

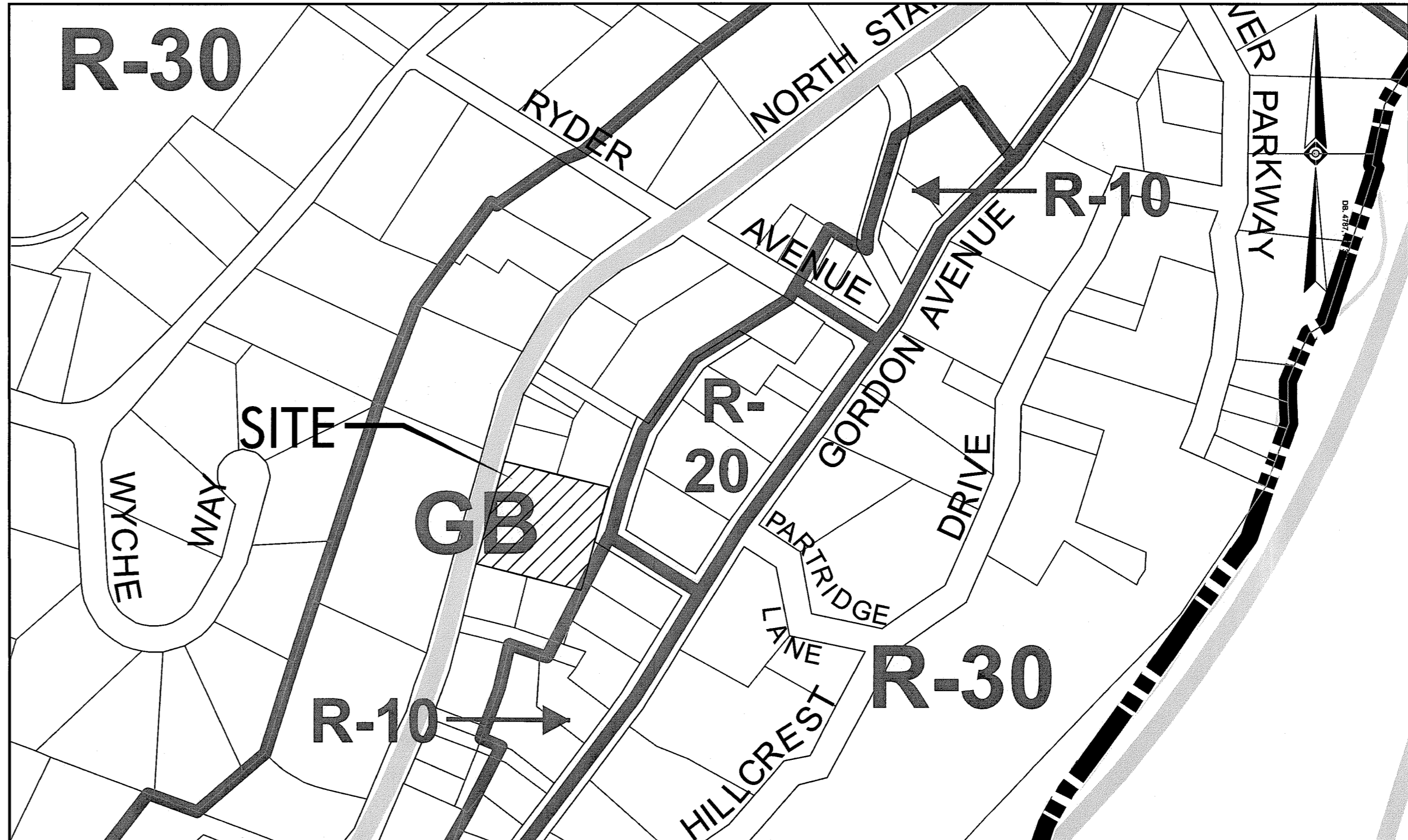
PRELIMINARY / FINAL SITE PLAN

# THE LEARNING EXPERIENCE

530 NORTH STATE ROAD, TOWN OF OSSINING, BRIARCLIFF MANOR, WESTCHESTER COUNTY, STATE OF NEW YORK  
SECTION 90.15, BLOCK 2, LOT 18



AERIAL MAP  
SCALE : 1"=100'



ZONING MAP  
SCALE : 1"=200'

ZONING SCHEDULE						
ZONE - GB - GENERAL BUSINESS						
Bulk Regulation		Requirement	Existing		Proposed	
Units						
Principal Permitted Uses		See Note 2	STORAGE YARD FOR CONSTRUCTION EQUIPMENT	C	CHILDCARE FACILITY	C
Lot Area	S.F.	20,000	43,264	C	43,264	C
Lot Width	Feet	100	208	C	208	C
Lot Depth	Feet	130	208	C	208	C
Front Yard	Feet	30	29.2	C	30.0	C
Side Yard	Feet	-	54.9	C	12.2	C
Rear Yard along any Residence District Boundary	Feet	30	110.7	C	39.7	C
Rear Yard Landscape Buffer To Residence District	Feet	20	0.0	ENC	2 (see note 3)	V
Max. Building Height	Stories	2	1	C	1	C
Max. Building Height	Feet	35	< 35	C	23	C
Aggregate Floor Area on any Lot	S.F.	-	3,706	C	10,000	C
Building Coverage	%	30	8.6	C	23.1	C
Abbreviations						
C	Conforms					
ENC	Existing Non Conformance					
V	Variance Required					
Notes:						
1 Code based on Town of Ossining (Wetchester, NY), Zoning Ordinance, 200-23, Amended 06-14-94.						
2 As per Township Code, Ordinance 200-18 A. (10) permitted uses are child-care and elder-care facilities.						
3 6' tall fence provided along rear of site in lieu of 20 foot landscape buffer.						

PARKING PROVIDED: 36 spaces inclusive of 2 ADA accessible spaces

PER CODE SECTION 200-29: Reasonable and appropriate off-street parking requirements for structures and uses which do not fall within the categories listed shall be determined by the Planning Board upon consideration of all factors entering into the parking needs of each such use.

## PROJECT CONTACTS

**APPLICANT:**  
BRIARCLIFF MANOR PARTNERS, LLC  
c/o JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.  
42 OKNER PARKWAY  
LIVINGSTON, NJ 07039

**OWNER:**  
NSRR REALTY, LLC  
c/o BOBCAT OF NEW YORK, INC.  
58-64A MAURICE AVENUE  
MASPETH, NEW YORK 11378

**ATTORNEY:**  
ADAM L. WEKSTEIN, ESQ  
HOCHERMAN TORTORELLA & WEKSTEIN, LLP  
ONE NORTH BROADWAY, SUITE 701  
WHITE PLAINS, N.Y. 10601

**ENGINEER:**  
RICHARD A. JARMEL, PE  
JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.  
42 OKNER PARKWAY  
LIVINGSTON, NJ 07039

**ARCHITECT:**  
MATTHEW B. JARMEL, AIA  
JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.  
42 OKNER PARKWAY  
LIVINGSTON, NJ 07039

PRELIMINARY/FINAL SITE PLAN OF:  
"THE LEARNING EXPERIENCE"

SECTION 90.15, BLOCK 2, LOT 18

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

(MUNICIPAL ENGINEER)

APPROVED BY THE PLANNING BOARD

(CHAIRMAN)

(SECRETARY)

## DRAWING INDEX

SHEET NO.	DRAWING NO.	DRAWING NAME	DATE	LAST REV. DATE
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2	C-100	EXISTING CONDITIONS PLAN	4-27-18	
3	C-200	DEMOLITION PLAN	4-27-18	
4	C-300	SITE AND UTILITIES PLAN	4-27-18	
5	C-400	GRADING AND DRAINAGE PLAN	4-27-18	
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7	C-650	LIGHTING PLAN AND DETAILS	4-27-18	
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9	C-900	DETAIL SHEET	4-27-18	
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11	C-902	DETAIL SHEET	4-27-18	



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## ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG

## REVISION

NO.	DATE	DESCRIPTION	INT.

<b>PRINCIPALS</b> MATTHEW B. JARMEL, AIA, MBA AZ UC 48159 CO UC ARC-401483 CT UC A601011415 DC UC ARC101849 DE UC S50020256 FL UC A894034 GA UC A6011484 IA UC 05877 IL UC 05100569 IN UC A610290 MD UC 12162 MI UC 1301052189 NJ UC 1301052189 NY UC 08522 PA UC 08522 RI UC 070027735 SC UC 2201052339 SE UC 18154 TX UC 88498	<b>ASSOCIATES</b> RONALD A. BROKENSHIRE, PE DAVID L. LESSINE, RA MICHAEL J. VOLAND, RA GERARD P. GESARIO, PE FREDERICK KINCAID, RA JEROME LESLIE EBB, PA, PP CHERYL SCHWEIKER, AIA NJ UC A65511 PA UC 7608817 NY UC N 13231 NY UC 0204199 PA UC RA-405081 NY UC 0309993 NY UC 0608255 NY UC 21A1018294 NY UC A13883 NY UC 019151 NY UC 21A0206900 PA UC 84607927
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NJ State Board of Architects, Professional Engineers, and Professional Land Surveyors, Authorization No. 161

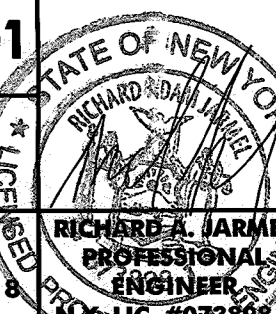
Project: **THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSINING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Project No:	Scale:
TLENY-S-17-155	AS NOTED
Drawn By:	Approved By:
LB	RAJ

Drawing Name:

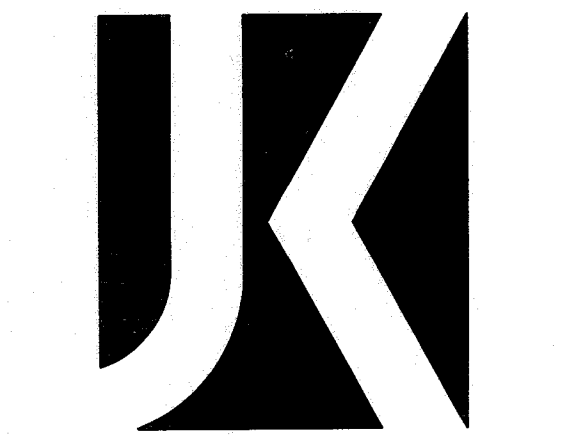
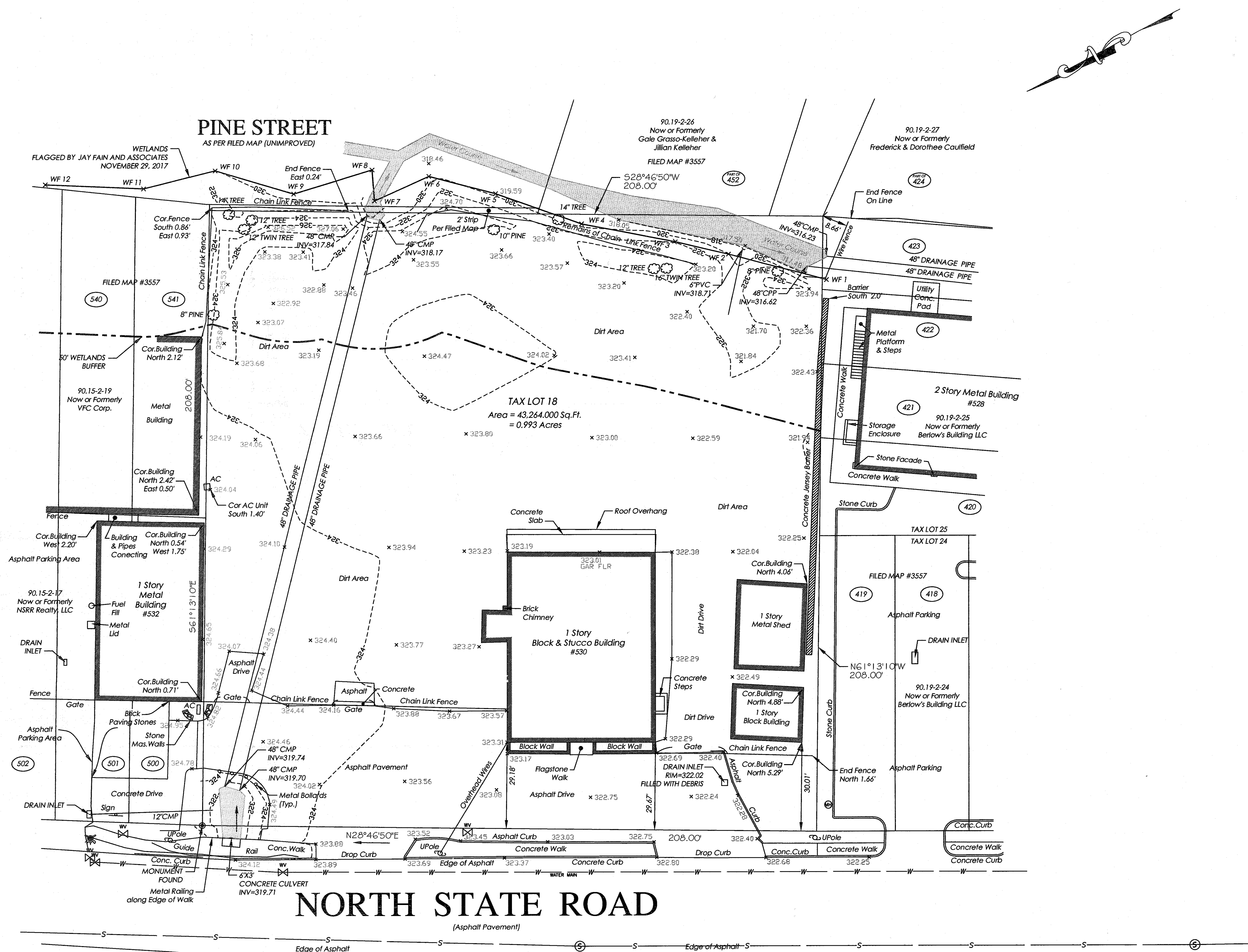
## COVER SHEET

Drawing Number:	C-001
Sheet No:	1
Initial Date:	APRIL 27, 2018



EXISTING CONDITIONS NOTE:

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITT'S LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.



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PRINCIPALS

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NY State Board of Architects Authorization No. 161  
NY State Board of Engineers & Land Surveyors Authorization No. GA-278177

Project: THE LEARNING EXPERIENCE  
530 NORTH STATE ROAD  
TOWN OF OSSINING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Project No: TLENY-S-17-155 Scale: 1" = 20'

Drawn By: LB Approved By: RAJ

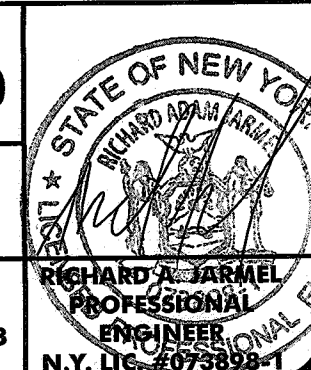
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EXISTING CONDITIONS PLAN

Drawing Number: C-100

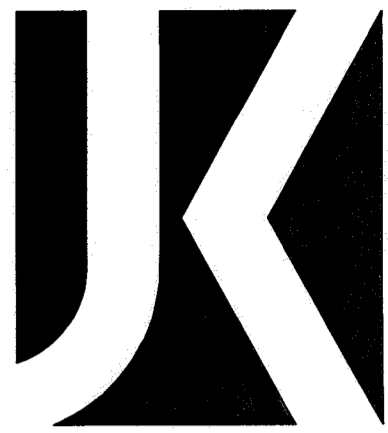
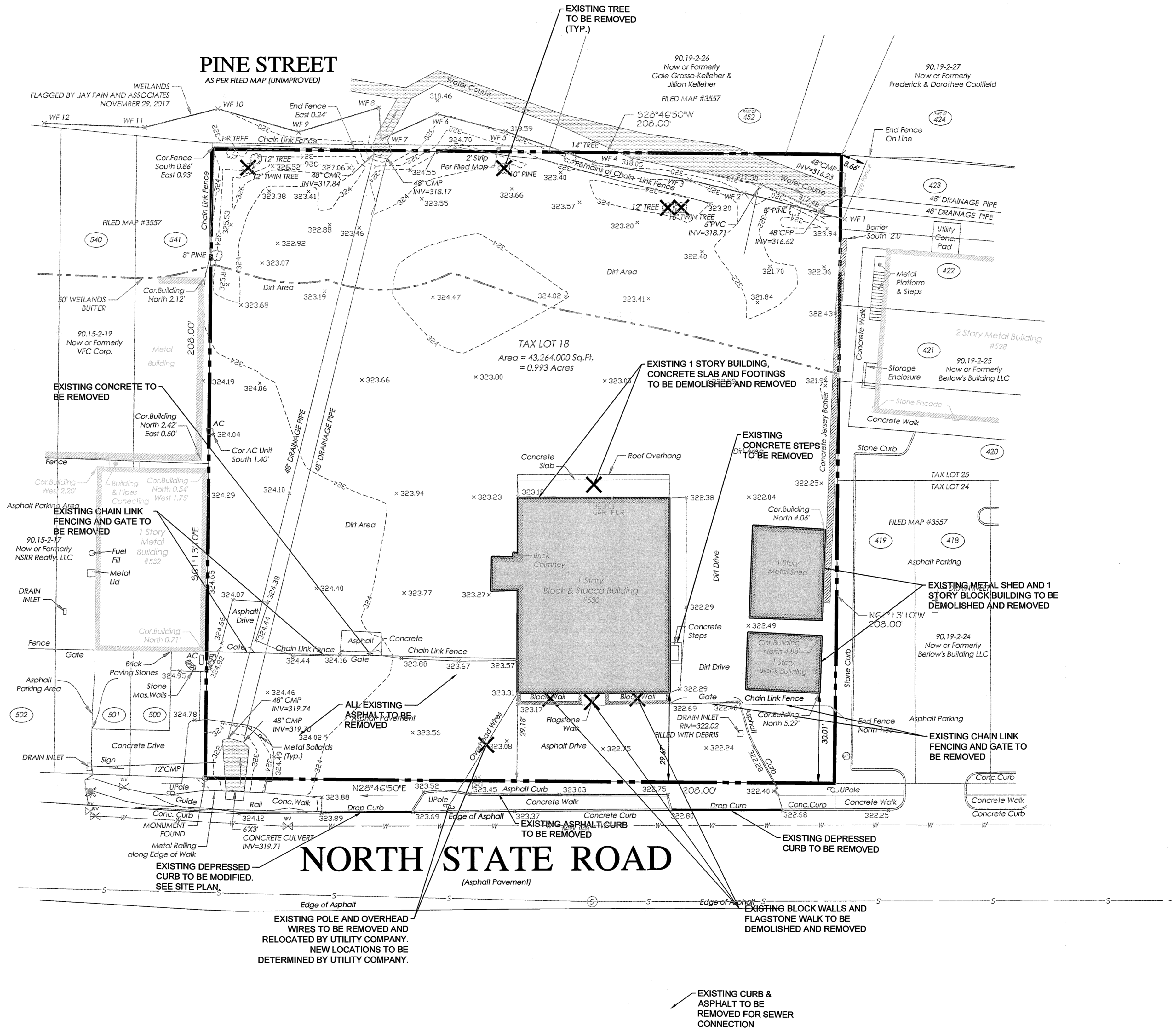
Sheet No. of: 2 11

Initial Date: APRIL 27, 2018



DEMOLITION NOTES:

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- CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY ON DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC., SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY DISCONNECTS OF THE EXISTING UTILITY AND RECONNECTION SHALL BE INCLUDED.
- IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AS REQUIRED PRIOR TO DEMOLITION.
- CONTRACTOR IS DESIGNATED TO MAKE REMOVALS AND DISPOSAL OF THE MATERIALS IS HIS RESPONSIBILITY.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- THE CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRAFFIC CONTROL DEVICES REQUIRED BY THE MUNICIPALITY AND LOCAL AGENCIES.
- PULVERIZED CONCRETE OR MASONRY SHALL NOT BE USED AS BACKFILL MATERIAL.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC FROM THE CONSTRUCTION SITE ONTO OTHER SITES, ROW, PUBLIC OR PRIVATE STREET.
- CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE DEMOLITION AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, CURBING, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).



