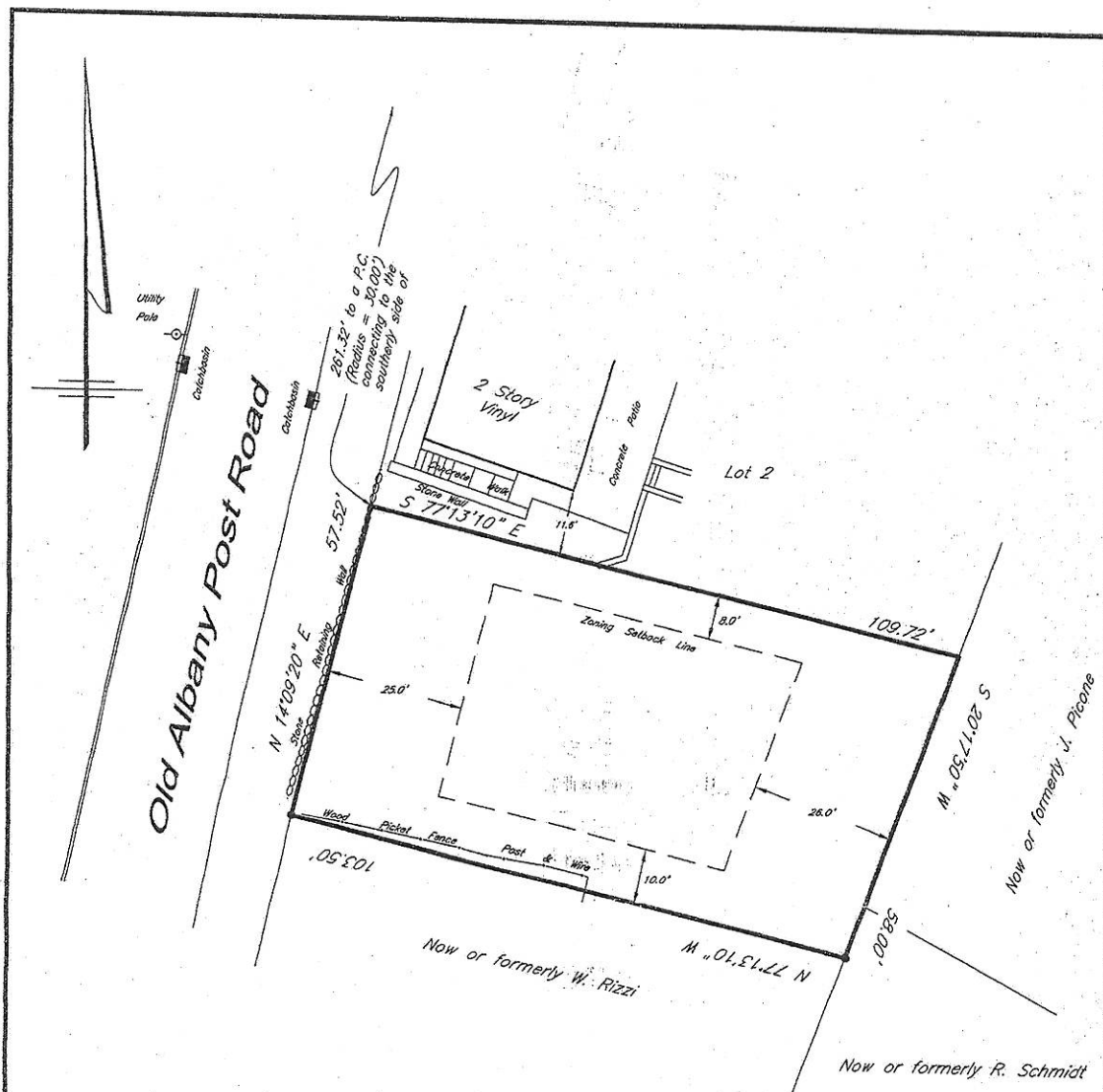

Signature of Applicant

Note: The applicant is responsible for complying with all rules and regulations with respect to filing of final subdivision plats with the Westchester County Clerk.

