

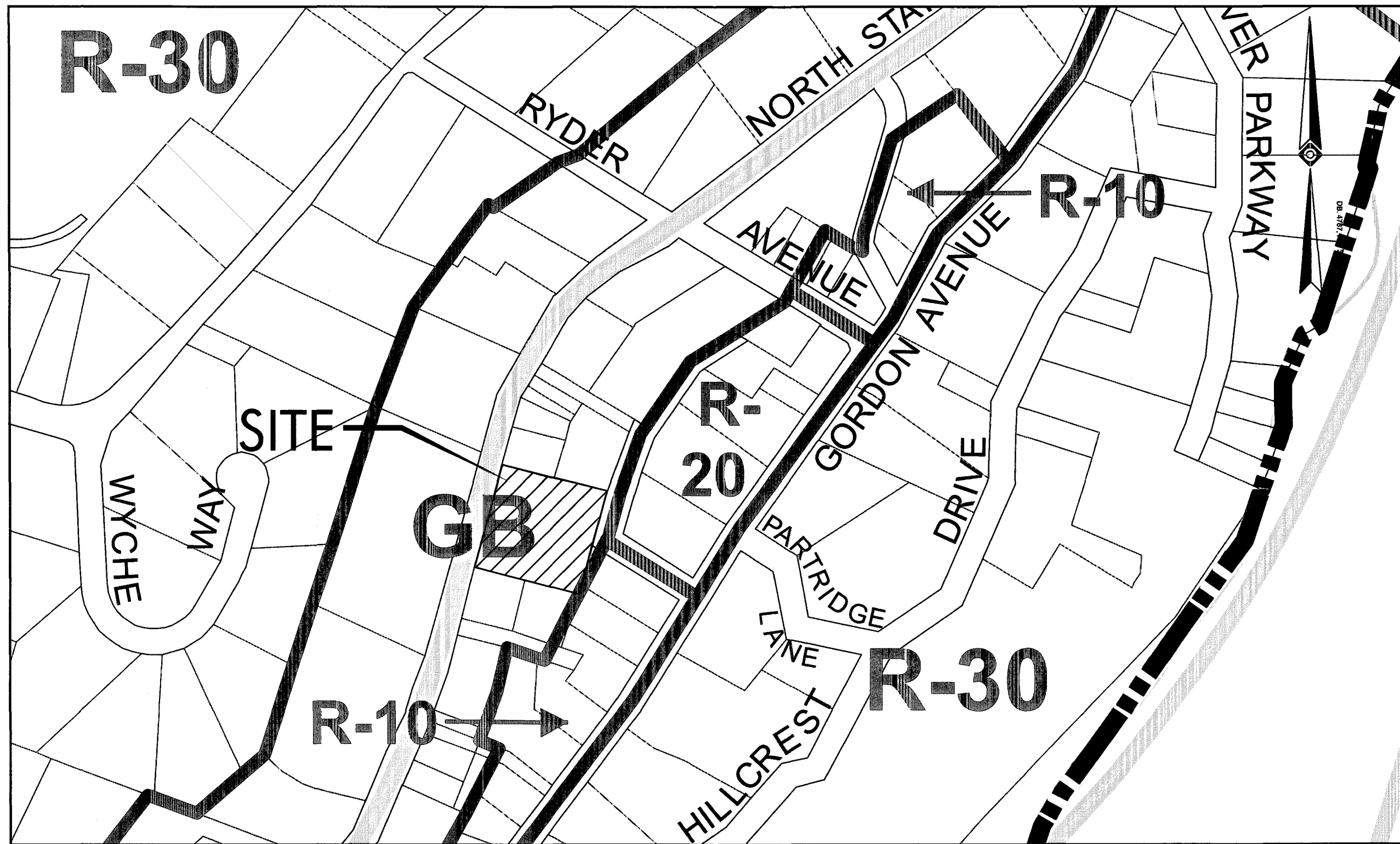
PRELIMINARY / FINAL SITE PLAN

# THE LEARNING EXPERIENCE

530 NORTH STATE ROAD, TOWN OF OSSINING, BRIARCLIFF MANOR, WESTCHESTER COUNTY, STATE OF NEW YORK  
SECTION 90.15, BLOCK 2, LOT 18