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NO.	DATE	DESCRIPTION	INT.

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NJ State Board of Architects, Professional Engineers, and Land Surveyors, Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**  
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Project No: **TLENY-S-17-155** Scale: **1" = 20'**  
Drawn By: **LB** Approved By: **RAJ**















Drawing Name:


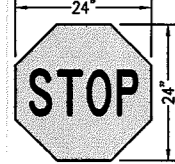







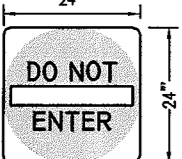
DEMOLITION PLAN

Drawing Number: **C-200**  
Sheet No: **3** of **11**  
Initial Date: **APRIL 27, 2018**

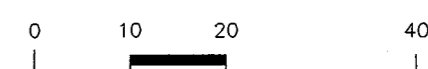
**RICHARD A. JARMEL**  
PROFESSIONAL ENGINEER  
N.Y. LIC. #073898-1

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2. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DOOR LOCATIONS.
3. ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
4. CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
5. THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
6. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER, ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
7. THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
8. THE CONTRACTOR IS RESPONSIBLE TO CONTACT NEW YORK ONE CALL NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW YORK ONE CALL INFORMATION – PHONE: 811, WEB: [WWW.DIGSAFE11.NY.GOV](http://WWW.DIGSAFE11.NY.GOV)
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
10. THE MUNICIPAL ENGINEER MUST BE NOTIFIED ONE WEEK PRIOR TO THE CONSTRUCTION OF ANY CURBING, SIDEWALKS, PAVEMENT GRADING OR OTHER UTILITIES.
11. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
12. CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
13. ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NY BARRIER FREE CODE REQUIREMENTS.
14. SUBJECT TO ALL APPLICABLE RULES, REGULATIONS, ORDINANCES AND STATUTES OF THE TOWN OF OSSING, WESTCHESTER COUNTY AND STATE OF NEW YORK AND ANY OTHER JURISDICTION.
15. NO DEED RESTRICTIONS OR COVENANTS EXIST ON SITE NOR ARE ANY PROPOSED.
16. CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).
17. ALL WORK WITHIN THE TOWNSHIP ROAD RIGHT OF WAY SHALL BE ACCORDING TO TOWN OF OSSING STANDARDS.

LEGEND		
	EXISTING	PROPOSED
PROPERTY LINE		
BUILDING LINE		
BUILDING CANOPY		
CURB LINE		
DEPRESSED CURB	N/A	
CONCRETE WALK	N/A	
SGN		
FENCE		

SIGN LEGEND AND DETAILS			
SYMBOL	QUAN.	USDOT FHA DESIGNATION	SIGN DETAIL
	1	R1-1	
	2	R7-8	
	2	R7-8p	
	2	R7-8B	
	1	R5-1 (30300)	

1. ALL SIGNS SHALL CONFORM TO THE MANUAL ON TRAFFIC CONTROL DEVICES.
2. SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.
3. REFER TO MOUNTING DETAILS FOR HEIGHTS. ALL SIGNS SHALL BE MEASURED FROM PAVEMENT OR GROUND TO BOTTOM OF SIGN.

[illegible]

NO.	DATE	DESCRIPTION	INT.

[illegible]

NJ State Board Of Architects Authorization No. 161  
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**

**530 NORTH STATE ROAD  
TOWN OF OSSINING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18**

Project No: <b>TLENY-S-17-155</b>	Scale: <b>1" = 20'</b>
Drawn By: <b>LB</b>	Approved By: <b>RAJ</b>

Drawing Name: \_\_\_\_\_

Drawing Number:	<b>C-300</b>		
Sheet No:	of:	<b>4 11</b>	
Initial Date:	<b>APRIL 27, 2018</b>		

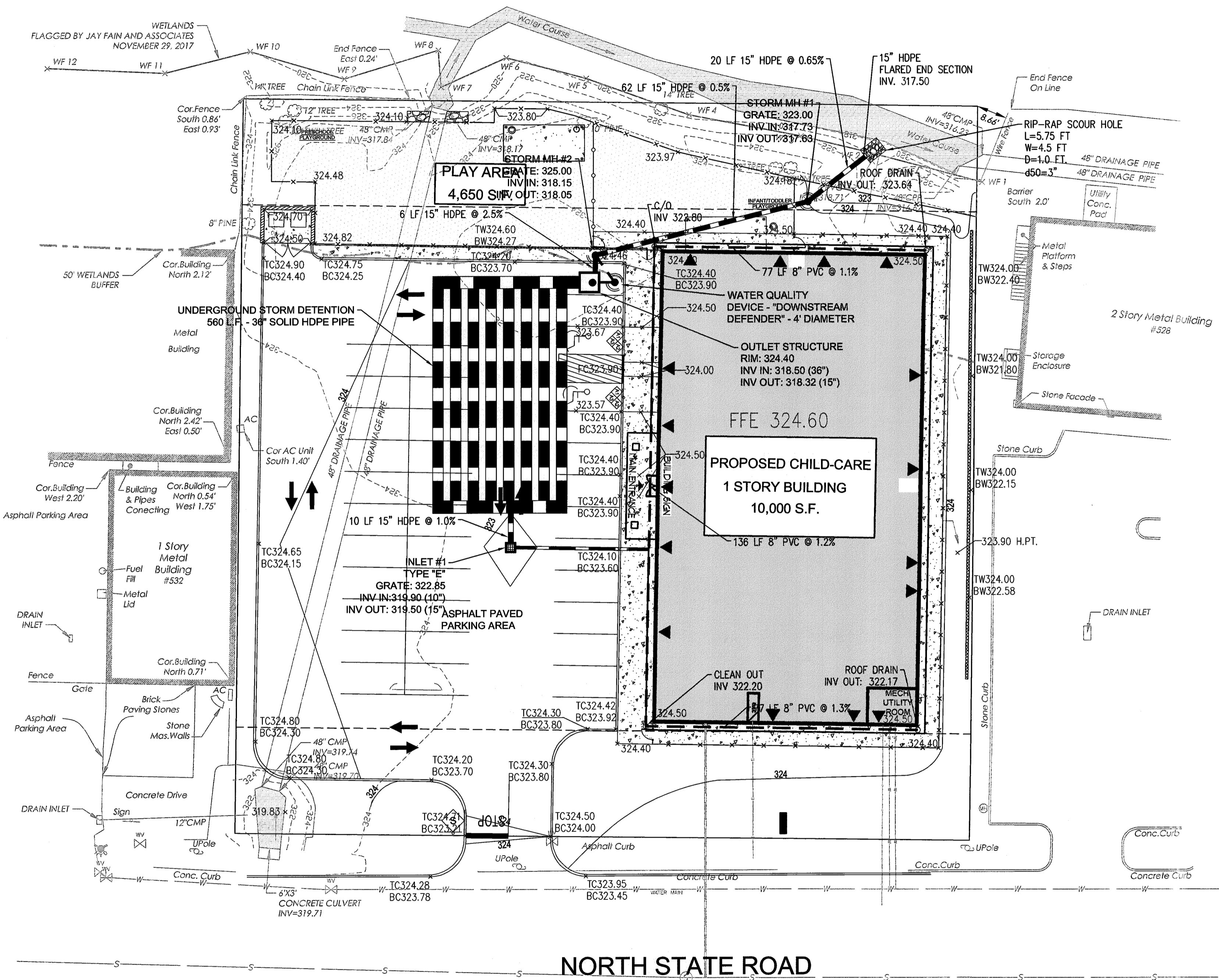


# GRADING AND DRAINAGE PLAN NOTES

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON SURVEY AND, WHERE POSSIBLE MEASUREMENTS SHOULD BE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- EXCAVATED MATERIAL CONTAINING ROCK OR STONE GREATER THAN SIX (6) INCHES IN LARGEST DIMENSION IS UNACCEPTABLE AS FILL TO WITHIN THE PROPOSED BUILDING AND PAVING AREA.
- ROCK OR STONE LESS THAN SIX (6) INCHES IN LARGEST DIMENSION IS ACCEPTABLE AS FILL TO WITHIN TWENTY-FOUR (24) INCHES OF SURFACE OF PROPOSED SURGED WHEN MIXED WITH SUITABLE MATERIAL AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- ROCK OR STONE LESS THAN TWO (2) INCHES IN LARGEST DIMENSION AND MIXED WITH SUITABLE MATERIAL IS ACCEPTABLE AS FILL WITHIN THE UPPER TWENTY-FOUR (24) INCH OF PROPOSED SUBGRADE AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- ALL SITEWORK AND EARTHWORK OPERATIONS CONDUCTED ON THE SITE TO BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE:
 

FILL AREA	STANDARD PROCTOR DRY DENSITY
SIDEWALKS	95%
PAVEMENTS AND ROADWAYS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
- PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS-SECTION.
- GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS OR CONTOURS ARE INDICATED ON DRAWINGS, OTHER THAN PAVED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISH DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
- ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE 4000 PSI.
- REPRESENTATIVES OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT THE DRAINAGE FACILITIES LOCATED ON THE PROPOSED LOT FROM TIME TO TIME AS DEEMED NECESSARY.
- CATCH BASINS SHALL BE CLEANED OUT PERIODICALLY TO PREVENT THE BUILDUP OF SEDIMENT AND DEBRIS IN STRUCTURES.
- ROOF LEADER CLEANOUTS LOCATED IN GRASSED AREAS SHALL BE PLASTIC SCREW CAPS WHILE ROOF LEADER CLEANOUTS LOCATED WITHIN CONCRETE AREAS SHALL BE FLUSH BRASS CAPS.

LEGEND		
EXISTING	PROPOSED	
STORM SEWER	N/A	
PROPERTY LINE	N/A	
MANHOLE	N/A	
CATCH BASIN	N/A	
SPOT ELEVATION	TC 100.57 BC 100.42V	99.30'
CONTOUR	100	



**Jarmel Kizel**  
ARCHITECTS AND ENGINEERS INC.  
42 OKNER PARKWAY  
LIVINGSTON, NEW JERSEY 07039  
TEL: 973-994-9669  
FAX: 973-994-4069  
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Architecture  
Engineering  
Interior Design  
Implementation Services

## ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG

## REVISION

NO.	DATE	DESCRIPTION	INT.

**PRINCIPALS**  
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## PLANT NOTES

1. VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO ANY PLANTING PIT EXCAVATION. CONTACT CALL BEFORE YOU DIG 72-HOURS PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. COORDINATE BUILDER REGARDING UNDERGROUND SYSTEMS.
2. NOTIFY THE LANDSCAPE ARCHITECT AT LEAST FIVE (5) DAYS IN ADVANCE OF PLANT MATERIAL DELIVERY TO THE SITE.
3. LAYOUT ALL PLANT MATERIAL WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION. SET UP OF ALL MATERIAL IN BEDS REQUIRED FOR OWNERS AND LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING. SEE PLAN FOR BED AND PLANT LAYOUT.
4. IF ANY DISCREPANCY OCCURS BETWEEN THE QUANTITIES CALLED FOR IN THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BID.
5. ALL PLANT MATERIAL IS TO CONFORM TO THE REQUIREMENTS OF THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EXTRA HEAVY GRADE UNLESS OTHERWISE SPECIFIED, TRUE TO NAME AND SIZE. INVESTIGATE SOURCES OF SUPPLY AND BE CERTAIN IT WILL BE POSSIBLE TO PROVIDE ALL PLANT MATERIALS SPECIFIED IN THE QUALITY AND QUANTITY REQUIRED PRIOR TO BIDDING.
6. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD, DYING NOT TRUE TO NAME OF SIZE AS SPECIFIED OR NOT IN SATISFACTORY GROWTH, OR HAVING BRANCHED OR DEFORMED STRUCTURE DUE TO LOSS OF LIMBS OR BRANCHED AS DETERMINED BY THE LANDSCAPE ARCHITECT, THAT PLANT MUST BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH AN APPROVED PLANT OF EQUAL SIZE AND SPECIES. PLANT VARIETY AND SIZE SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS PROVED THAT THE SPECIFIED PLANT MATERIAL IS UNATTAINABLE OR CANNOT MEET SPECIFICATION REQUIREMENTS, THEN THE USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WILL BE CONSIDERED. PLANT MATERIAL LARGER THAN SPECIFIED MAY BE USED AT NO INCREASE IN COST. PROPOSED SUBSTITUTIONS MUST RECEIVE THE LANDSCAPE ARCHITECTS AUTHORIZATION PRIOR TO BID.
7. STAKE TREES ONLY AS NECESSARY TO INSURE STABILITY.
8. ALL STOCKPILED MATERIALS ARE TO BE STORED IN AN AREA WITH GOOD SURFACE DRAINAGE, SOIL BALLS ARE TO BE COVERED WITH MULCH AND PLANTS ARE TO BE WATERED FREQUENTLY TO KEEP SOILS BALLS MOIST.
9. ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
10. RESTORE ALL DISTURBED OR DAMAGED AREAS RESULTING FROM PLANTING OPERATIONS TO ORIGINAL CONDITIONS.
11. PROVIDE 4" SCREENED TOPSOIL IN ALL AREAS NOT TO BE PAVED AS NEEDED, USE OWNERS STOCKPILE/ EXISTING SOIL AS PRACTICAL. MULCH BED AREAS WITH 2" OF SHREDDED PINE BARK. PROVIDE SAMPLE OF MULCH FOR OWNER'S APPROVAL. PROVIDE PER YARD PLACE & SPREAD TOPSOIL PRICE.
12. SEE PLAN FOR LAWN LIMIT AND BED LAYOUT - CUT BEDS AFTER APPROVAL FROM OWNER AND LANDSCAPE ARCHITECT. SEED OR SOD PER CONTRACT LAWN AREAS AND MULCH NEW SEED WITH CHOPPED STRAW OR SALT HAY. PROVIDE STARTER FERTILIZER IN SEED MIX. SEED MIX, OR APPROVED EQUAL, AS FOLLOWS:
  - a. BLEND OF 3 TALL FESCUES FOR WATER AND FERTILIZER NEEDS REDUCTION. i.e. 'DEFIANCE XRE FESCUE GRASS SEED BLEND' CONTAINING SPEEDWAY, BLACKWATCH AND SR-8650 TALL FESCUES THAT ARE TURF FORMING AND SELF HEALING

## PLANT LIST for Wetland Buffer areas (Native and deer resistant)

Quan.	Syn.	Botanical/ Common Name	Size/ Root	Remark
<b>TREES</b>				
1	AC	Amelanchier e. x. 'Autumn Brilliance' / Shadblow	2-2.5" cal/ BB	1 buffer
2	CF	Cornus florida / Flowering Dogwood	1.75-2" Cal/ BB	buffer
<b>SHRUBS</b>				
5	CA	Clethra alnifolia/ Sweet Pepperbush	#3/Cont.	buffer
5	IV	Itea virginiana / Sweetspire	#3/ Cont.	buffer
6	MP	Myrica pensylvanica/ Bayberry	#3/ Cont.	buffer
2	SD	Salix discolor/ Pussywillow	5-6' ht clump	buffer
<b>FORBS</b>				
7	At	Amsonia taberna/ Bluestar	2 gal	buffer
7	As	Asclepias incarnata / Swamp milkweed	1 gal.	buffer
20	Apd	Aster n. 'Purple Dome'	1 gal	Buffer front
20	Ep	Echinacea purpurea/ Coneflower	1 gal	Buffer
20	Ha	Heuchera americana / Coral bells	1 gal	Buffer front
20	Rf	Rudbeckia f. 'Goldsturm' / Blackeyed Susan	1 gal	buffer
<b>GRASSES</b>				
26	Pv	Panicum virgatum 'Northwind' / Switchgrass	2 gal	buffer
14	Ss	Schizachyrium scoparium / Little Bluestem 'The Blues'	2 gal	front
20	Sh	Sporobolus heterolepis/ Prairie Dropseed	1 gal	Buffer front

Note: 1 nest box proposed on cedar post.