Submission Checklist:

- ☐ Application Form & Plans (10) & (1) PDF File
- ☐ Environmental EAF
- ☐ Fees, Section 200-51
- ☐ Property Owner Authorization





Survey of Property
prepared for
OPA Homes LLC
in the Town of
Ossining
Westchester County, N.Y.
Scale 1"=20' April 27, 2011

The premises being Lot 3 as shown on a map entitled "Preliminary Subdivision Map prepared for Eric C. Stats" dated June 10, 2000, last revised July 5, 2000, to be approved & filed.

Lot Area = 6,130 sq. ft.

Subsurface structures and their encroachments, if any exist, are not shown hereon.

Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law.

Only copies of the original survey marked with the land surveyor's linked or embossed seal shall be considered a true and valid copy.

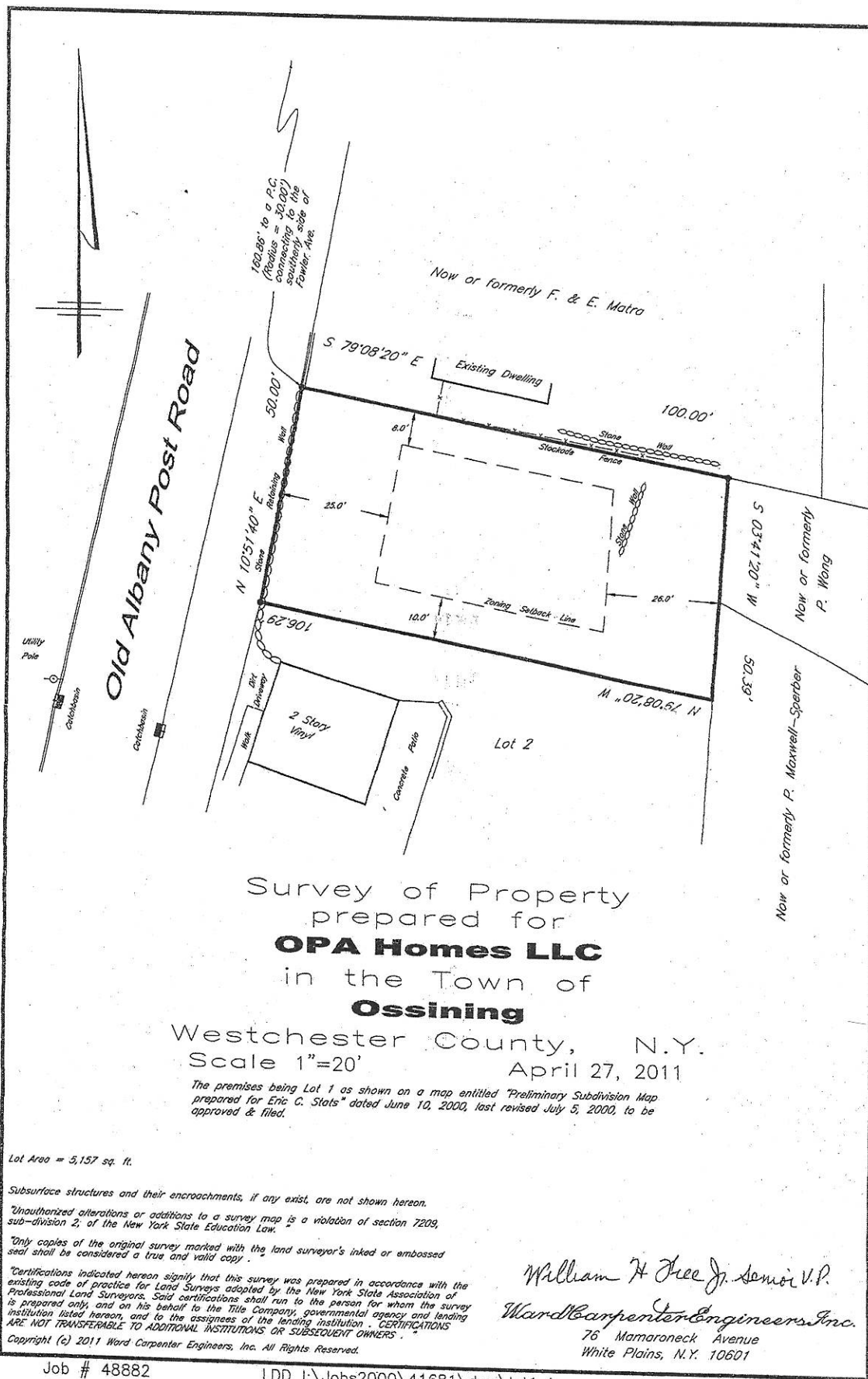
Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title Company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

Copyright (c) 2011 Ward Carpenter Engineers, Inc. All Rights Reserved.