AERIAL MAP  
SCALE : 1"=100'



ZONING MAP  
SCALE : 1"=200'

ZONING SCHEDULE					
ZONE - GB - GENERAL BUSINESS					
Bulk Regulation	Units	Requirement	Existing	Proposed	
Principal Permitted Uses		See Note 2	STORAGE YARD FOR CONSTRUCTION EQUIPMENT	C	CHILDCARE FACILITY C
Lot Area	S.F.	20,000	43,264	C	43,264 C
Lot Width	Feet	100	208	C	208 C
Lot Depth	Feet	130	208	C	208 C
Front Yard	Feet	30	29.2	C	30.0 C
Side Yard	Feet	-	54.9	C	12.2 C
Rear Yard along any Residence District Boundary	Feet	30	110.7	C	39.7 C
Rear Yard Landscape Buffer To Residence District	Feet	20	0.0	ENC	20.0 C
Max. Building Height	Stories	2	1	C	1 C
Max. Building Height	Feet	35	< 35	C	23 C
Aggregate Floor Area on any Lot	S.F.	-	3,706	C	10,000 C
Building Coverage	%	30	8.6	C	23.1 C

**Abbreviations**  
C Conforms  
ENC Existing Non Conformance  
V Variance Required

**Notes:**  
1 Code based on Town of Ossining (Westchester, NY), Zoning Ordinance, 200-23, Amended 06-14-94.  
2 As per Township Code, Ordinance 200-18 A, (10) permitted uses are child-care and elder-care facilities.

PARKING PROVIDED: 35 spaces inclusive of 2 ADA accessible spaces

PER CODE SECTION 200-29: Reasonable and appropriate off-street parking requirements for structures and uses which do not fall within the categories listed shall be determined by the Planning Board upon consideration of all factors entering into the parking needs of each such use.

**PROJECT CONTACTS**

**APPLICANT:**  
BRIARCLIFF MANOR PARTNERS, LLC  
c/o JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.  
42 OKNER PARKWAY  
LIVINGSTON, NJ 07039

**OWNER:**  
NSRR REALTY, LLC  
c/o BOBCAT OF NEW YORK, INC.  
58-64A MAURICE AVENUE  
MASPETH, NEW YORK 11378

**ATTORNEY:**  
ADAM L. WEKSTEIN, ESQ.  
HOCHERMAN TORTORELLA & WEKSTEIN, LLP  
ONE NORTH BROADWAY, SUITE 701  
WHITE PLAINS, N.Y. 10601

**ENGINEER:**  
RICHARD A. JARMEL, PE  
JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.  
42 OKNER PARKWAY  
LIVINGSTON, NJ 07039

**ARCHITECT:**  
MATTHEW B. JARMEL, AIA  
JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.  
42 OKNER PARKWAY  
LIVINGSTON, NJ 07039

PRELIMINARY/FINAL SITE PLAN OF:  
"THE LEARNING EXPERIENCE"

SECTION 90.15, BLOCK 2, LOT 18

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

(MUNICIPAL ENGINEER) (DATE)

APPROVED BY THE PLANNING BOARD

(CHAIRMAN) (DATE)

(SECRETARY) (DATE)

DRAWING INDEX				
SHEET NO.	DRAWING NO.	DRAWING NAME	DATE	LAST REV. DATE
1	C-001	COVER SHEET	4-27-18	8-20-18
2	C-100	EXISTING CONDITIONS PLAN	4-27-18	
3	C-200	DEMOLITION PLAN	4-27-18	8-20-18
4	C-300	SITE AND UTILITIES PLAN	4-27-18	8-20-18
5	C-400	GRADING AND DRAINAGE PLAN	4-27-18	8-20-18
6	C-600	LANDSCAPING PLAN	4-27-18	8-20-18
7	C-650	LIGHTING PLAN AND DETAILS	4-27-18	8-20-18
8	C-700	SOIL EROSION AND SEDIMENT CONTROL PLAN	4-27-18	8-20-18
9	C-900	DETAIL SHEET	4-27-18	8-20-18
10	C-901	DETAIL SHEET	4-27-18	
11	C-902	DETAIL SHEET	4-27-18	



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ARCHITECTS AND ENGINEERS INC.  
42 OKNER PARKWAY  
LIVINGSTON, NEW JERSEY 07039  
TEL: 973-994-9669  
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www.jarmelkizel.com