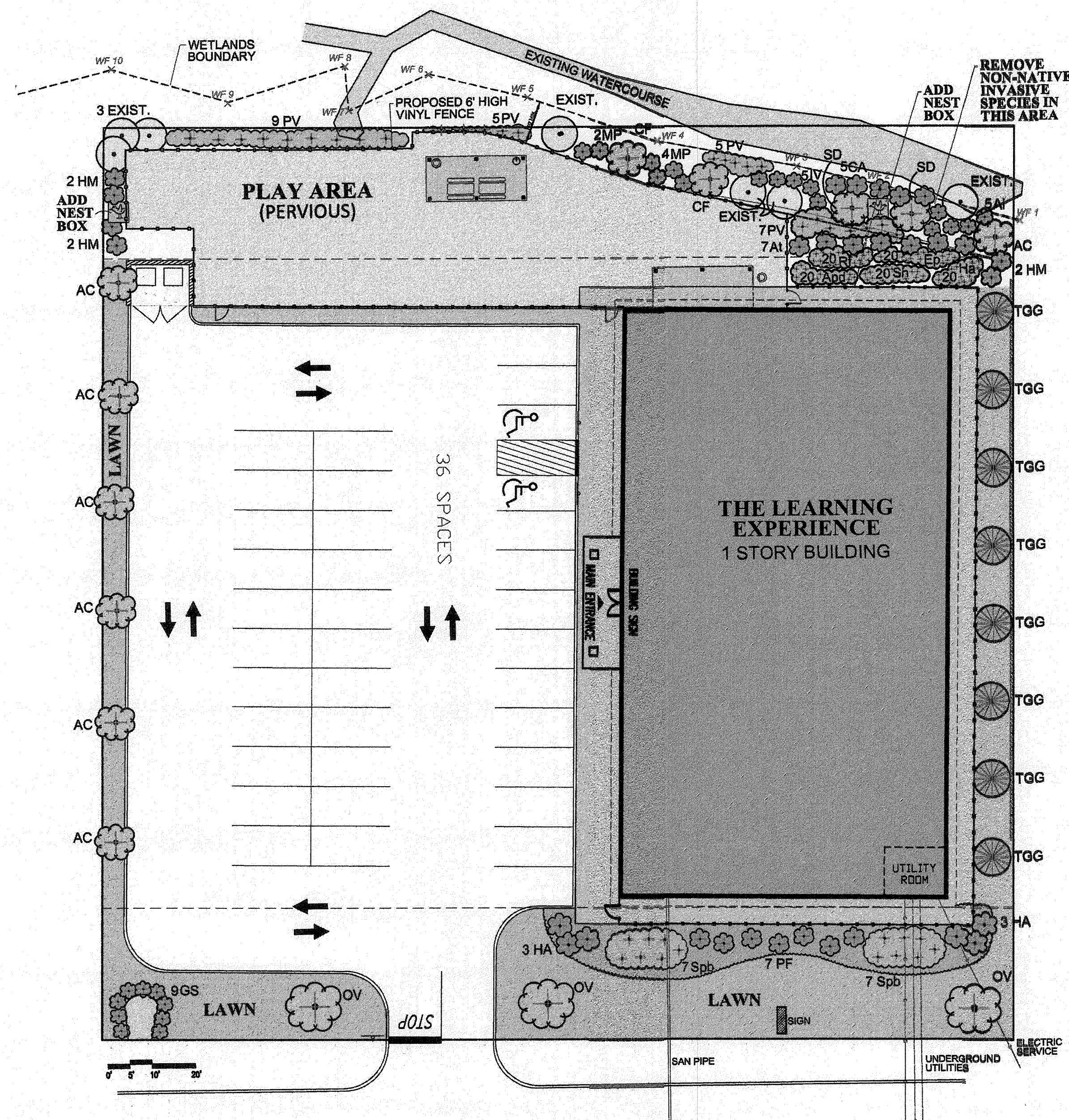
## PLANT LIST for Non Buffer areas (Native and deer resistant)

Quan.	Syn.	Botanical/ Common Name	Size/ Root	Remark
<b>TREES</b>				
5	AC	Amelanchier e. x. 'Autumn Brilliance' / Shadblow	2-2.5" cal/ BB	1 buffer and 5 side
3	OV	Ostrya virginiana / American Hophornbeam	2-2.5" cal/ BB	Trees in front-matching
8	TP	Thuja p. 'Green Giant'	6-7" ht/ BB	Screen at side
<b>SHRUBS</b>				
9	CS	Cornus sericea / Redtwig Dogwood	#3 Cont.	front
7	PF	Potentilla fruticosa 'Goldfinger'	#5 Cont.	Front
6	HA	Hydrangea arborescens 'Incrediball'	#5 cont.	Front
<b>FORBS</b>				
6	Hm	Hibiscus moscheutos / Rose Mallow	2 gal.	Sides

Note: 1 nest box proposed on cedar post.

## GENERAL NOTES

1. LANDSCAPE AND WETLAND MITIGATION PLAN FOR PLANTING ONLY.
2. FOR ALL OTHER SITE PLAN INFORMATION, REFER TO DRAWING SET DATED APRIL 27, 2018, PROVIDED BY JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC., TITLED PRELIMINARY/FINAL SITE PLAN THE LEARNING EXPERIENCE, SHEETS 1-11.



LANDSCAPE AND WETLAND MITIGATION PLAN	
530 NORTH STATE ROAD BRIARCLIFF MANOR, NY	Date: 05-22-18
JAY FAIN & ASSOCIATES, LLC Environmental Consulting Services 134 Round Hill Road, Fairfield, CT 06424 203-254-3156 • fax: 203-254-3167	Sheet No.: L.1

0' 5' 10' 20' 40'

**Jarmel Kizel**  
ARCHITECTS AND ENGINEERS INC.  
42 OKNER PARKWAY  
LIVINGSTON, NEW JERSEY 07039  
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FAX: 973-994-4069  
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Architecture  
Engineering  
Interior Design  
Implementation Services

## ISSUE

NO.	DATE	DESCRIPTION	INT.

## REVISION

NO.	DATE	DESCRIPTION	INT.

**PRINCIPALS**  
MATTHEW B. JARMEL, AIA, WBA NJ LIC AIG-12787  
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CO LIC AR-C-001453 NC LIC 10720  
CT LIC AR-C-001415 NH LIC 3501  
DC LIC AR-C-001849 NY LIC 024673  
DE LIC 98-000726 OH LIC A-98-12444  
FL LIC AR-04034 PA LIC RA-014851-S  
GA LIC RADY1484 RI LIC AR-C-004765  
IA LIC 00877 SC LIC AR-9163  
IL LIC 00069 TN LIC 00850  
IN LIC 00069 VA LIC 0401 014089  
KS LIC 00069 VT LIC 2423  
KY LIC 00069 WA LIC 00069  
LA LIC 00069 WI LIC 00069  
ME LIC 00069 WY LIC 00069  
MI LIC 00069  
MO LIC 00069  
NE LIC 00069  
NH LIC 00069  
NJ LIC 00069  
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NV LIC 00069  
NY LIC 00069  
OH LIC 00069  
OK LIC 00069  
OR LIC 00069  
PA LIC 00069  
RI LIC 00069  
SC LIC 00069  
SD LIC 00069  
TN LIC 00069  
TX LIC 00069  
VA LIC 00069  
VT LIC 00069  
WA LIC 00069  
WI LIC 00069  
WY LIC 00069

Project: THE LEARNING EXPERIENCE  
530 NORTH STATE ROAD  
TOWN OF OSSING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Project No: TLENY-S-17-155  
Scale: 1" = 20'-0"  
Drawn By: LB  
Approved By: RAJ

Drawing Name: LANDSCAPE AND WETLAND MITIGATION PLAN

Drawing Number: C-600

Sheet No: 6 of 11

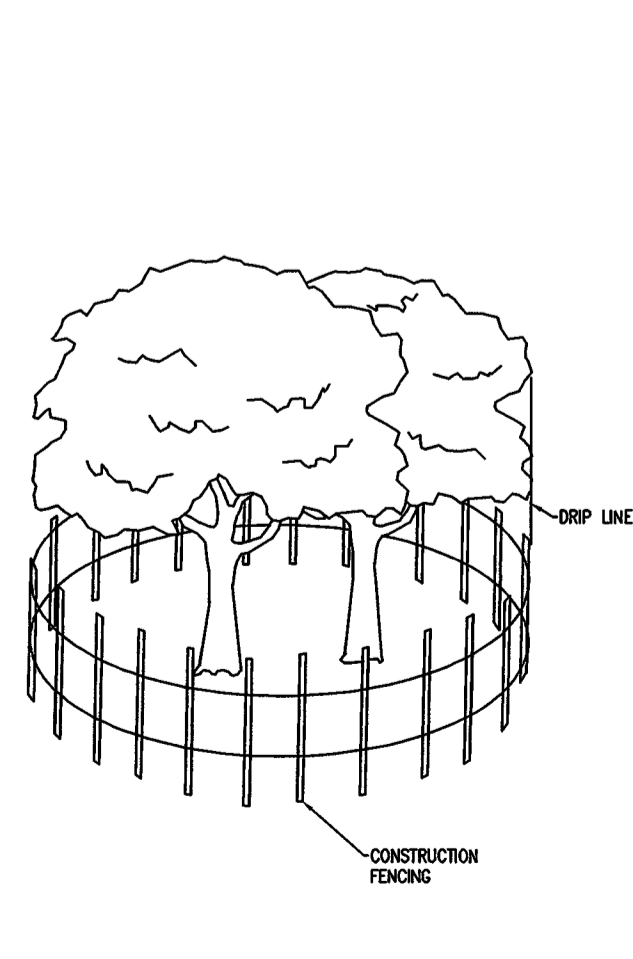
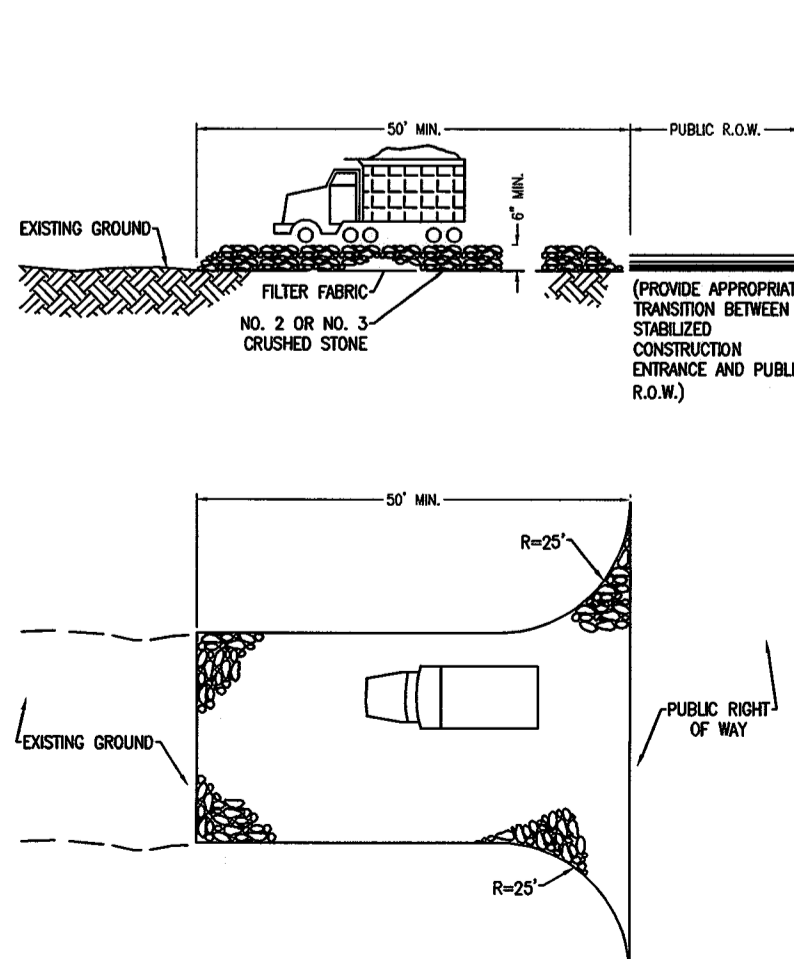
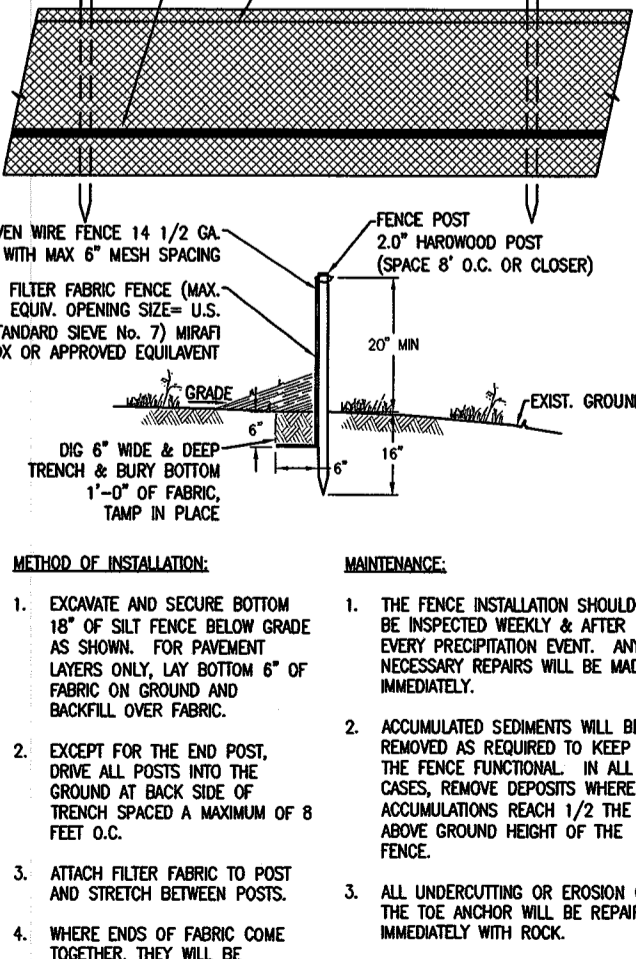
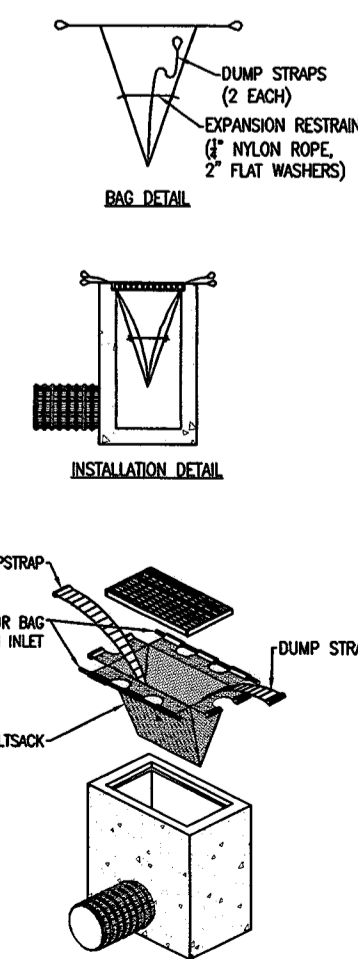
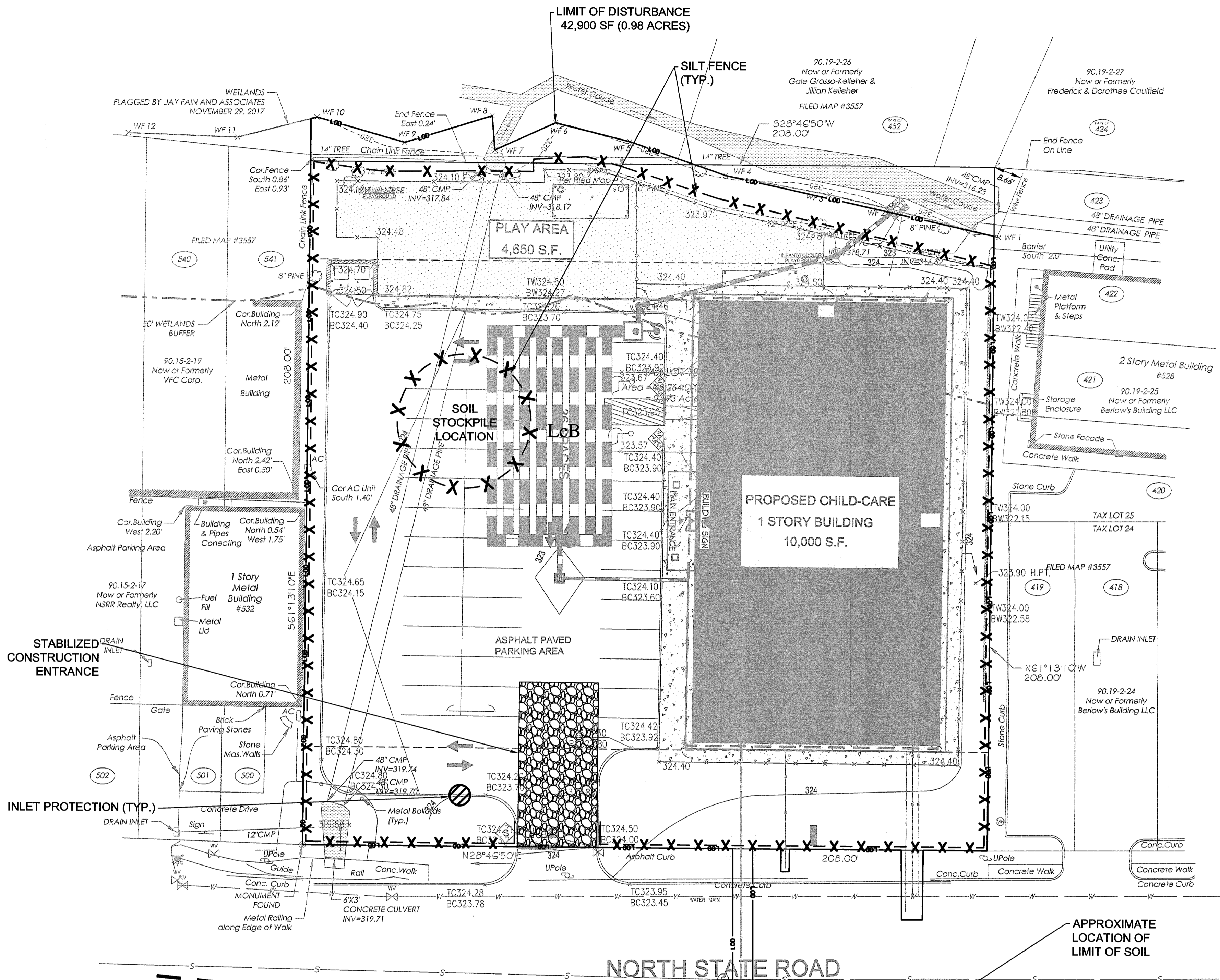
Initial Date: MAY 22, 2018

Professional Seal: JARMEL KIZEL ARCHITECTS AND ENGINEERS INC. N.Y. LIC. #075898-1



# SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NY STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL WORK WITHIN COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH NASSAU COUNTY RULES AND REGULATIONS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION OF PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.