William H. Lee, Jr., Senior V.P.
Ward Carpenter Engineers, Inc.
76 Mamaroneck Avenue
White Plains, N.Y. 10601

Job # 48882

LDD I:\Jobs2000\41681\dwg\lot3.dwg





THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

SPEC #1

STREET
OSSINING, NY ZIP
WESTCHESTER COUNTY

BUILDER:

RAYFORD

DEVERNE & SONS

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

CHAMPION
MODULAR

BRAND:

excel
HOMES

BUILDER:

DEVERNE & SONS

CUSTOMER/PROJECT:

SPEC# 1

ENGINEERS / ARCHITECT'S SEAL

APPROVER'S SEAL

FN#1

MODIFICATIONS

1/6/18 JPF

PROJECT:

40821
BEECH HILL 1

TITLE:

COVER SHEET

DRAWN BY: SAN

DATE: 01-08-18

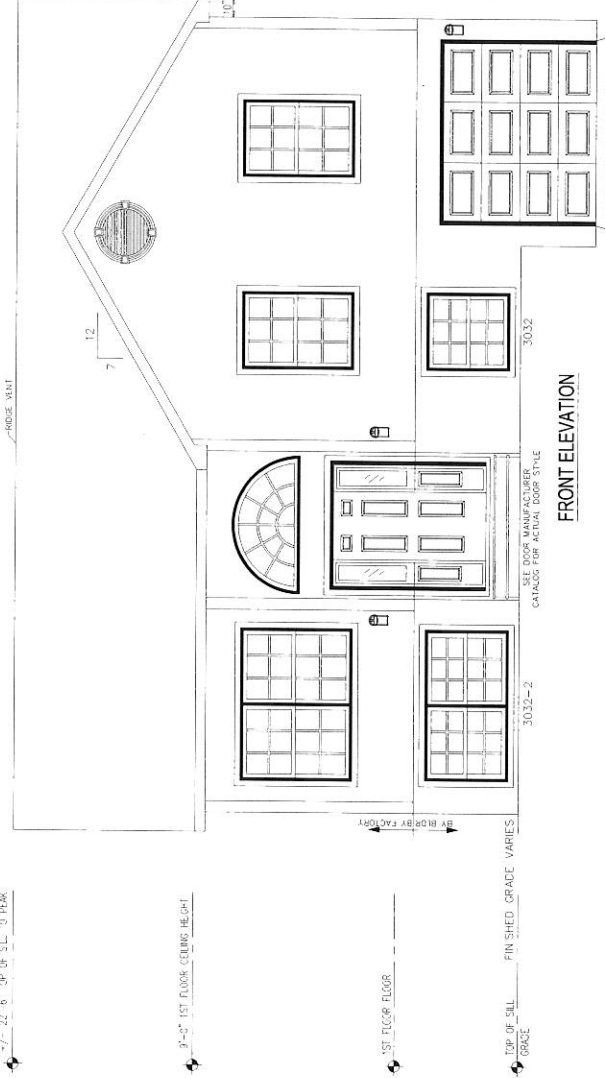
SCALE:

ELEVATION: 40821 PN

SHEET:

COVER

PROPRIETARY AND CONFIDENTIAL
THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL
PROPERTY OF CHAMPION MODULAR, INC.
COPYRIGHT © 1978-2018 BY CHAMPION



SITE CONDITIONS:	
GROUND SNOW LOAD:	30 PSF
WIND SPEED:	130 MPH
EXPOSURE:	B
SEISMIC CATEGORY:	SINGLE FAMILY
USE GROUP:	1/8 WOOD FRAME UNPROTECTED
CONSTRUCTION TYPE:	1/8 WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:	
FIRST FLOOR:	910 SQ. FT.
SECOND FLOOR:	NA SQ. FT.
BONUS ROOM:	NA SQ. FT.
GARAGE:	NA SQ. FT.
TOTAL:	910 SQ. FT.
OVERALL SIZE:	33'-0" x 28'-0"
MODEL:	BEECH HILL 1