Architecture  
Engineering  
Interior Design  
Implementation Services

ISSUE			
NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG

REVISION			
NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA NJ LIC 46459 CO LIC 461483 CT LIC 4610011415 DC LIC 46101849 DE LIC 55-0007256 FL LIC 46104016 GA LIC 461011484 IA LIC 46100377 IL LIC 001 020049 IN LIC 4610206 MD LIC 12462 NY LIC 18102189 NJ LIC 4610052 PA LIC 4610052 RI LIC 4610052 SC LIC 4610052 TN LIC 4610052 VA LIC 4610052 VT LIC 4610052	NJ LIC 46102787 NY LIC 4610464 PA LIC 4610120 RI LIC 4610052 SC LIC 4610052 TN LIC 4610052 VA LIC 4610052 VT LIC 4610052
ASSOCIATES	
DAVID L. LEBRON, PE NJ LIC 4610052 PA LIC 4610052 RI LIC 4610052 SC LIC 4610052 TN LIC 4610052 VA LIC 4610052 VT LIC 4610052	NJ LIC 4610052 NY LIC 4610052 PA LIC 4610052 RI LIC 4610052 SC LIC 4610052 TN LIC 4610052 VA LIC 4610052 VT LIC 4610052

Project: **THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSINING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name: **COVER SHEET**