## SEQUENCE OF CONSTRUCTION:

- | ITEM                                    | DURATION |
|---|----------|
| 1. INSTALL SOIL EROSION MEASURES        | 2        |
| 2. DEMO SITE                            | 7        |
| 3. GRADE SITE FOR BUILDING AND PAVEMENT | 7        |
| 4. CONSTRUCT BUILDING AND PLAY AREA     | 200      |
| 5. CONSTRUCT STORM SYSTEM               | 15       |
| 6. CONNECT UTILITIES                    | 5        |
| 7. INSTALL NEW CURB                     | 5        |
| 8. POUR NEW WALKWAYS                    | 5        |
| 9. PAVE DRIVEWAYS & LINESTRIPING        | 10       |
| 10. PLANT NEW VEGETATION                | 5        |
| 11. REMOVE SOIL EROSION MEASURES        | 1        |

TOTAL:	260 DAYS
--------	----------

## LEGEND

PROPERTY LINE	---
CONSTRUCTION ENTRANCE	---
SILT FENCE	X - X
LIMIT OF DISTURBANCE	---
SOIL TYPE	---

L&B: LOCESTER LOAM, 3% TO 8% SLOPES, STONY  
C&C: CHARLTON-CHAFFIELD COMPLEX, 0% TO 15% SLOPES, VERY ROCKY

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Architecture  
Engineering  
Interior Design  
Implementation Services

ISSUE			
NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG

REVISION			
NO.	DATE	DESCRIPTION	INT.

<b>PRINCIPALS</b>	<b>MATTHEW B. JARMEL, AIA, MBA</b>	NY LIC 00000001	NY LIC 00000001
<b>IRWIN H. KIZEL, AIA, PE</b>	NY LIC 00000002	NY LIC 00000002	NY LIC 00000002
<b>RICHARD A. JARMEL, PE</b>	NY LIC 00000003	NY LIC 00000003	NY LIC 00000003
<b>ASSOCIATES</b>	<b>RONALD A. BROKENSHIRE, PE</b>	NY LIC 00000004	NY LIC 00000004
<b>DAVID L. LESSENE, RA</b>	NY LIC 00000005	NY LIC 00000005	NY LIC 00000005
<b>MICHAEL J. VOGLAND, RA</b>	NY LIC 00000006	NY LIC 00000006	NY LIC 00000006
<b>GERARD P. GREGARIO, PE</b>	NY LIC 00000007	NY LIC 00000007	NY LIC 00000007
<b>FREDERICK VINCHAI, RA</b>	NY LIC 00000008	NY LIC 00000008	NY LIC 00000008
<b>JEROME LESLIE EBEL, FALA, PP</b>	NY LIC 00000009	NY LIC 00000009	NY LIC 00000009
<b>CHERYL SCHWEIKER, AIA</b>	NY LIC 00000010	NY LIC 00000010	NY LIC 00000010

Project: **THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSINGING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **1" = 20'**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name:

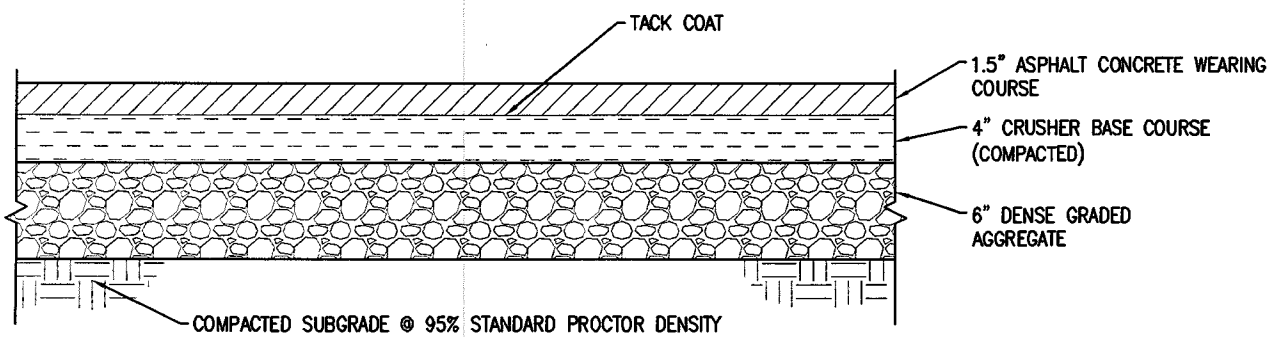
**SOIL EROSION AND SEDIMENT CONTROL PLAN**

Drawing Number: **C-700**

Sheet No: **8** of **11**

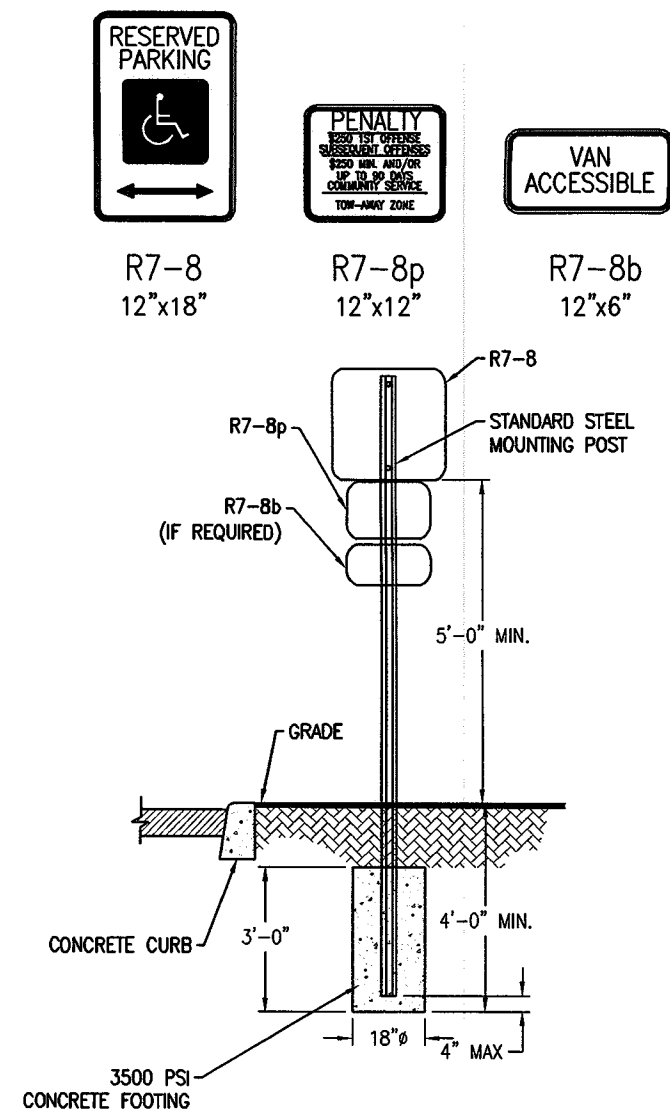
Initial Date: **APRIL 27, 2018**

**RICHARD A. JARMEL**  
PROFESSIONAL ENGINEER  
N.Y. LIC. 00000003

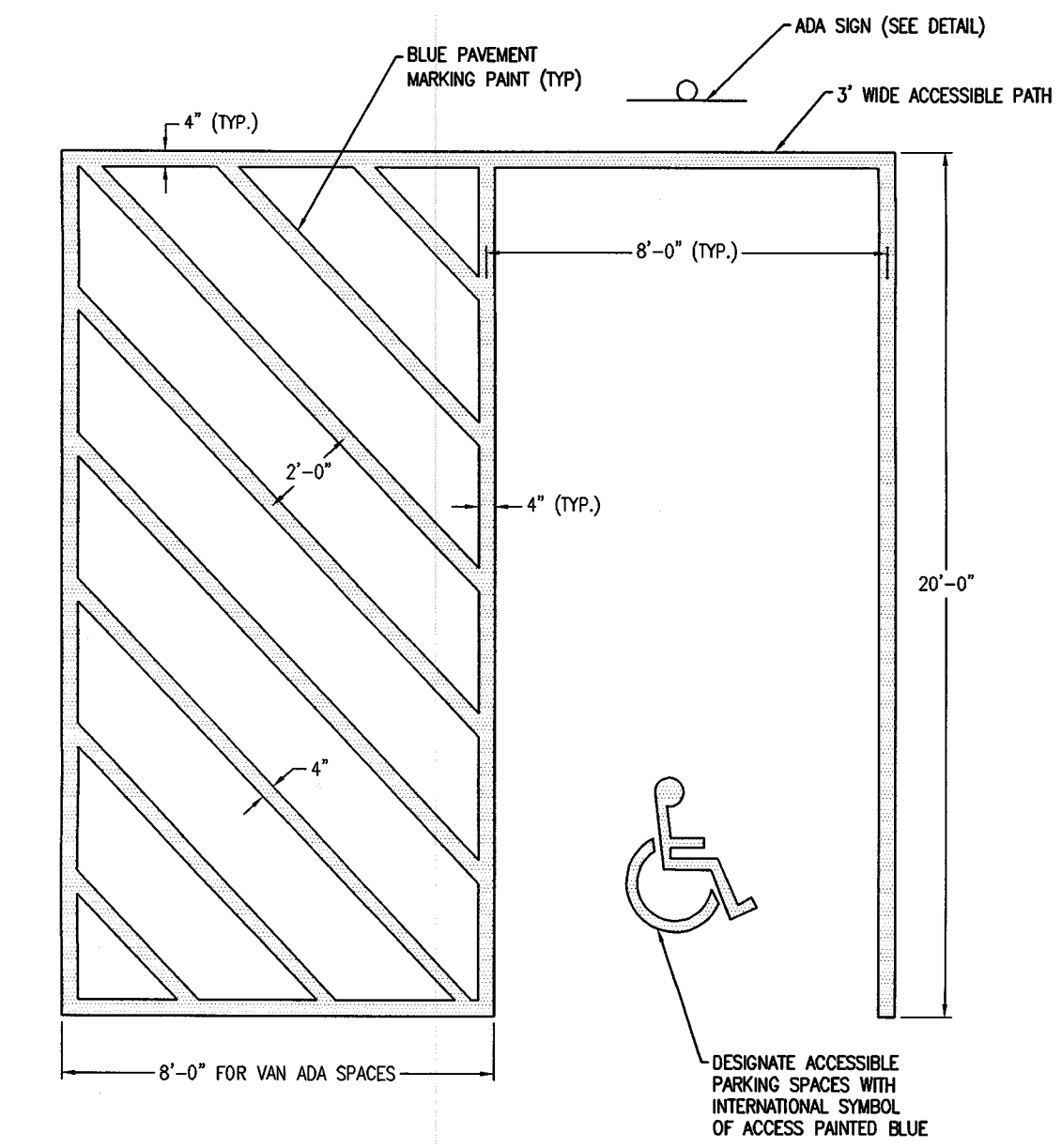


- NOTES:
1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
  2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
  3. THE 4 INCHES OF CRUSHER BASE COURSE SHALL CONSIST OF FINE PARTICLES SMALLER THAN 1" SIZE PRODUCED AT THE CRUSHING PLANT FROM CRUSHED TRAP ROCK OR DOLOMITE. RUN OF CRUSHER SHALL MEET THE REQUIREMENTS OF THE GENERAL SPECIFICATIONS, NON-METALLIC MATERIALS.
  4. THE 1 1/2 INCHES OF ASPHALT CONCRETE WEARING COURSE SHALL CONSIST OF ASPHALT CONCRETE TYPE 1 AC.

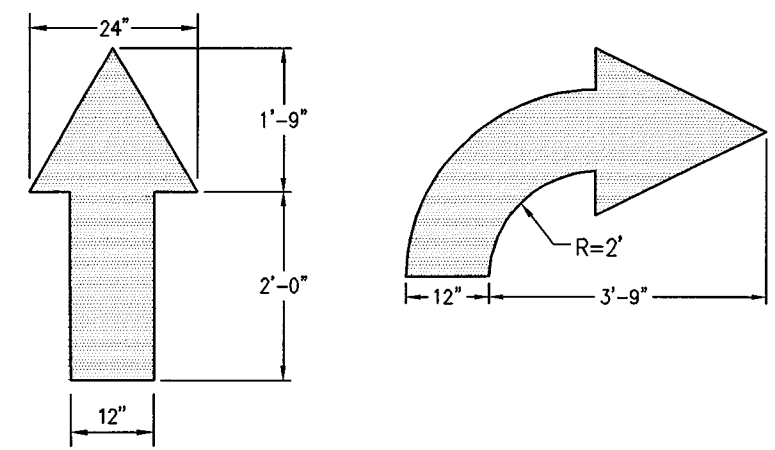
**ASPHALT PAVEMENT SECTION**  
N.T.S.



**SIGN MOUNTING DETAIL**  
N.T.S.

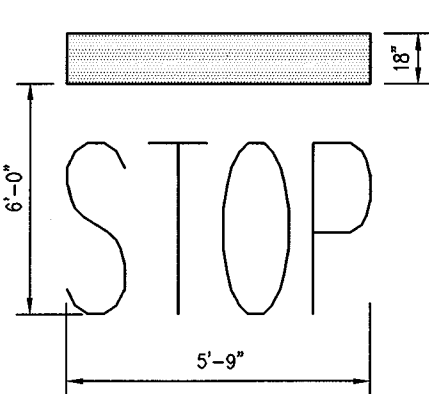


**ADA PARKING SPACE STRIPING**  
N.T.S.



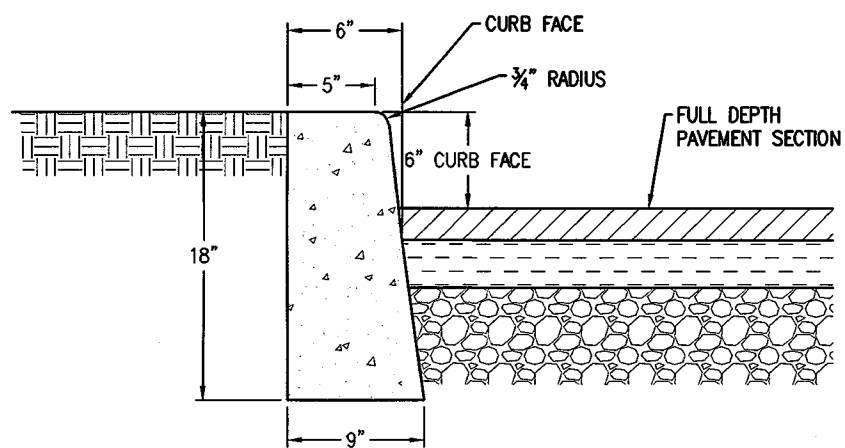
- NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
  2. THESE TRAFFIC FLOW ARROWS SHALL BE PAINTED REFLECTIVE YELLOW.

**TRAFFIC FLOW ARROWS**  
N.T.S.



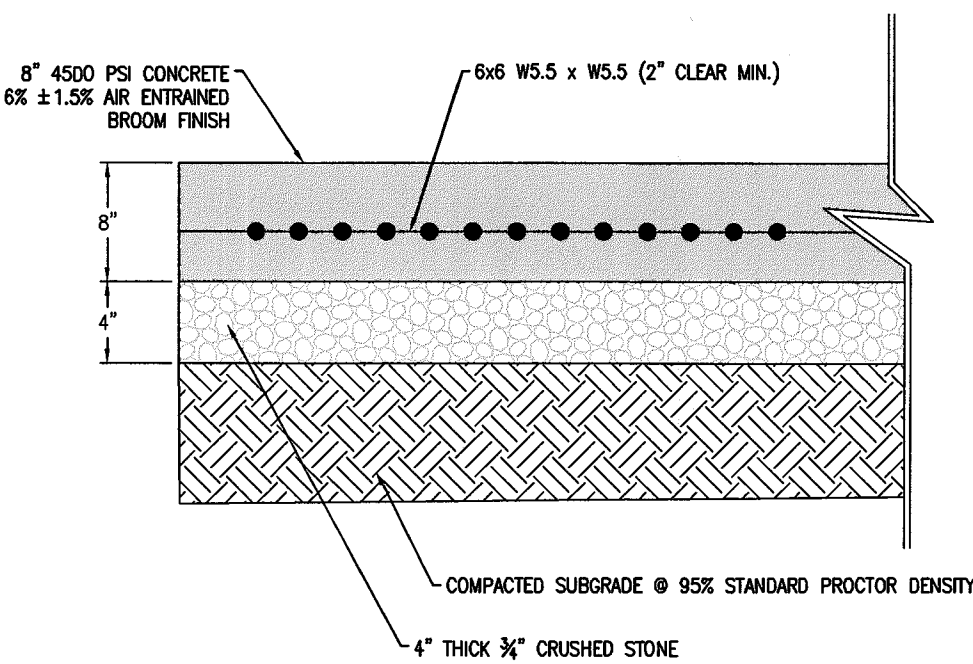
- NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
  2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

**STOP BAR DETAIL**  
N.T.S.

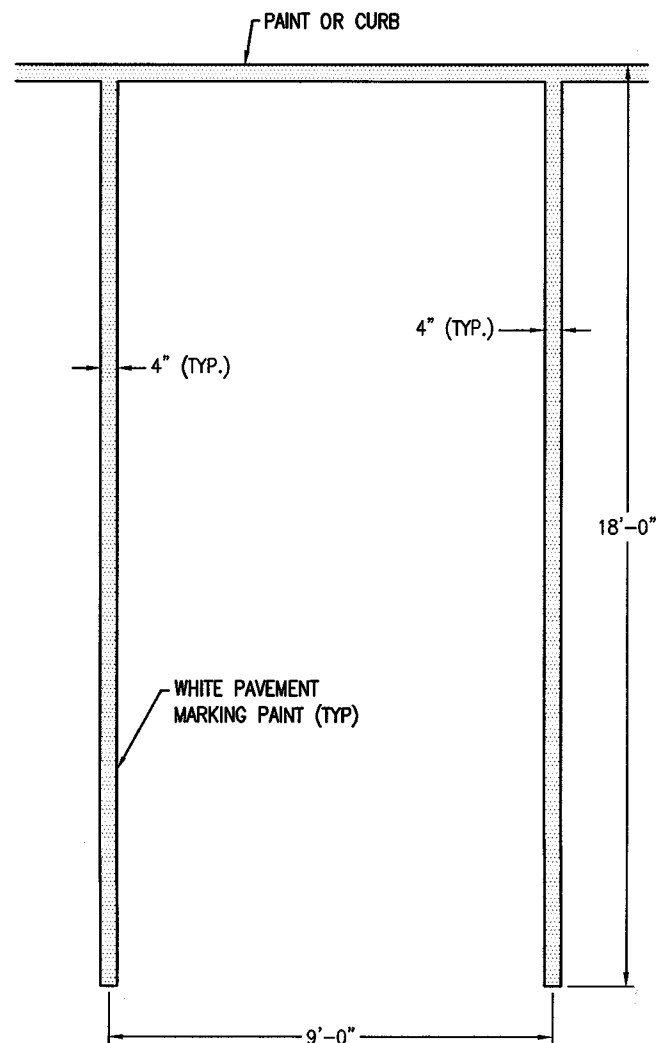


- NOTES:
1. CONCRETE TO TEST 4,000 PSI MINIMUM ON 28 DAY DAY TEST, AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3" MAX.
  2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-FT APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
  3. EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE SMOOTH FINISHED SURFACE.