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
2. GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045
CHAMPION[®]
MODULAR

BRAND:

excel
HOMES

BUILDER:

DEVERNE & SONS

CUSTOMER/PROJECT:

SPEC#1

ENGINEERS / ARCHITECTS SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:
40821
BEECH HILL 1

TITLE:
ELEVATIONS

DRAWN BY: SW

DATE: 01-08-18

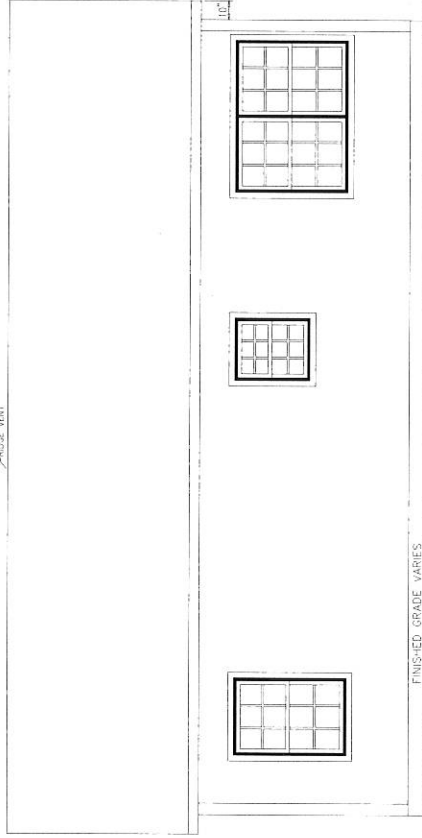
SCALE:

FILENAME: 40821.FN

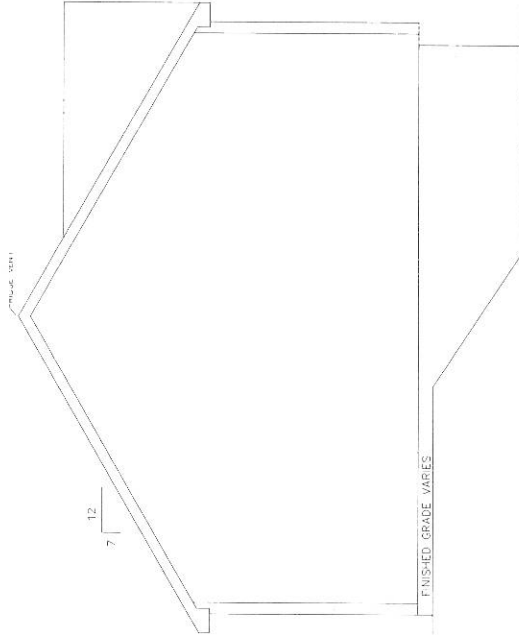
SHEET:

ELEVATIONS

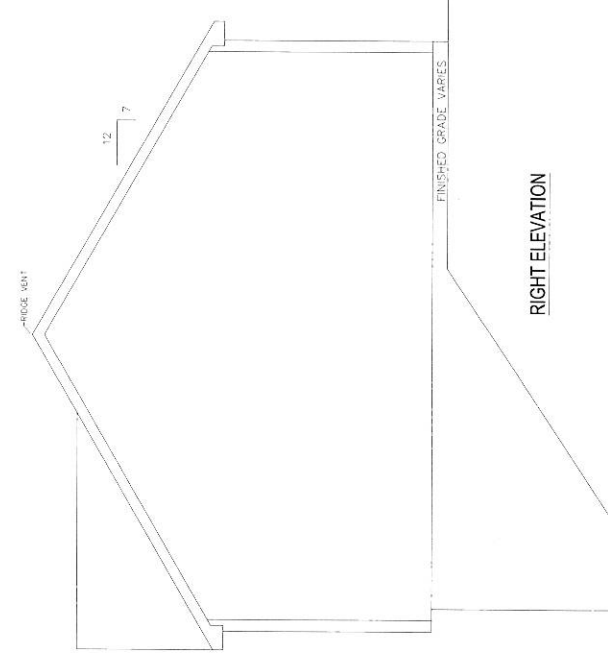
PROPRIETARY AND CONFIDENTIAL
THIS DRAWING AND ALL ITS CONTENTS ARE THE
PROPERTY AND CONFIDENTIAL MATERIALS OF CHAMPION.
COPYRIGHT © 1976-2018 BY CHAMPION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