Drawing Number: **C-001**

Sheet No: **1** of **11**

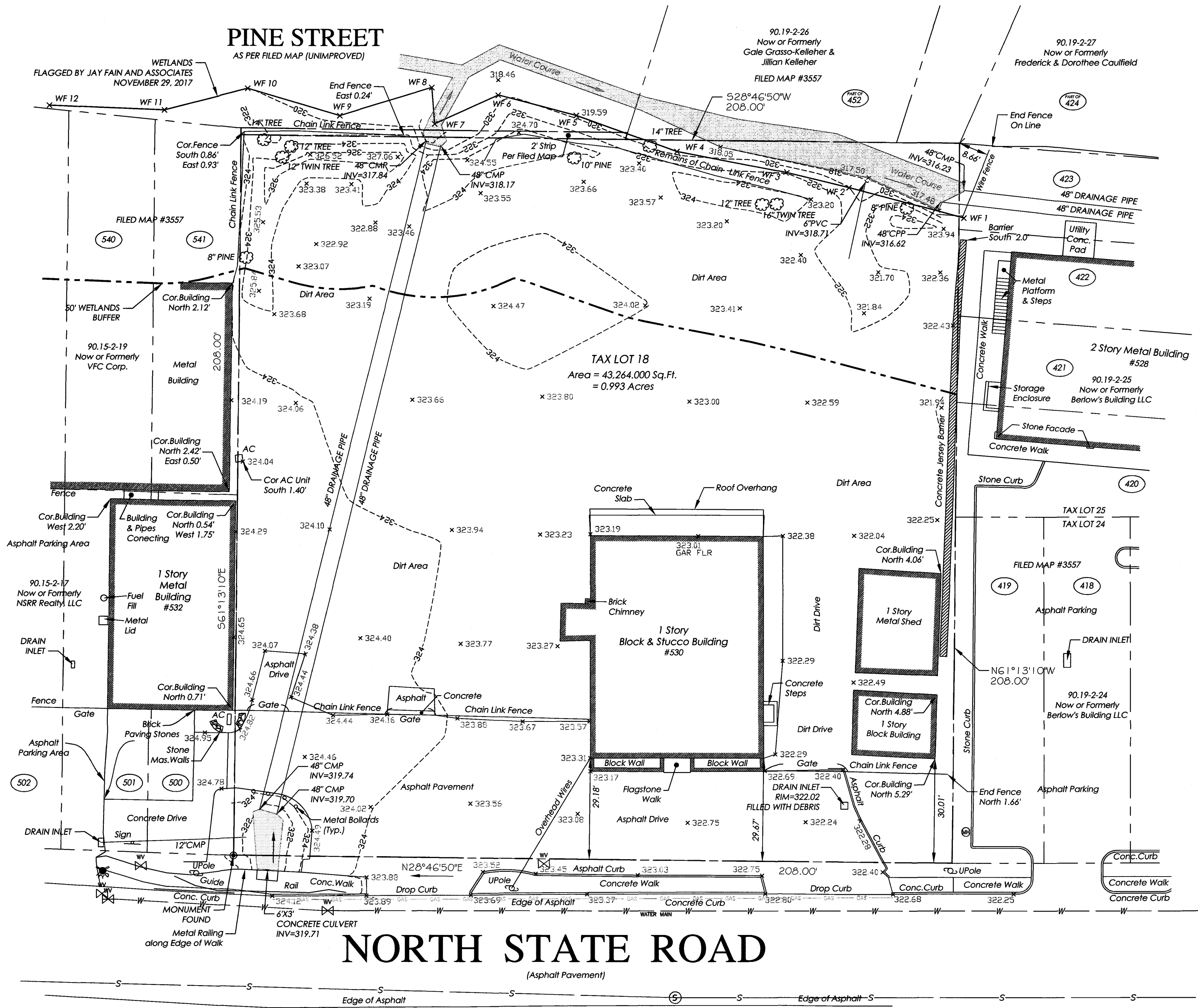
Initial Date: **APRIL 27, 2018**

STATE OF NEW YORK  
JARMEL KIZEL  
RICHARD A. JARMEL  
PROFESSIONAL  
ENGINEER  
N.Y. LIC. #073898-1



# EXISTING CONDITIONS NOTE:

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.



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## ISSUE

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## REVISION

NO.	DATE	DESCRIPTION	INT.

## PRINCIPALS

<b>MATTHEW B. JARMEL, AIA, MBA</b>	NJ LIC 405-12787
AZ LIC 44454	NH LIC 44454
CO LIC 401-483	NC LIC 10120
CT LIC 401-1415	NH LIC 3801
DC LIC 401-1841	NY LIC 024673
DE LIC 55-000726	OH LIC A-99-12444
FL LIC 404034	PA LIC 34-04811-5
GA LIC 84011484	RI LIC 40004765
IA LIC 00577	SC LIC 48-9163
IL LIC 001-020069	TN LIC 102850
IN LIC 01009	VA LIC 00092
MD LIC 12462	VT LIC 0401 01 4089
MI LIC 181012189	UT LIC 2453
CT LIC 00522	NJ LIC 21A00794700
CT LIC 00522	NJ P LIC 330-00243100

## IRWIN H. KIZEL, AIA, PP

CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491

## RICHARD A. JARMEL, PE

CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491

## ASSOCIATES

RONALD A. BROOKSHIRE, PE	NJ LIC 0645511
DAVID L. LESCHKE, BA	PA LIC 0608817
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491

## MICHAEL J. VORLAND, BA

CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491

## FREDERICK KINCAID, BA

CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491

## JEROME LESLIE SHAW, AIA, PP

CT LIC 00522	NJ LIC 32491
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CT LIC 00522	NJ LIC 32491

## CHERYL SCHWEINER, AIA

CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491
CT LIC 00522	NJ LIC 32491

NJ State Board of Architects Authorization No. 161  
NJ State Board of Engineers & Land Surveyors Authorization No. 378177

Project: **THE LEARNING EXPERIENCE**

530 NORTH STATE ROAD

TOWN OF OSSINING

BRIARCLIFF MANOR, NY

SECTION 90.15, BLOCK 2, LOT 18

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Scale: **1" = 20'**

Drawn By: **LB**

Approved By: **RAJ**

Drawing Name:

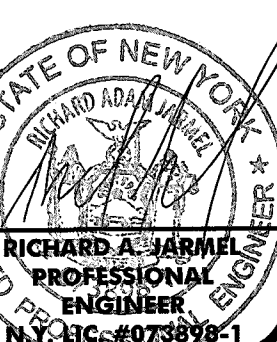
**EXISTING CONDITIONS PLAN**

Drawing Number:

**C-100**

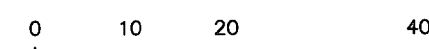
Sheet No: **2** of **11**

Initial Date: **APRIL 27, 2018**





1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.
2. CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY ON DRAWINGS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC, SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY DISCONNECTS OF THE EXISTING UTILITY AND RECONNECTION SHALL BE INCLUDED.
5. IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AS REQUIRED PRIOR TO DEMOLITION.
6. CONTRACTOR IS DESIGNATED TO MAKE REMOVALS AND DISPOSAL OF THE MATERIALS IS HIS RESPONSIBILITY.
7. CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
8. CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
9. THE CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
10. THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
11. ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
12. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRAFFIC CONTROL DEVICES REQUIRED BY THE MUNICIPALITY AND LOCAL AGENCIES.
13. PULVERIZED CONCRETE OR MASONRY SHALL NOT BE USED AS BACKFILL MATERIAL.
14. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
15. CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC FROM THE CONSTRUCTION SITE ONTO OTHER SITES, ROW, PUBLIC OR PRIVATE STREET.
16. CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE DEMOLITION AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED.
17. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
18. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
19. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, CURBING, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
20. CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OF COUNTY, AS APPLICABLE).



Architecture  
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Interior Design  
Implementation Services

NO.	DATE	DESCRIPTION	
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1	8.20.18	PER 6/20/18 REVIEW LETTERS	LE

[illegible]

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530 NORTH STATE ROAD  
TOWN OF OSSINING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Drawing Name:

## Drawing Number:

C 200

STATE OF NEW YORK  
WARD ADAM

Sheet No. 2

Initial Date: **RICHARD A. JARMEL**

APRIL 27, 2018 PROFESSIONAL ENGINEER



GENERAL NOTES:

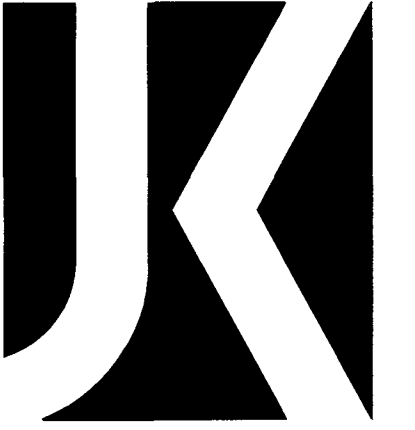
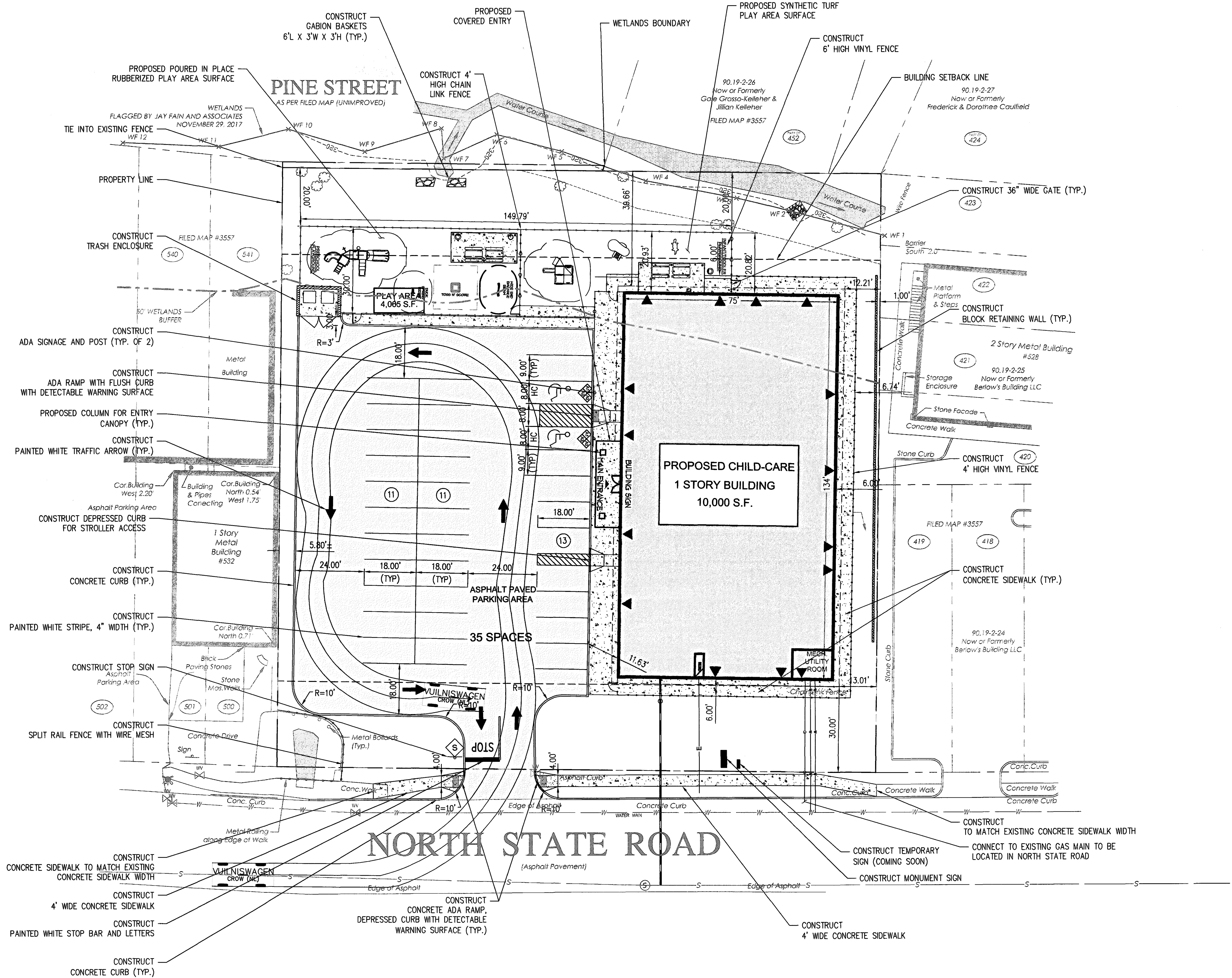
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- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DOOR LOCATIONS.
- ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
- CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
- THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT NEW YORK ONE CALL NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW YORK ONE CALL INFORMATION - PHONE: 811, WEB: WWW.DIGSAFELYNEWYORK.COM
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- THE MUNICIPAL ENGINEER MUST BE NOTIFIED ONE WEEK PRIOR TO THE CONSTRUCTION OF ANY CURBING, SIDEWALKS, PAVEMENT GRADING, OR OTHER UTILITIES.
- THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
- CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NY BARRIER FREE CODE REQUIREMENTS.
- SUBJECT TO ALL APPLICABLE RULES, REGULATIONS, ORDINANCES AND STATUTES OF THE TOWN OF OSSINING, WESTCHESTER COUNTY AND STATE OF NEW YORK AND ANY OTHER JURISDICTION.
- NO DEED RESTRICTIONS OR COVENANTS EXIST ON SITE NOR ARE ANY PROPOSED.
- CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).
- ALL WORK WITHIN THE TOWNSHIP ROAD RIGHT OF WAY SHALL BE ACCORDING TO TOWN OF OSSINING STANDARDS.