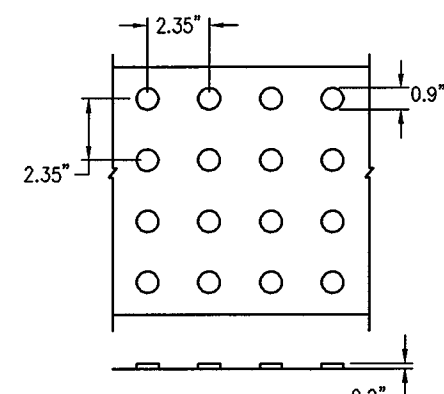
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**CONCRETE SLAB FOR DUMPSTER**  
N.T.S.

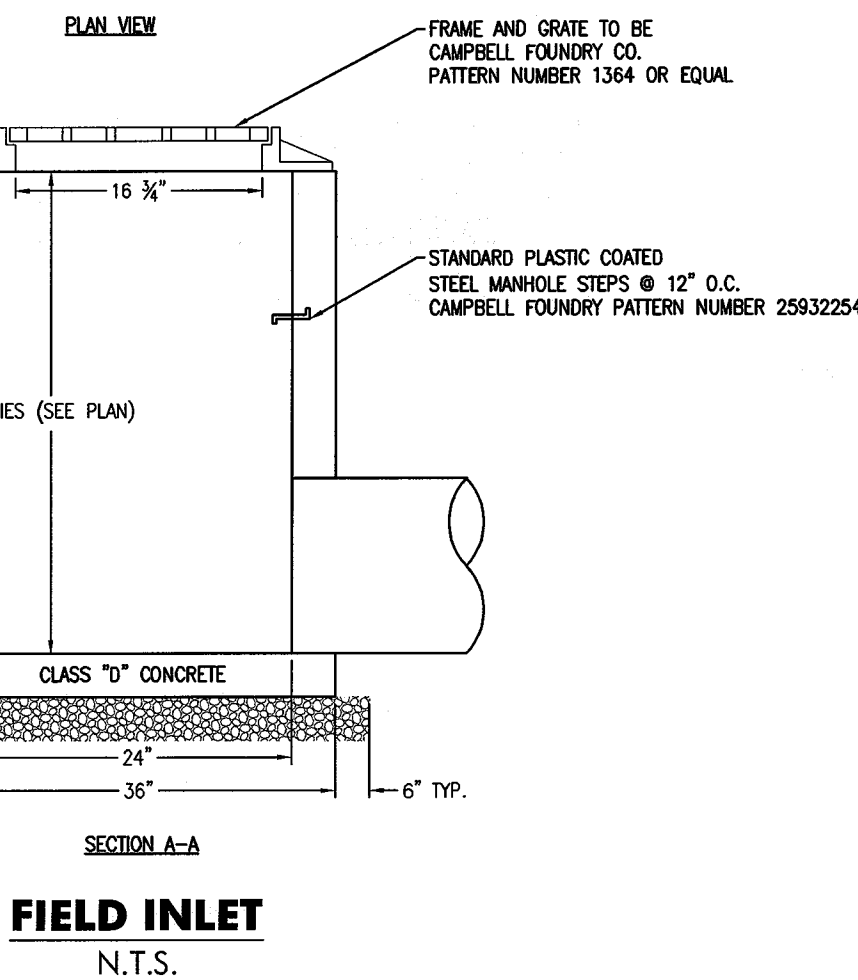
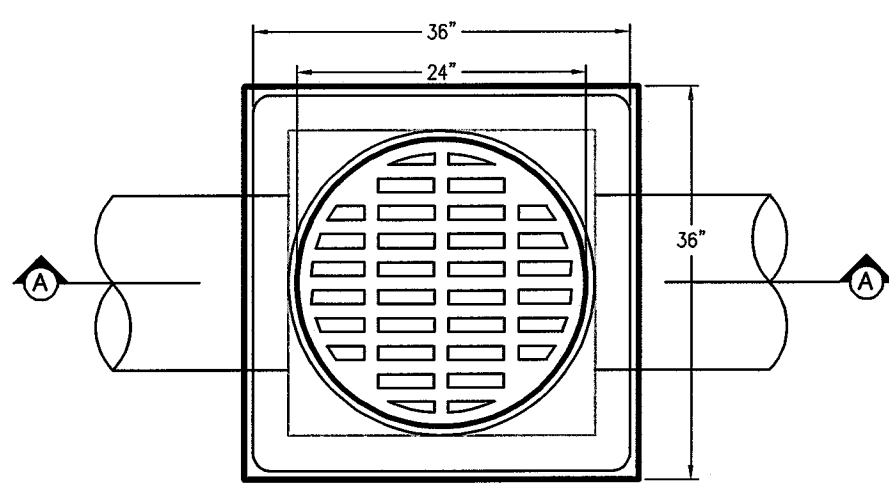


**STANDARD PARKING SPACE STRIPING**  
N.T.S.



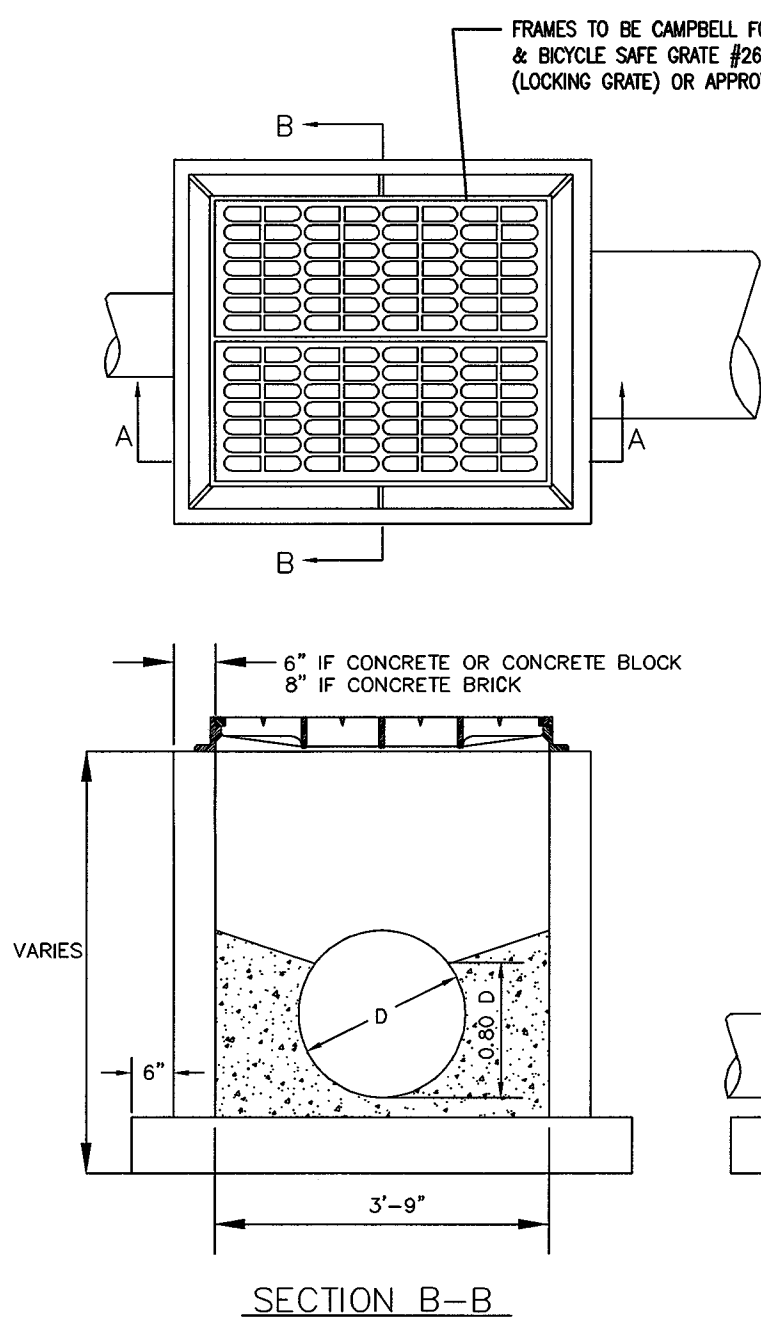
- NOTES:
1. A 24" WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES SHALL BE PROVIDED ON THE WALKING SURFACE AT THE PLATFORM EDGE.
  2. DOMES SHALL HAVE A DIAMETER OF 0.9", A HEIGHT OF 0.2", AND A CENTER-TO-CENTER SPACING OF 2.35".
  3. MATERIAL SHALL BE NEEDHAM FOUNDRY CAST IN PLACE STEEL DETECTABLE PLATES (COLOR-RED).

**DETECTABLE WARNING SURFACE**  
N.T.S.

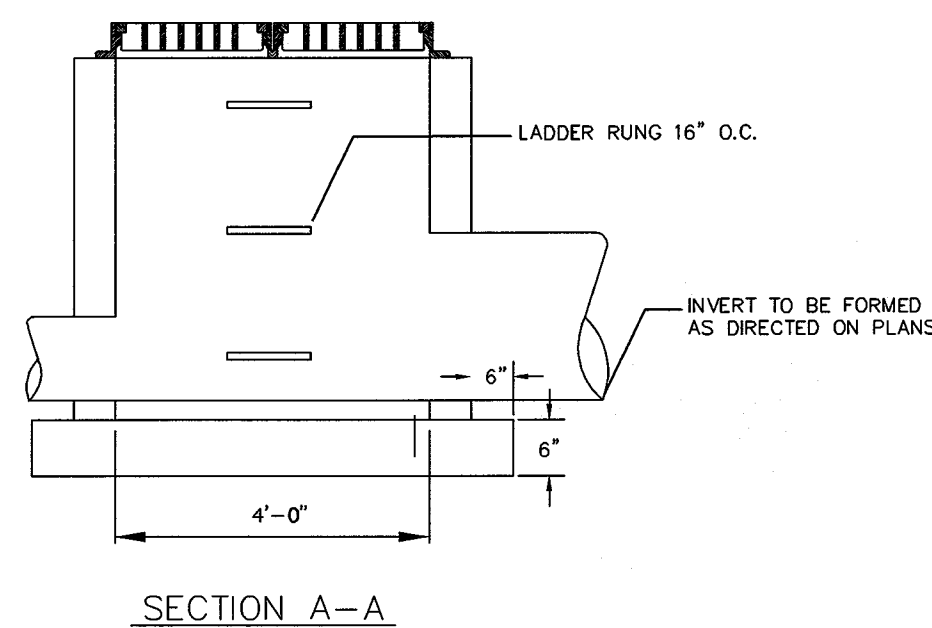


**FIELD INLET**  
N.T.S.

- GENERAL NOTES:
1. FOOTING AND INVERT TO BE 3,500 PSI CONCRETE.
  2. IF WALL CONSTRUCTION OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
  3. BLOCK TO BE LAID ON 1:2 MORTAR AND JOINTS NOT OVER 1/4" THICK, POINTED FLUSH.
  4. PROVIDE 3/4" ALUMINUM LADDER RUNGS AS SHOWN. 16" O.C.
  5. WHEN ADDITIONAL DEPTH IS SCHEDULED WALLS BELOW THE DEPTH OF 8'-0" MEASURED FROM THE INLET GUTTER TO INVERT, SHALL BE 12" THICK IF CONCRETE OR DOUBLE BLOCK IF BLOCK. THE FOUNDATION DIMENSION SHALL BE INCREASED 12" IN WIDTH AND TO 12" IN DEPTH.
  6. EXISTING STRUCTURE TO BE MODIFIED FROM 'B' INLET TO 'C' INLET. CONTRACTOR TO REPAIR STRUCTURE AS REQUIRED.

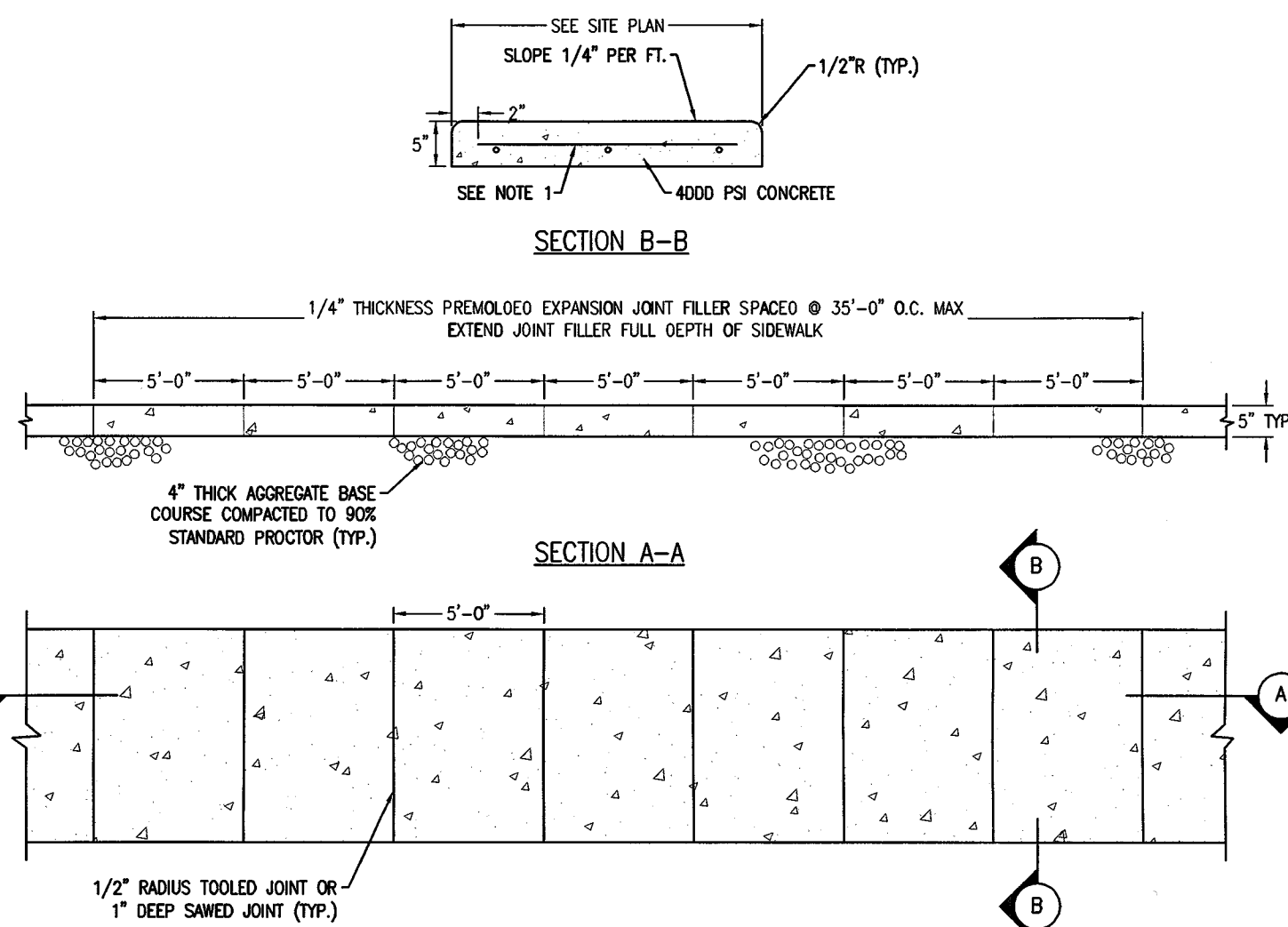


**SECTION B-B**



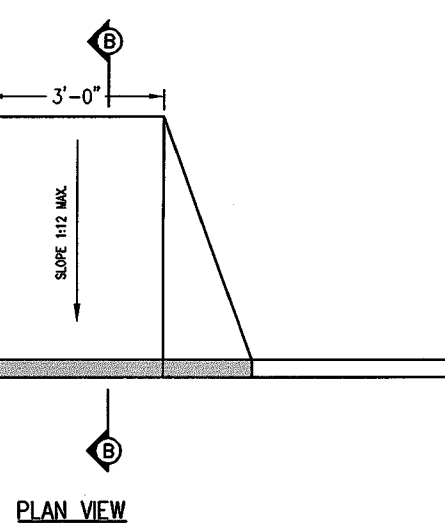
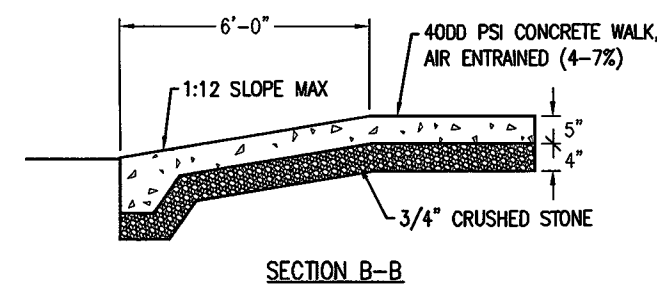
**SECTION A-A**

**TYPE "E" INLET**  
N.T.S.

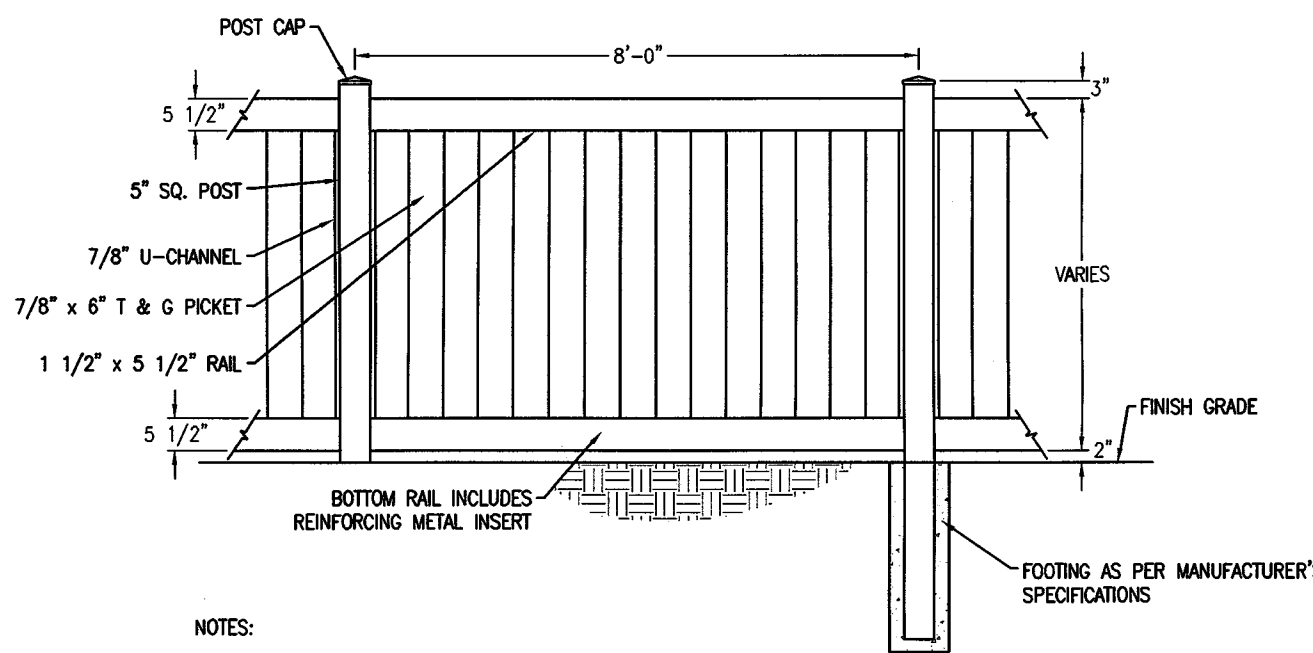


- NOTES:
1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
  2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
  3. CONCRETE SIDEWALK SHALL CONSIST OF ONE PART PORTLAND CEMENT TYPE IA, ONE AND ONE HALF PARTS OF FINE AGGREGATE AND THREE PARTS OF COARSE AGGREGATE (OTHER BROWN STONE OR SCREENED GRAVEL) SIZE NUMBER 3 (1").
  4. No. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W1.4 X W1.4 WWF.