NOTES:

1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045
CHAMPION
MODULAR

BRAND:
excel
HOMES

BUILDER:
DEVERNE & SONS

CUSTOMER/PROJECT:
SPEC#1

ENGINEER'S / ARCHITECT'S SEAL

APPROVER'S SEAL

MODIFICATIONS

PROJECT:
**40821
BEECH HILL 1**

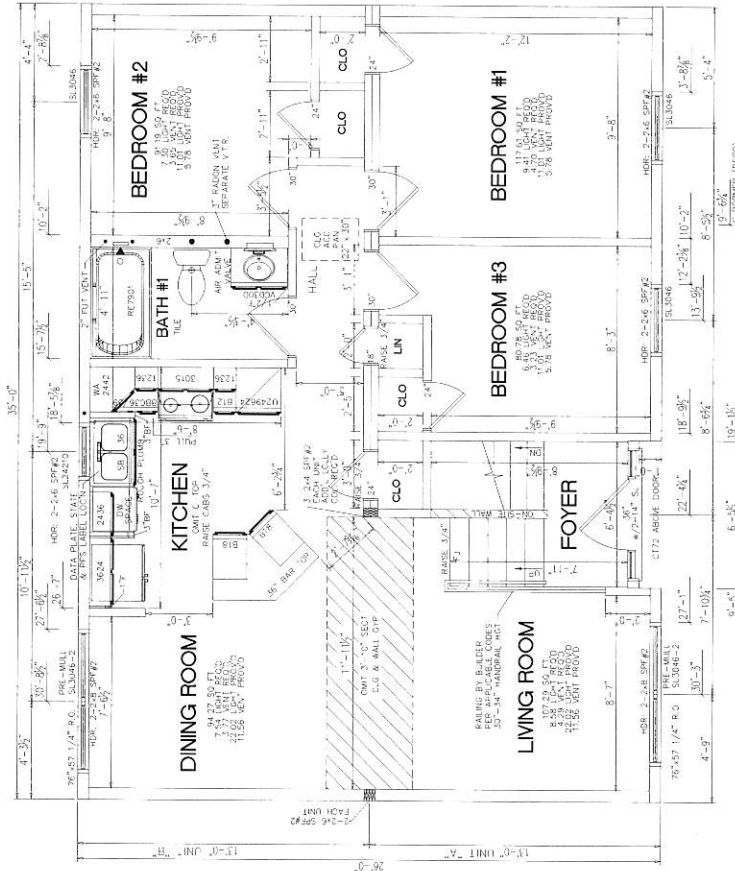
TITLE:
**FIRST FLOOR
FLOOR PLAN**

DRAWN BY: SN
DATE: 01-08-18
SCALE: 3/16" = 1'-0"
FILENAME: 40821.FN

SHEET:
1ST FLR

PROPRIETARY AND CONFIDENTIAL
THIS DOCUMENT IS THE PROPERTY OF CHAMPION
MODULAR AND IS NOT TO BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR BY ANY MEANS
WITHOUT THE WRITTEN PERMISSION OF CHAMPION
COPYRIGHT © 1976-2011 BY CHAMPION

BRACED WALL CALCS REQUIRED



- NOTES:
1. 2x6 EXT. WALLS @ 16" O.C. / 2x4 VARR. WALLS @ 16" O.C.
 2. 9" x 9" CGL. FLOOR JOISTS @ 16" O.C.
 3. ROOF SYSTEM TO BE 16" O.C.
 4. SILVERLINE 3000 SERIES DOUBLE HUNG WINDOWS
 5. 2" M.L. (PER MODULE)
 6. 1" R-19 INSULATION
 7. BASED ON 130 MPH WIND LOAD & EXPOSURE "B"
 8. BLUP. INSTALLED HEATING SYSTEM TO COVER A 20,000 BTU LOSS
 9. 1" R-19 INSULATION
 10. SITE LOCATION: OCEANVIEW, NY, WESTCHESTER COUNTY; 30 PSF GROUND SNOW LOAD