LEGEND		
	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING LINE	---	---
BUILDING CANOPY	---	---
CURB LINE	---	---
DEPRESSED CURB	N/A	---
CONCRETE WALK	N/A	---
SIGN	---	---
FENCE	---	---

SIGN LEGEND AND DETAILS			
SYMBOL	QUAN	USDOT FHA DESIGNATION	SIGN DETAIL
	1	R1-1	
	2	R7-8	
	2	R7-8p	
	2	R7-8B	
	1	RS-1 (30x30)	

SIGN NOTES:

- ALL SIGNS SHALL CONFORM TO THE MANUAL ON TRAFFIC CONTROL DEVICES.
- SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.
- REFER TO MOUNTING DETAILS FOR HEIGHTS. ALL SIGNS SHALL BE MEASURED FROM PAVEMENT OR GROUND TO BOTTOM OF SIGN.



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<b>PRINCIPALS</b>	
<b>MATTHEW B. JARMEL, AIA, MBA</b>	NJ LIC 40-12787
AZ LIC 48159	MN LIC 40-12787
CO LIC 40-401483	NC LIC 40-12787
CT LIC 40-0011415	NH LIC 2001
DC LIC 40-0101849	NY LIC 40-12787
DE LIC 55-0007256	OH LIC 40-12787
FL LIC 40-00234	OK LIC 40-12787
GA LIC 40-014484	OR LIC 40-12787
IL LIC 40-00077	PA LIC 40-12787
IN LIC 40-0000009	RI LIC 40-12787
MA LIC 40-0000000	SC LIC 40-12787
MD LIC 40-0000000	TN LIC 40-12787
MI LIC 40-0000000	TX LIC 40-12787
MJ LIC 40-0000000	VA LIC 40-12787
NJ LIC 40-12787	WI LIC 40-12787
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PA LIC 40-12787	
RI LIC 40-12787	
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WI LIC 40-12787	
WY LIC 40-12787	
<b>IRWIN H. KIZEL, AIA, PE</b>	
NJ LIC 40-0000000	CT LIC 40-0000000
MA LIC 40-0000000	MD LIC 40-0000000
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WY LIC 40-0000000	
<b>ASSOCIATES</b>	
<b>RONALD A. BROCKENSHIRE, PE</b>	NJ LIC 40-0000000
CT LIC 40-0000000	MA LIC 40-0000000
MA LIC 40-0000000	MD LIC 40-0000000
MD LIC 40-0000000	MI LIC 40-0000000
MI LIC 40-0000000	NJ LIC 40-0000000
NJ LIC 40-0000000	NY LIC 40-0000000
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WY LIC 40-0000000	
<b>DAVID L. LEBLANC, PE</b>	
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WY LIC 40-0000000	
<b>MICHAEL J. VOLLMER, PE</b>	
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VA LIC 40-0000000	WI LIC 40-0000000
WI LIC 40-0000000	WY LIC 40-0000000
WY LIC 40-0000000	
<b>GERARD P. GOSWAMI, PE</b>	
NJ LIC 40-0000000	CT LIC 40-0000000
MA LIC 40-0000000	MD LIC 40-0000000
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WY LIC 40-0000000	
<b>FREDERICK J. GOSWAMI, PE</b>	
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<b>JEROME LESLIE EREN, PE</b>	
NJ LIC 40-0000000	CT LIC 40-0000000
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WY LIC 40-0000000	
<b>CHERYL SCHWEIKER, AIA</b>	
NJ LIC 40-0000000	CT LIC 40-0000000
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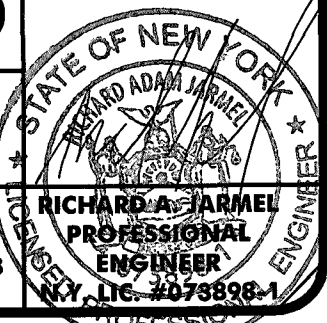
Project: **THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSINING  
BRIARCLIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **1" = 20'**  
Drawn By: **LB** Approved By: **RAJ**

Drawing Name:

SITE AND UTILITIES PLAN

Drawing Number:	<b>C-300</b>
Sheet No:	of <b>11</b>
Initial Date:	<b>APRIL 27, 2018</b>