**CONCRETE SIDEWALK**  
N.T.S.



**HANDICAP CURB AT SIDEWALK**  
N.T.S.



- NOTES:
1. FENCE TO BE 'LEGEND VINYL SERIES', PRIVACY STYLE FENCE, BY MASTER WALCO, OR APPROVED EQUIVALENT.
  2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS AND RECOMMENDATIONS.
  3. FOOTING AS PER MANUFACTURER'S SPECIFICATION.

**SOLID VINYL FENCE DETAIL**  
N.T.S.



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Architecture  
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Interior Design  
Implementation Services

**ISSUE**

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG

**REVISION**

NO.	DATE	DESCRIPTION	INT.

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IN LIC 05577	SC LIC AR-9163	
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MA LIC AR10265	TX LIC 20992	
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NE LIC 08022	NY PP LIC 3380243100	
CT LIC 08022	NJ LIC 37491	
DE LIC 08022	NH LIC 37492	
IL LIC 08022	NY LIC 023995-1	
IN LIC 08022	PA LIC PE070600	
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UT LIC 08022		
VT LIC 08022		
WA LIC 08022		
WI LIC 08022		
WV LIC 08022		
WY LIC 08022		
ZZ LIC 08022		

NJ State Board of Architects, Registration No. 143  
NJ State Board of Engineers & Land Surveyors, Registration No. 161, GA-278177

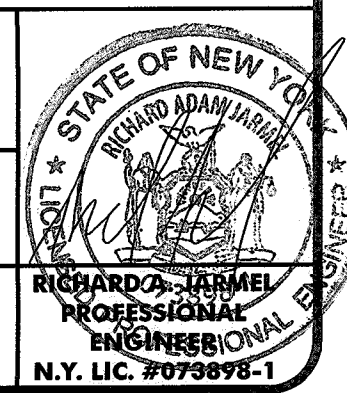
Project: **THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

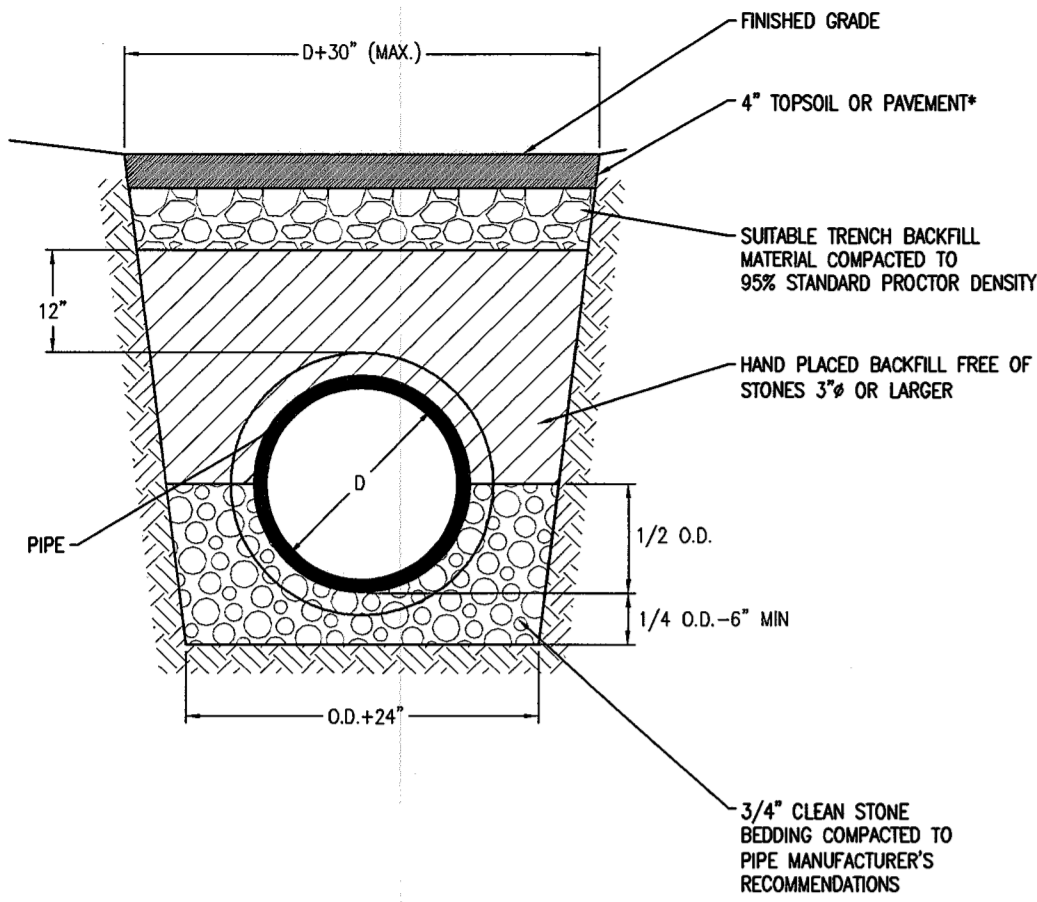
Project No:	Scale:
TLENY-S-17-155	AS NOTED
Drawn By:	Approved By:
LB	GPG

Drawing Name:

**DETAIL SHEET**

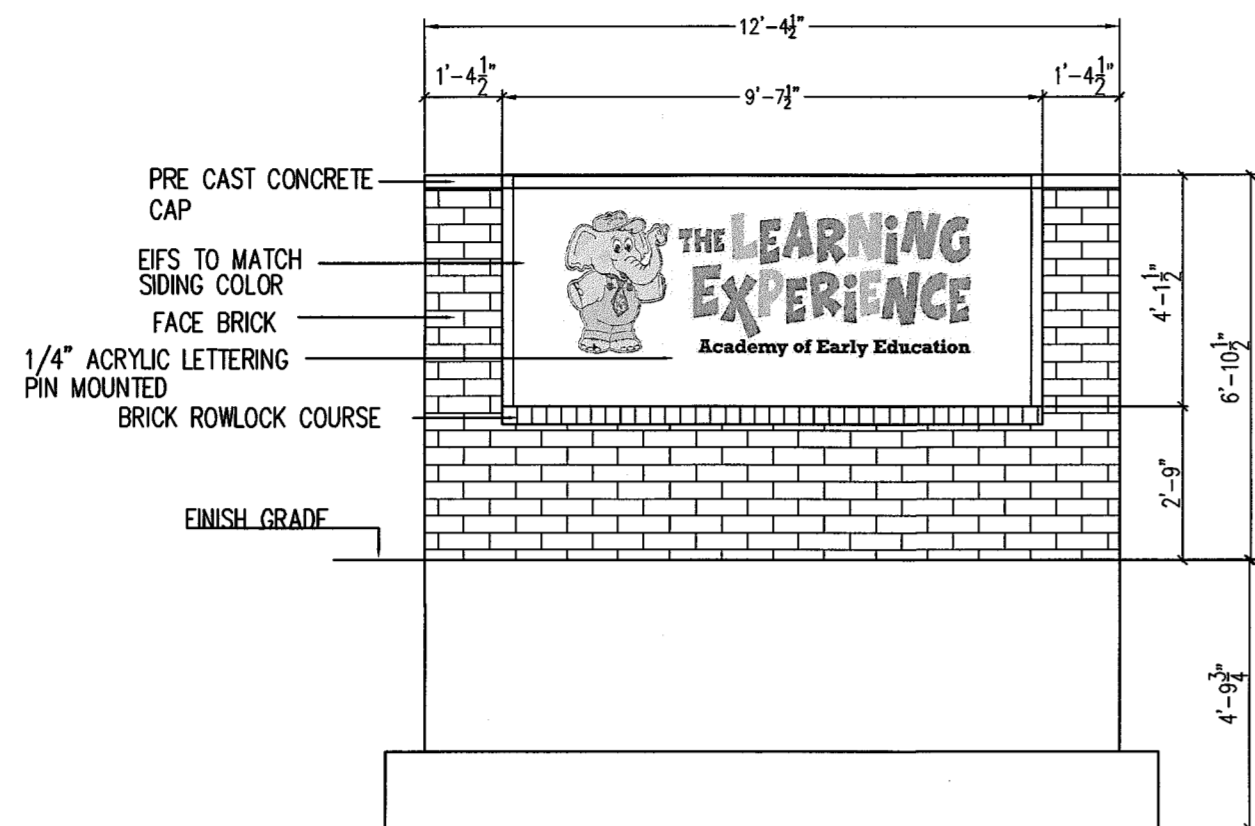
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C-900	
Sheet No:	of:
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Initial Date:	
APRIL 27, 2018	



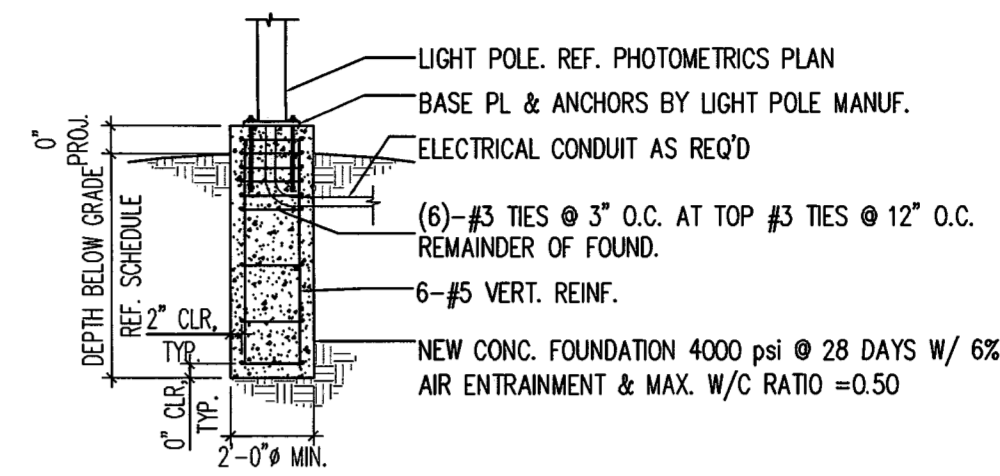
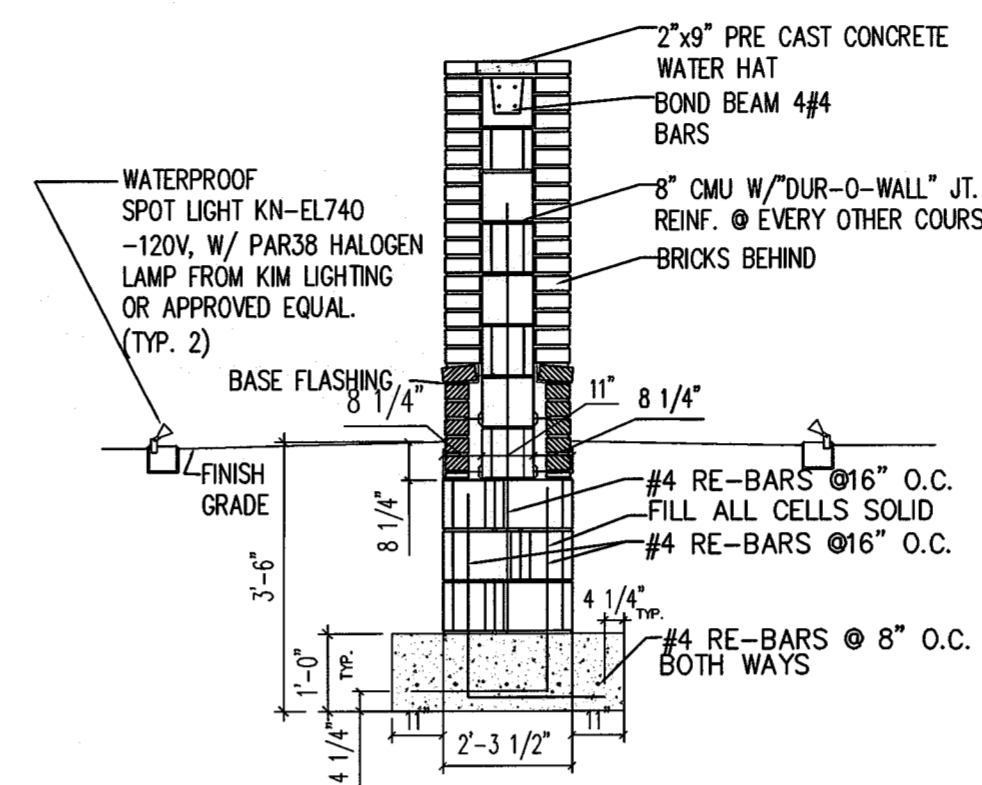
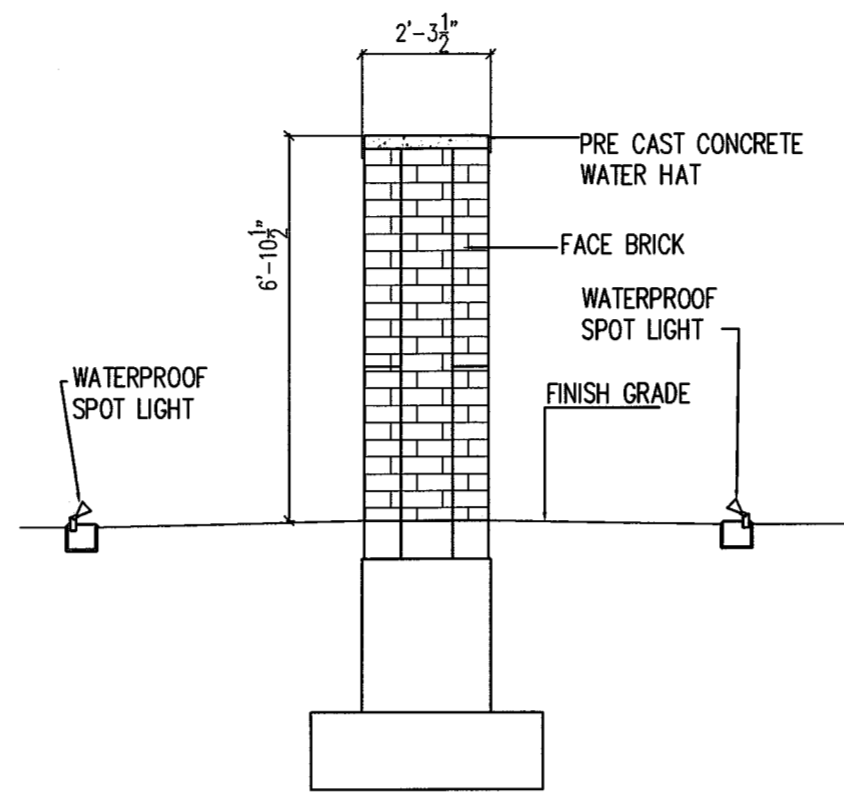


GENERAL NOTE:  
1. ALL BACKFILL UNDER PAVEMENT SHALL BE TYPE 1-2 SELECT MATERIAL OR SA BASE COURSE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY.