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

ND: **excel** HOMES

DER:
DEVERNE & SONS

TOMER/PROJECT: SPEC#1

ENGINEER'S / ARCHITECT'S SEAL

ROVERS SEAL

MODIFICATIONS

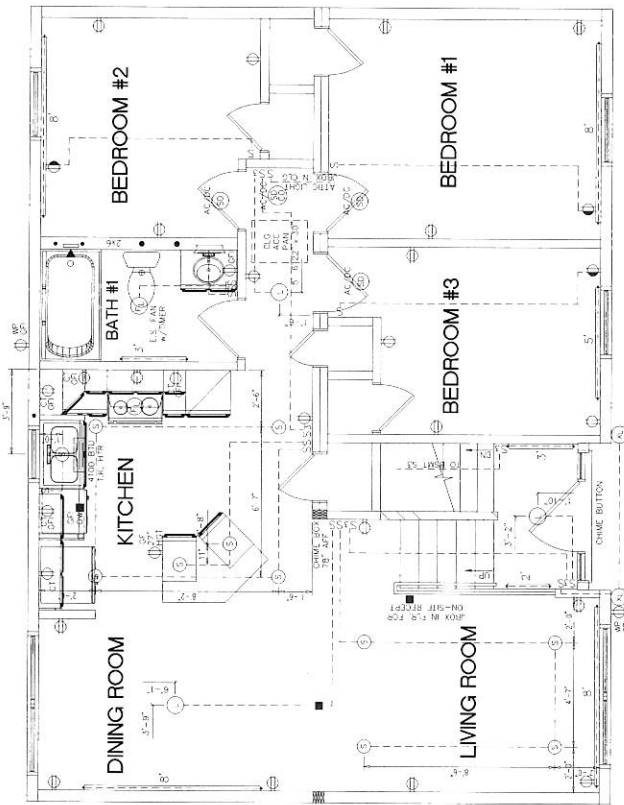
40821
BEECH HILL 1

E: FIRST FLOOR ELECTRICAL PLAN

WIN BY:
: 01-08-18
E: 3/16" = 1'-0"
NAME: 40821 FN

1ST ELEC

PROPRIETARY AND CONFIDENTIAL
THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL,
PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION.
COPYRIGHT © 1976-2014 BY CHAMPION



2014 NEC

- THIS PLAN MAY HAVE ADDITIONAL APPLIANCES/FIXTURES ADDED TO THE ELECTRICAL SCHEMATIC AND/OR PANEL BOX PROVIDING THE FOLLOWING INFORMATION IS SUPPLIED:
 1. ALL CIRCUITS SHALL BE PROTECTED BY A FUSE OR CIRCULAR BREAKER.
 2. EXCEEDED THE MAXIMUM ALLOWED BY STATE & LOCAL CODES.
 3. ALL BRANCH CIRCUITS SUPPLYING 15 & 20 AMPERE OUTLETS IN LIVING SPACES SHALL BE PROTECTED BY 20 AMPERE CIRCUIT INTERRUPTER IN ACCORDANCE WITH SECTION 210.17(1)(A) NATIONAL ELECTRICAL CODE.
 PER CODE 210.17(1)(A) NEC ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE PROVIDED WITH GROUNDING TYPE BONDING ELEMENTS.
 ALL WATER BASED POWER REQUIREMENTS SHALL BE WATER BASED POWER ELEMENTS

CHAMPION FACTORY 041
CHAMPION MODULAR, INC.
10642 S. SUSQUEHANNA TRAIL
LIVERPOOL, PA 17045

CHAMPION[®]
MODULAR

BRAND:



BUILDER:

DEVERNE & SONS

CUSTOMER/PROJECT:

SPEC#1

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:

40821
BEECH HILL 1

FOUNDATION
PLAN

DAWN BV,

DRAWN BY:

DATE: 01-08-18
SCALE: 3/16" = 1' 0"