**TRENCH/BACKFILL SECTION**  
N.T.S.



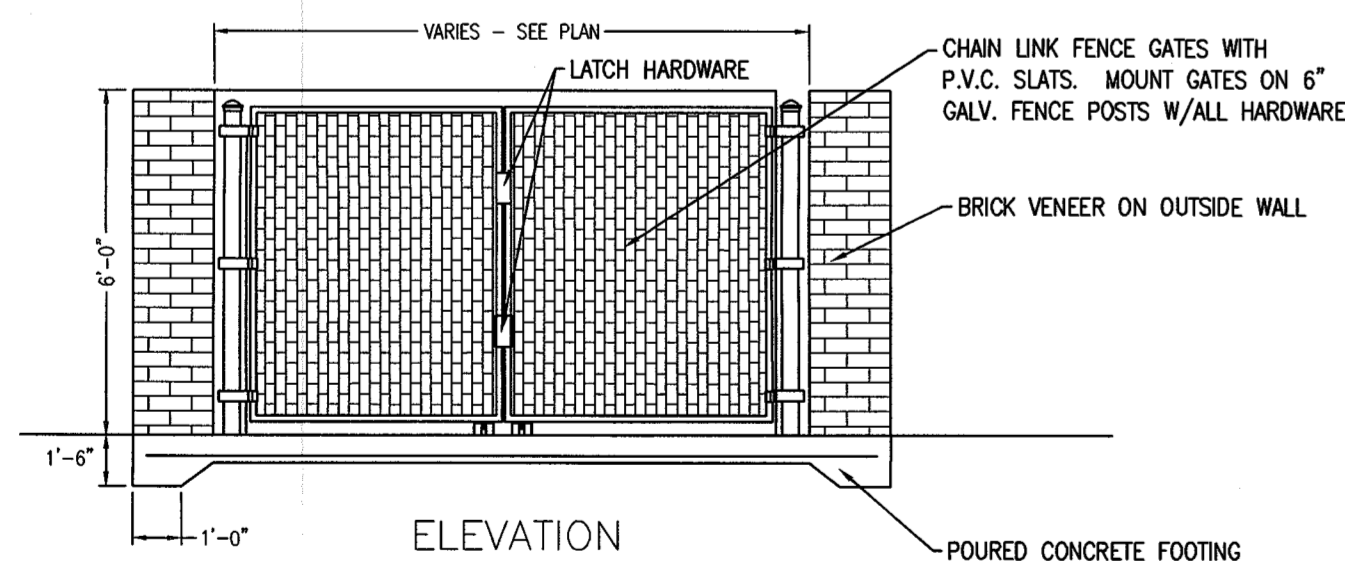
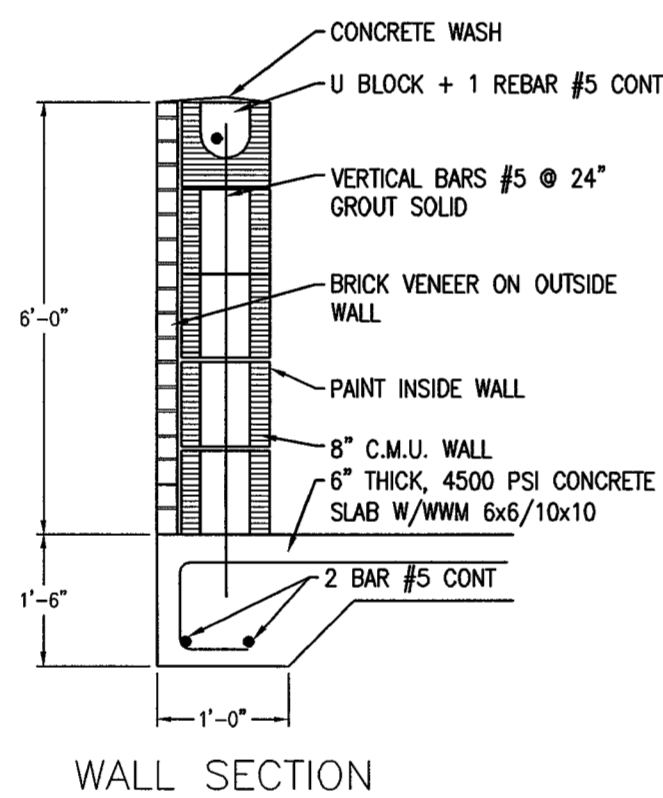
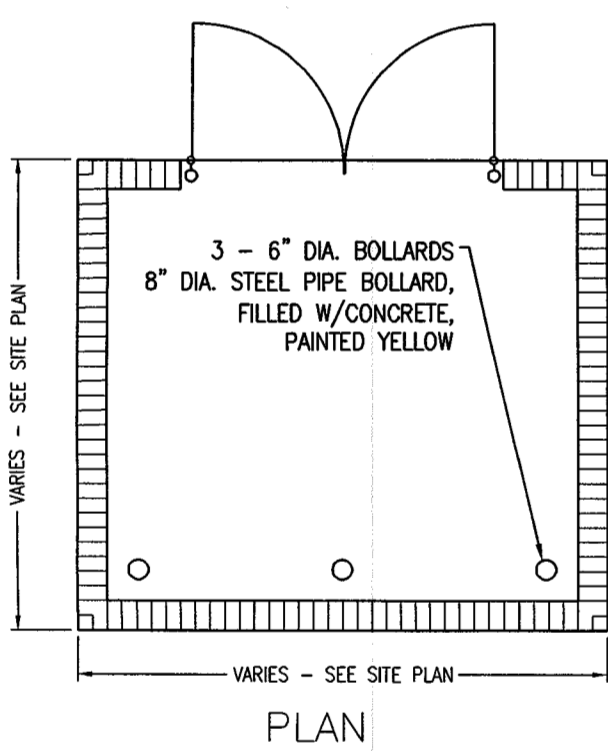
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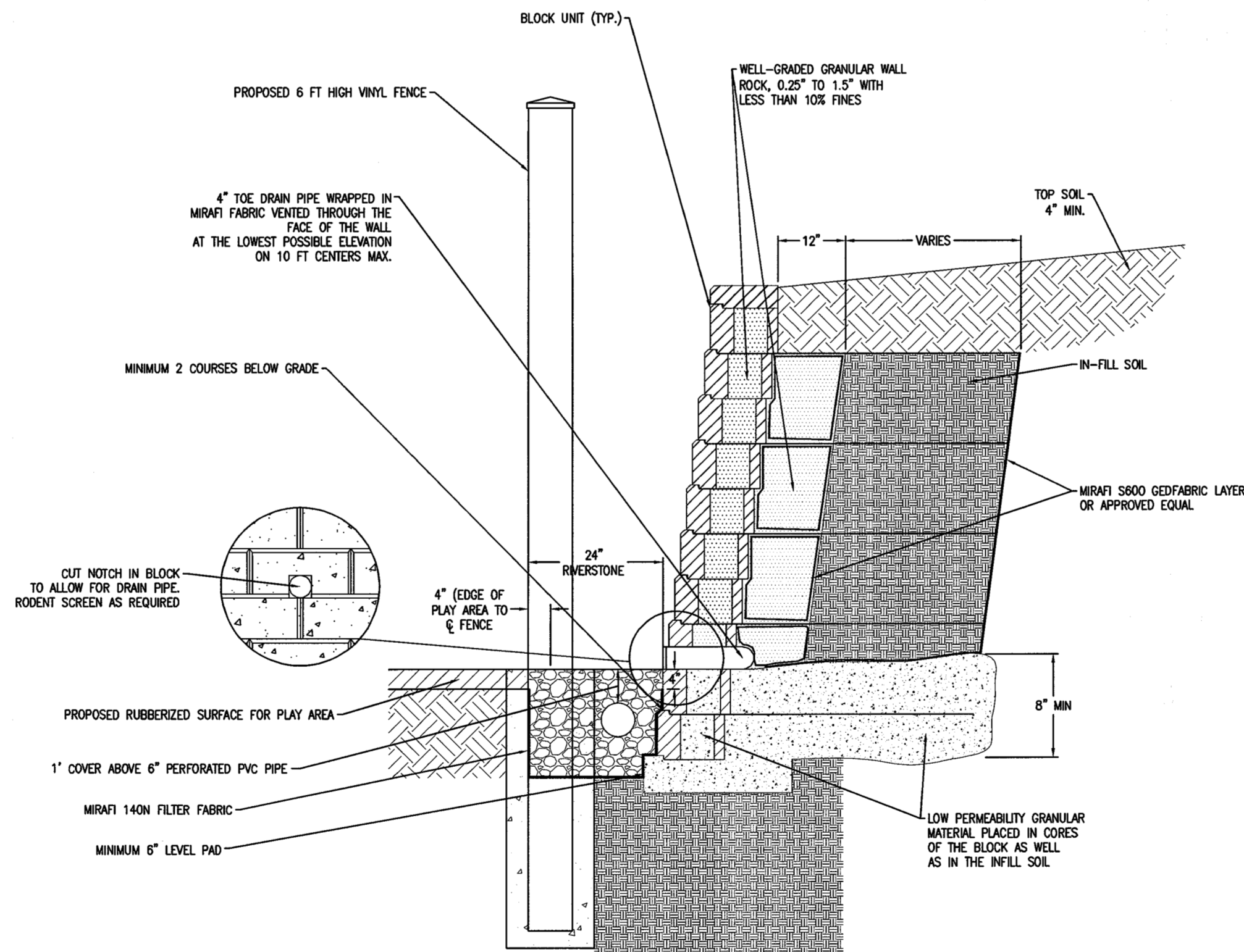
LIGHT POLE FOUNDATION DEPTH PER WIND ANALYSIS		
WIND SPEED (ASCE 7-10)	WIND SPEED (ASCE 7-05)	FND. DEPTH
110 TO 140 MPH	85 TO 120 MPH	5'-6"
150 TO 180 MPH	130 TO 150 MPH	6'-6"

NOTE: REFER TO STRUCTURAL DRAWINGS FOR APPLICABLE WIND SPEED.

**LIGHT POLE FOUNDATION**  
N.T.S.

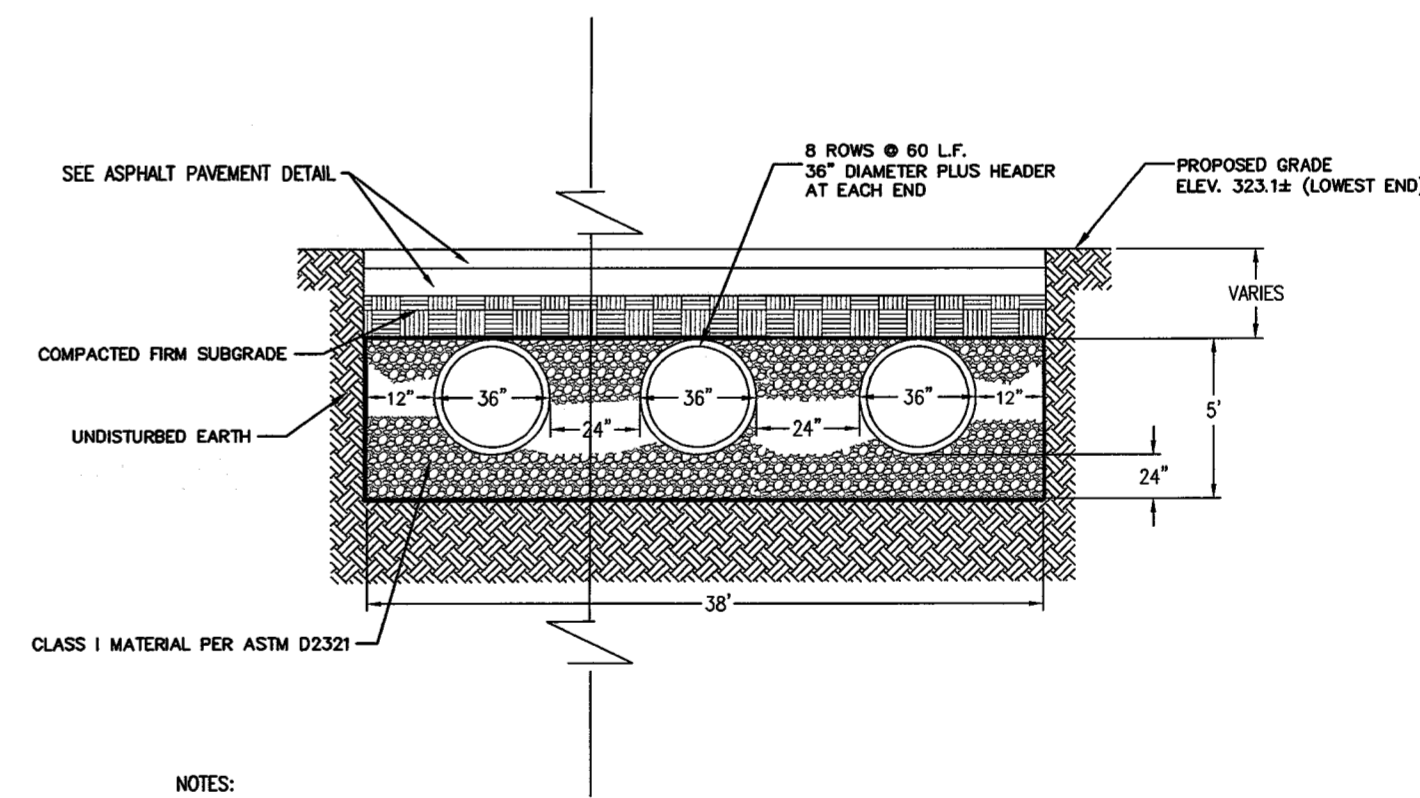


**DUMPSTER ENCLOSURE**  
N.T.S.



NOTES:  
1. CONTRACTOR SHALL PROVIDE DESIGN CALCULATIONS OF THE SEGMENTAL BLOCK RETAINING WALL AND DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW, PREPARED, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK.

**TYPICAL BLOCK WALL DETAIL**  
N.T.S.



NOTES:  
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.  
2. ALL DETENTION AND RETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM 2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION.  
3. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.

**UNDERGROUND INFILTRATION SYSTEM**  
N.T.S.



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#### ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG

#### REVISION

NO.	DATE	DESCRIPTION	INT.

**PRINCIPALS**  
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NJ State Board of Architects & Engineers, License No. 161  
NJ State Board of Engineers & Land Surveyors, License No. GA-278177

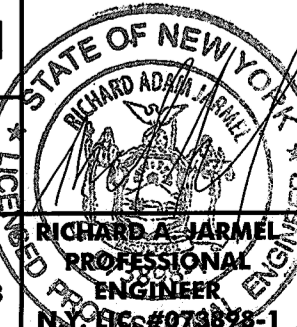
Project: **THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSING  
BRIARCLIFF MANOR, NY  
SECTION 90-15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**  
Drawn By: **LB** Approved By: **GPG**

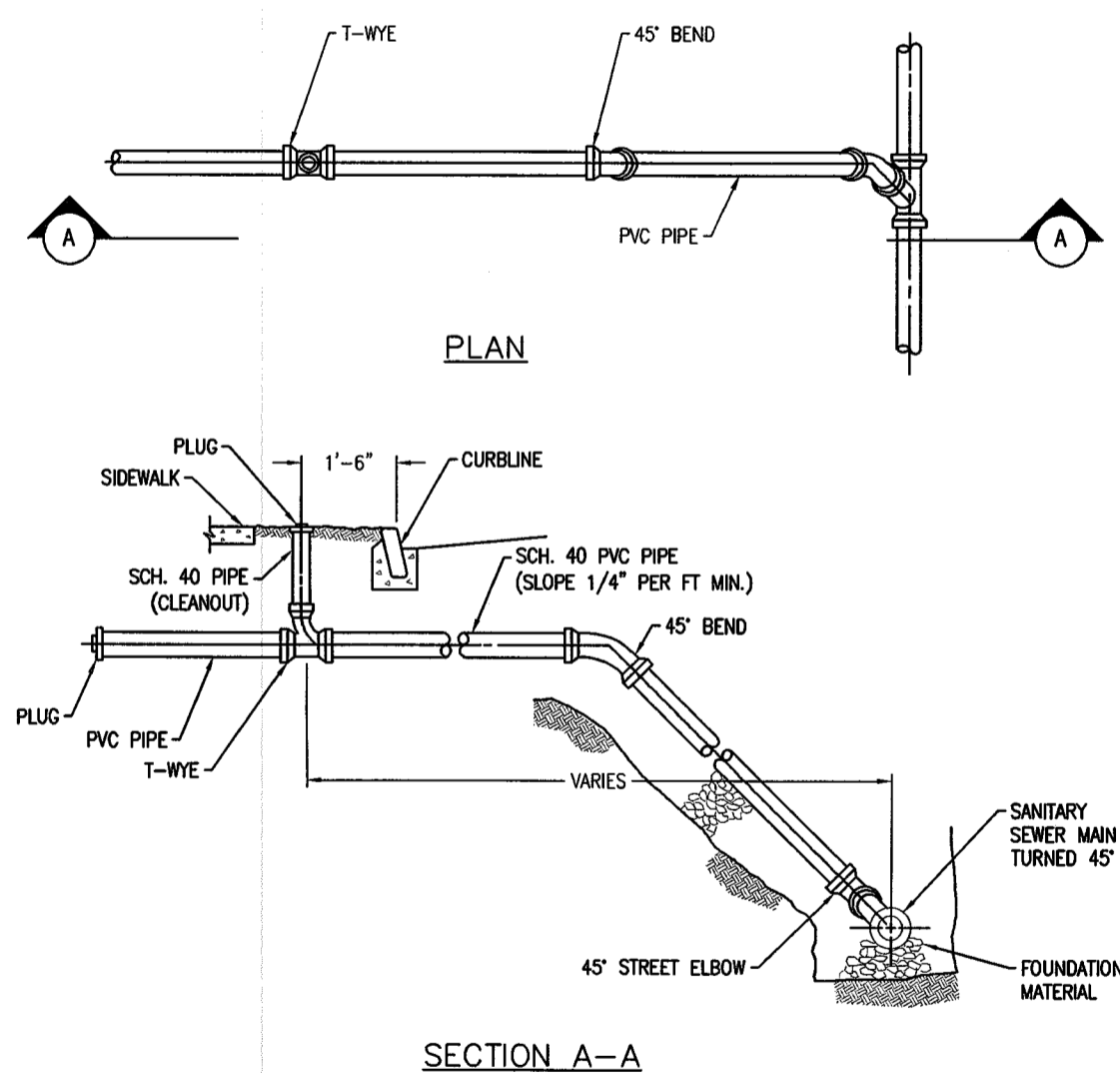
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#### DETAIL SHEET

Drawing Number: **C-901**  
Sheet No: **10** of **11**  
Initial Date: **APRIL 27, 2018**

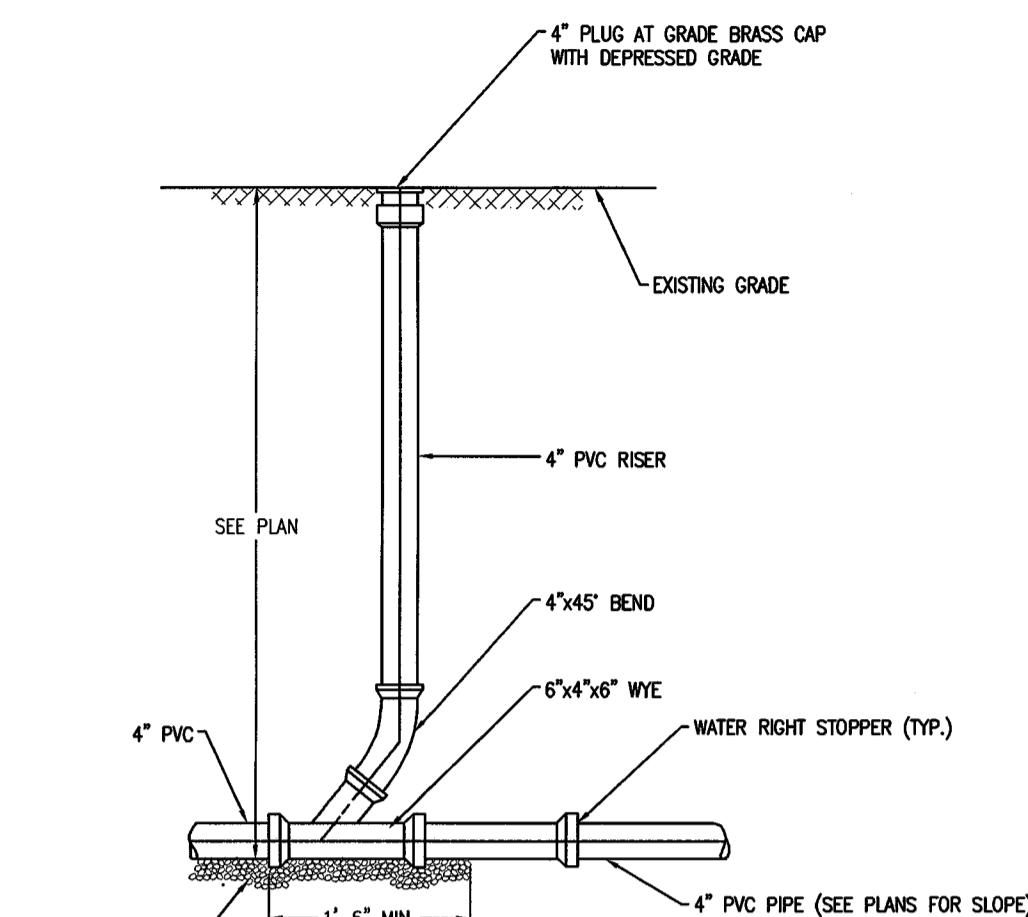


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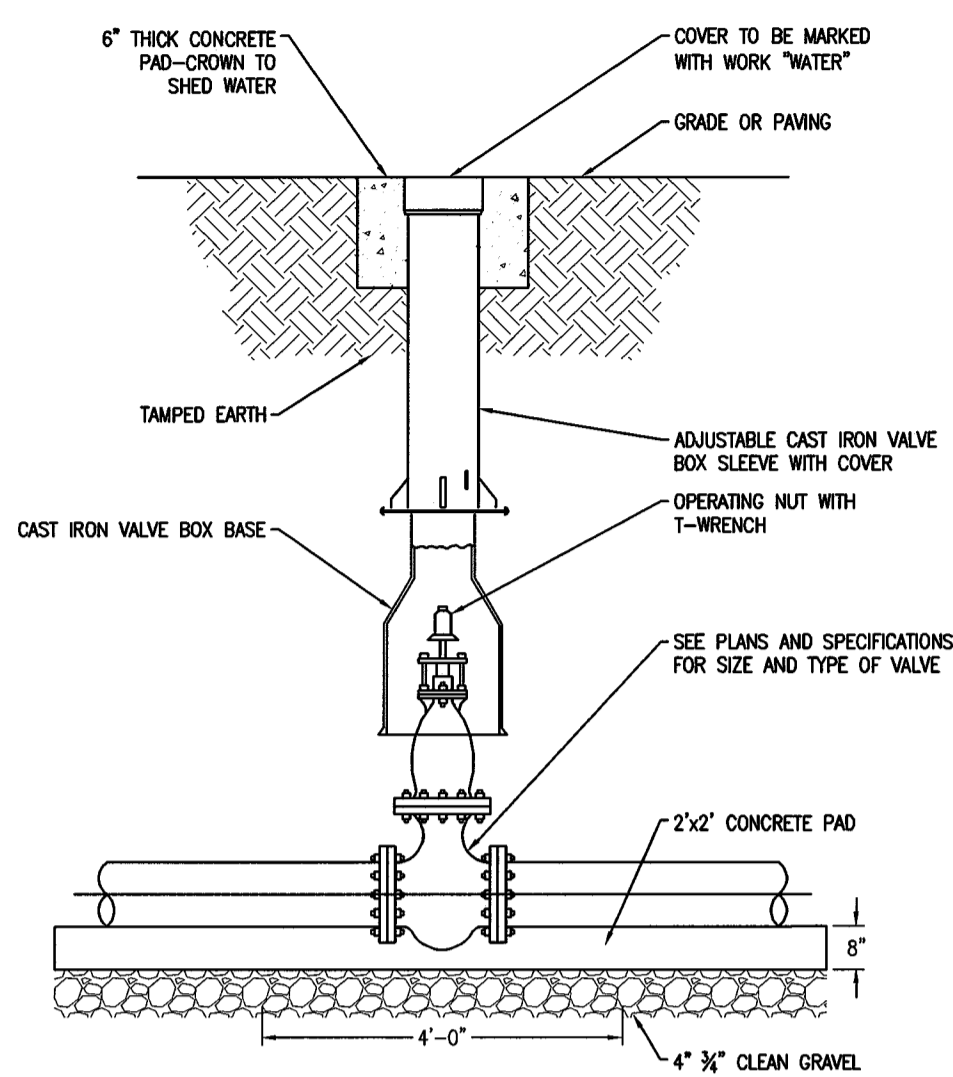


1. ALL COUPLINGS, PLUGS, SOIL PIPES & CAPS TO BE STANDARD FOR TYPE OF PIPE USED, INSTALLATION TO BE WATERTIGHT.
2. HOUSE CONNECTIONS ARE TO BE 6" P.V.C.
3. ALL PLUG THREADS SHALL BE GREASED AT TIME OF INSTALLATION.
4. MINIMUM DEPTH OF COVER ON SANITARY SEWER MAINS SHALL BE 5 FEET.
5. POLYVINYL CHLORIDE PIPE AND FITTINGS FOR HOUSE LATERALS SHALL CONFORM TO A.S.T.M. D-3034.

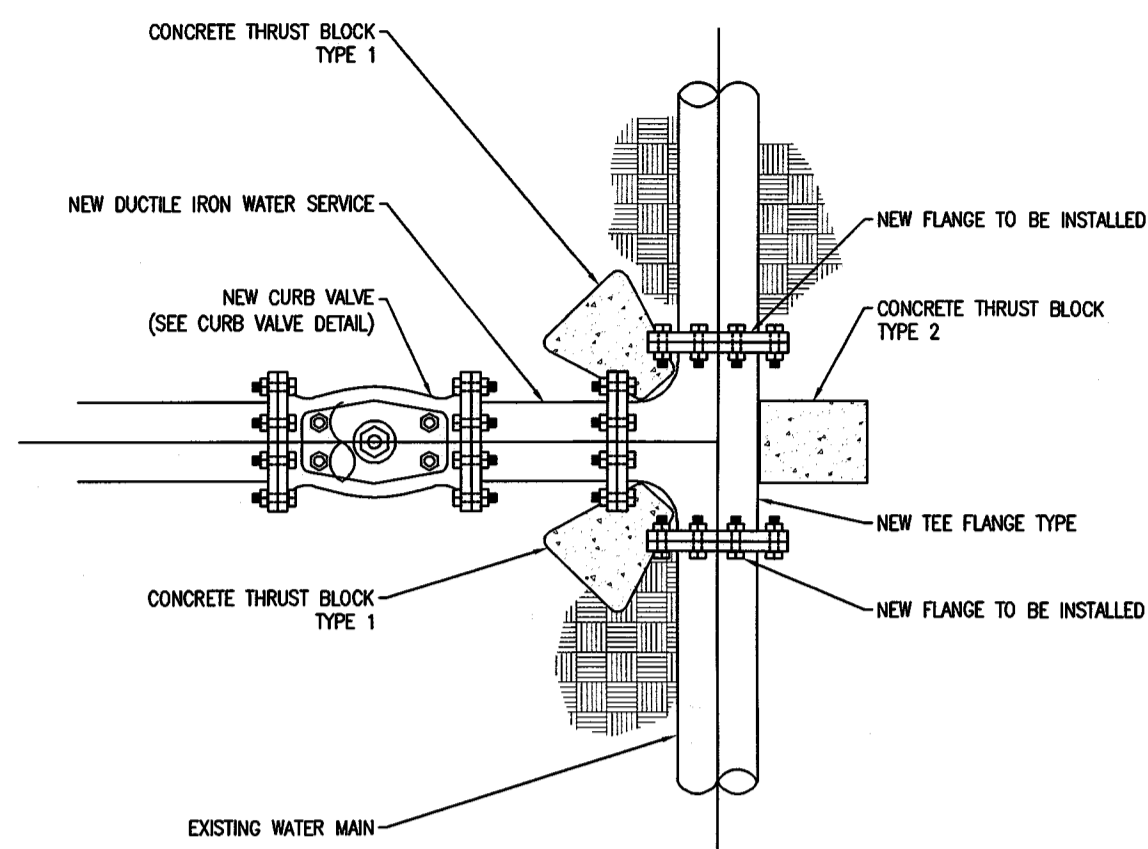
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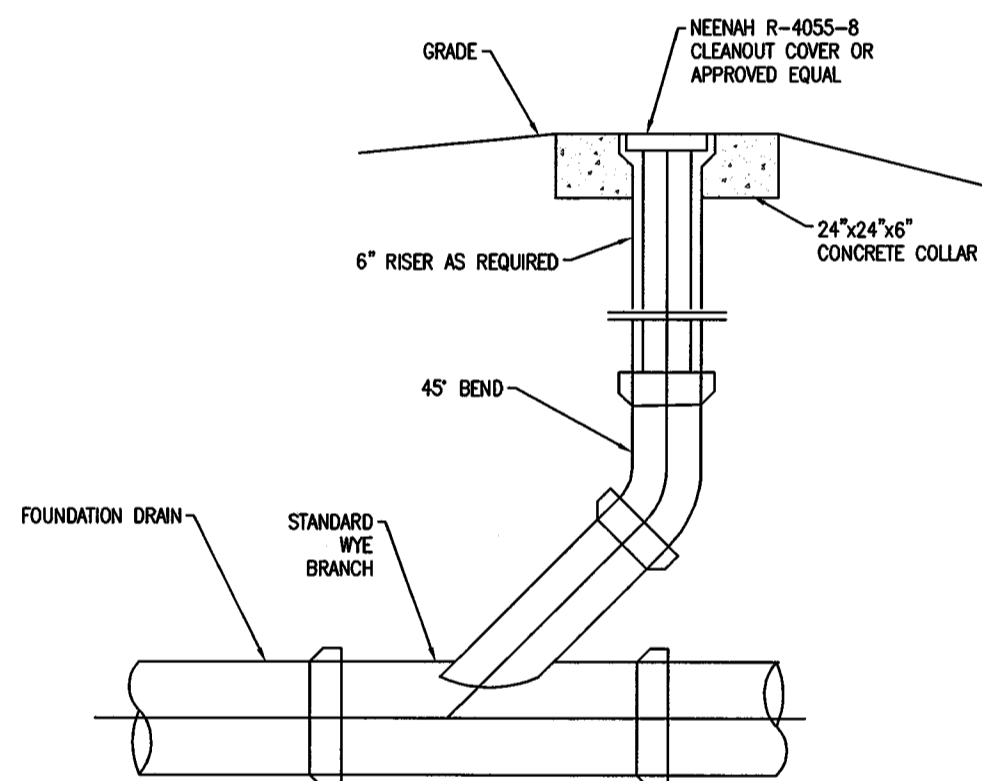
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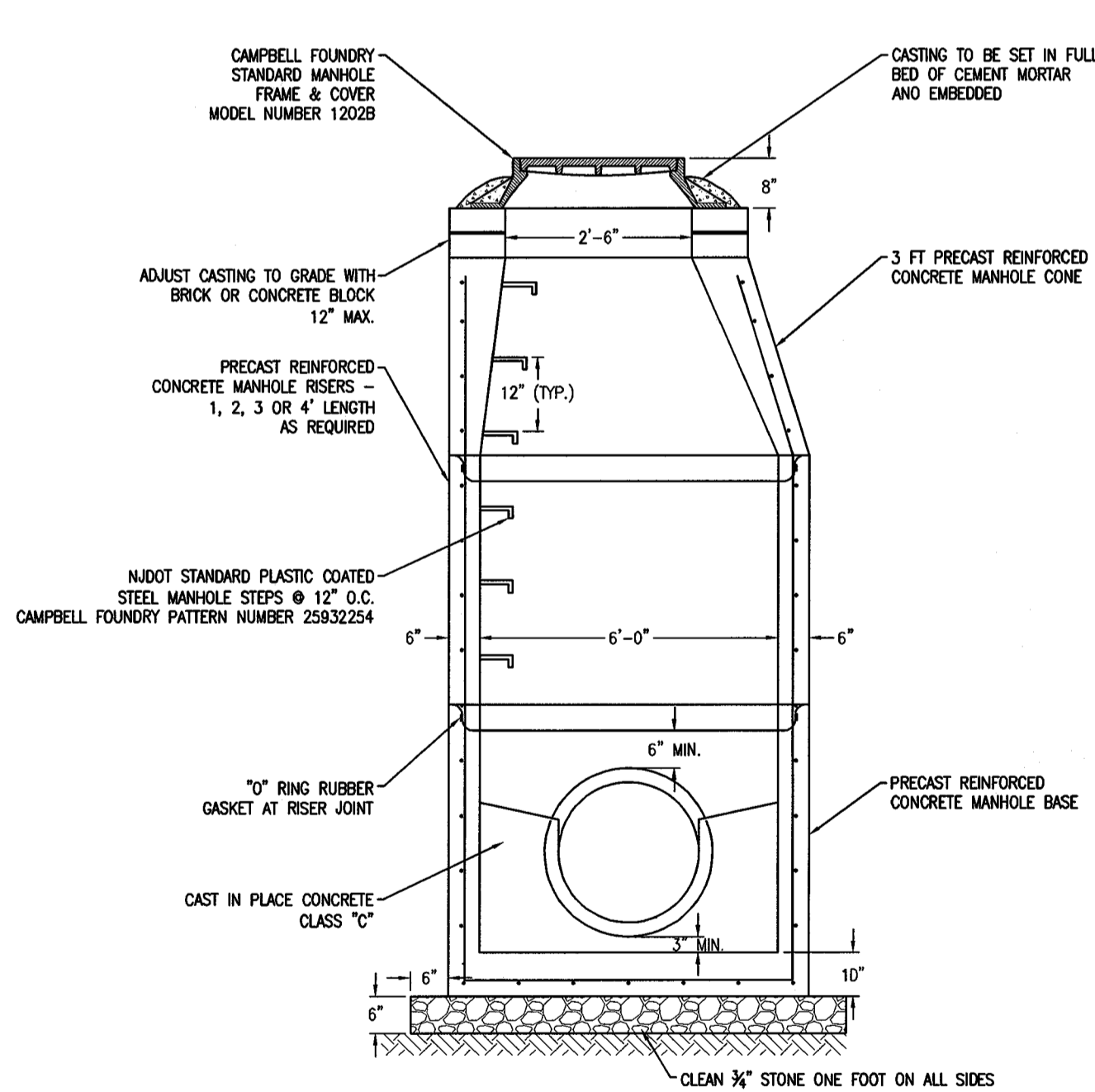
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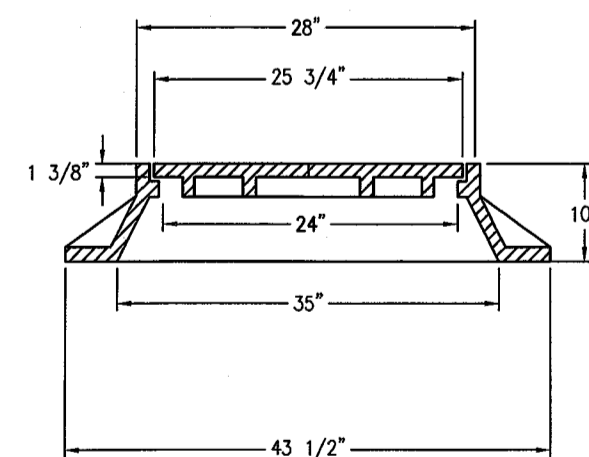
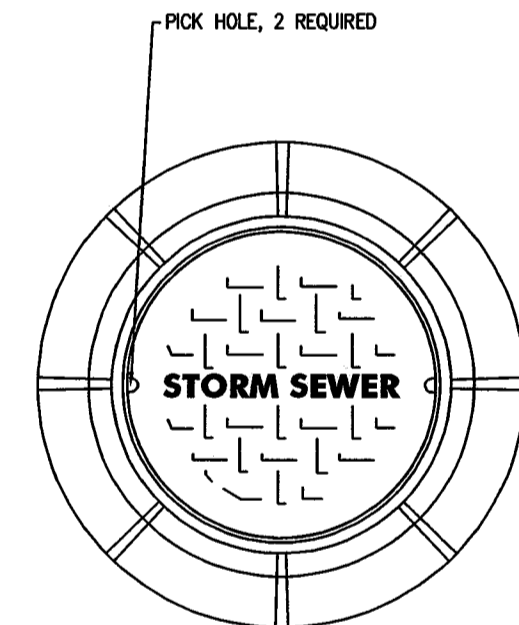
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N.T.S.



N.T.S.



N.T.S.

Architecture  
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REVISION

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NJ State Board Of Architects Authorization No. 161  
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-27

**Project: THE LEARNING EXPERIENCE**  
**530 NORTH STATE ROAD**  
**TOWN OF OSSINING**  
**BRIARCLIFF MANOR, NY**  
**SECTION 90.15, BLOCK 2, LOT 18**

Project No:	Scale:
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TLENY-S-17-155	AS NO
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Drawn By: **IP** Approved By:

Drawing Name:

## DETAIL SHEET

Drawing Number:

C 002 STATE OF NEW YORK 1841

ST. RICHARD ASHBY JARME

Sheet No: \_\_\_\_\_ of: \_\_\_\_\_

11 11 

Initial Date: **RICHARD A. BARN**

APRIL 27, 2018

N.Y. LIC. #073898

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