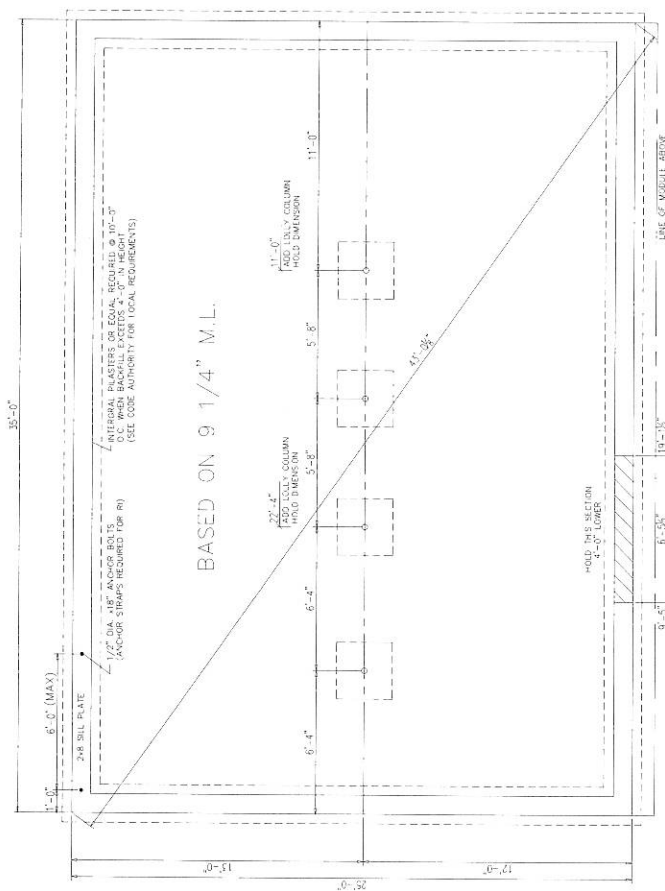
SCALE: 3/16" = 1'-0"

FILENAME: 40821.FN

WEET:

FOUNDATION

PROPRIETARY AND CONFIDENTIAL
THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL
PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION.
COPYRIGHT © 1976-2014 BY CHAMPION



ACTES:

- 3) THE FOUNDATION DRAWING AND NOTES ARE FOR REVIEW ONLY. ACTUAL FOUNDATION DESIGN SHALL BE DESIGNED FOR YOUR SPECIFIC SITE AS REQUIRED PER LOCAL CODE.
- 4) ALL CONSTRUCTION AND WATER LINES BELOW THE BOTTOM OF THE FLOOR JOISTS IS THINS & SHALL BE ALL TO BE DETERMINED ON-SITE IN ACCORDANCE WITH LOCAL CODES & CONDITIONS.
- 5) REINFORCED MASONRY UNIT REQUIRED AT CENTER BEARING LOCATIONS.
- 6) CONCRETE FOUNDATION SHALL BE 18" MIN. THICK. ALL FOUNDATION SHALL BE 18" MIN. DEEP.
- 7) CONCRETE FLOOR SLAB & MOUTH OF UNIT ADOX COLUMNS MAY BE HELD AS FLOOR SLAB.
- 8) LOCAL SNAW LOAD & MOUTH OF UNIT ADOX COLUMNS MAY BE HELD AS FLOOR SLAB.
- 9) FLOOR JOIST SPACING IS BASED ON $16 \text{ M} / 2 \times 6 \times 12$ STEEL PLATE BETWEEN COLUMN ON FLOOR PLAN.
- 10) FOUNDATION SIZES REFLECT WIND TO W300 DIMENSIONS OF MODULAR UNITS, ALLOWING SHEATHING AND SILING TO OVERLAP THE FOUNDATION. IF STROGAM UNITS, ALLOWING
- 11) FEMTER FLOOR SYSTEMS TO BE ATTACHED TO SNAW PLATE / 160G NALS AT 16" O.C.
- 12) INSTALLATION OF WASHED DRYER AND/OR WATER HEATER IN BASEMENT PER STATE AND
- 13) PRIVATE DETAILERS IN BASEMENT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL (COL. WINE IN BOMB BY MODULAR MANUFACTURERS, INC.).
- 14) CROSS VENTS WITH 3" OF CEMENTS AND ROOF / 1500 OF FLOOR AREA WITH VENTILATION.
- 15) SEE MODULAR MANUFACTURERS' SUBMISSION SET PAGE FOR ADDITIONAL NOTES AND DETAILS.
- 16) SNAW PLATE AND TAPPING TO BE DONE PER CODE SPECIFICATIONS.
- 17) SNAW PLATE AND TAPPING TO BE DONE PER CODE SPECIFICATIONS.

FOR ESTIMATING PURPOSES ONLY - NOT FOR CONSTRUCTION