PLANT NOTES

1. VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO ANY PLANTING PIT EXCAVATION. CONTACT CALL BEFORE YOU DIG 72-HOURS PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS.COORDINATE BUILDER REGARDING UNDERGROUND SYSTEMS.
2. NOTIFY THE LANDSCAPE ARCHITECT AT LEAST FIVE (5) DAYS IN ADVANCE OF PLANT MATERIAL DELIVERY TO THE SITE.
3. LAYOUT ALL PLANT MATERIAL WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION. SET UP OF ALL MATERIAL IN BEDS REQUIRED FOR OWNERS AND LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING.SEE PLAN FOR BED AND PLANT LAYOUT.
4. IF ANY DISCREPANCY OCCURS BETWEEN THE QUANTITIES CALLED FOR IN THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BID.
5. ALL PLANT MATERIAL IS TO CONFORM TO THE REQUIREMENTS OF THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EXTRA HEAVY GRADE UNLESS OTHERWISE SPECIFIED. TRUE TO NAME AND SIZE. INVESTIGATE SOURCES OF SUPPLY AND BE CERTAIN IT WILL BE POSSIBLE TO PROVIDE ALL PLANT MATERIALS SPECIFIED IN THE QUALITY AND QUANTITY REQUIRED PRIOR TO BIDDING.
6. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD, DYING NOT TRUE TO NAME OF SIZE AS SPECIFIED OR NOT IN SATISFACTORY GROWTH, OR HAVING BRANCHED OR DEFORMED STRUCTURE DUE TO LOSS OF LIMBS OR BRANCHED AS DETERMINED BY THE LANDSCAPE ARCHITECT, THAT PLANT MUST BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH AN APPROVED PLANT OF EQUAL SIZE AND SPECIES. PLANT VARIETY AND SIZE SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS PROVED THAT THE SPECIFIED PLANT MATERIAL IS UNATTAINABLE OR CANNOT MEET SPECIFICATION REQUIREMENTS, THEN THE USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WILL BE CONSIDERED. PLANT MATERIAL LARGER THAN SPECIFIED MAY BE USED AT NO INCREASE IN COST. PROPOSED SUBSTITUTIONS MUST RECEIVE THE LANDSCAPE ARCHITECTS AUTHORIZATION PRIOR TO BID.
7. STAKE TREES ONLY AS NECESSARY TO INSURE STABILITY.
8. ALL STOCKPILED MATERIALS ARE TO BE STORED IN AN AREA WITH GOOD SURFACE DRAINAGE, SOIL BALLS ARE TO BE COVERED WITH MULCH AND PLANTS ARE TO BE WATERED FREQUENTLY TO KEEP SOILS BALLS MOIST.
9. ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
10. RESTORE ALL DISTURBED OR DAMAGED AREAS RESULTING FROM PLANTING OPERATIONS TO ORIGINAL CONDITIONS.
11. PROVIDE 4" SCREENED TOPSOIL IN ALL AREAS NOT TO BE PAVED AS NEEDED, USE OWNERS STOCKPILE/ EXISTING SOIL AS PRACTICAL. MULCH BED AREAS WITH 2" OF SHREDDED PINE BARK. PROVIDE SAMPLE OF MULCH FOR OWNER'S APPROVAL. PROVIDE PER YARD PLACE & SPREAD TOPSOIL PRICE.
12. SEE PLAN FOR LAWN LIMIT AND BED LAYOUT - CUT BEDS AFTER APPROVAL FROM OWNER AND LANDSCAPE ARCHITECT. SEED OR SOD PER OCNTRACT LAWN AREAS AND MULCH NEW SEED WITH CHOPPED STRAW OR SALT HAY. PROVIDE STARTER FERTILIZER IN SEED MIX. SEED MIX, OR APPROVED EQUAL, AS FOLLOWS:
  - a. BLEND OF 3 TALL FESCUES FOR WATER AND FERTILIZER NEEDS REDUCTION. i.e. 'DEFIANCE XRE FESCUE GRASS SEED BLEND' CONTAINING SPEEDWAY, BLACKWATCH AND SR-8650 TALL FESCUES THAT ARE TURF FORMING AND SELF HEALING

PLANT LIST- forBuffer (Native and deer resistant)

Quan.	Sym.	Botanical/ Common Name	Size/ Root	Remark
TREES				
5	CF	Comus florida / Flowering Dogwood	1.75-2" Cal/ BB	buffer
12	TGG	Thuja p. 'Green Giant'	6-7' ht/ BB	Screen
SHRUBS -				
11	CA	Clethra alnifolia/ Sweet Pepperbush	#3/Cont.	buffer
5	IV	Ilea virginiana /Sweetspire	#3/ Cont.	buffer
10	MP	Myrica pensylvanica/ Bayberry	#3/ Cont.	buffer
2	SD	Salix discolor/ Pussywillow	5-6' ht clump	buffer
FORBS				
7	At	Amsonia taberna/ Bluestar	2 gal	buffer
7	Ai	Asclepias incarnata / Swamp milkweed	1 gal.	buffer
20	Apd	Aster n. 'Purple Dome'	1 gal	Buffer front
20	Ep	Echinacea purpurea/ Coneflower	1 gal	Buffer
20	Ha	Heuchera americana / Coral bells	1 gal	Buffer front
20	Rf	Rudebeckia f. 'Goldsturm' / Blackeyed Susan	1 gal	buffer
GRASSES				
7	Cl	Chasmanthium latifolium/ N. Sea Oats	1 gal	bank
22	Pv	Panicum virgatum ' Northwind' /Switchgrass	2 gal	buffer
20	Sh	Sporobolus heterolepis/ Praire Dropseed	1 gal	Buffer front

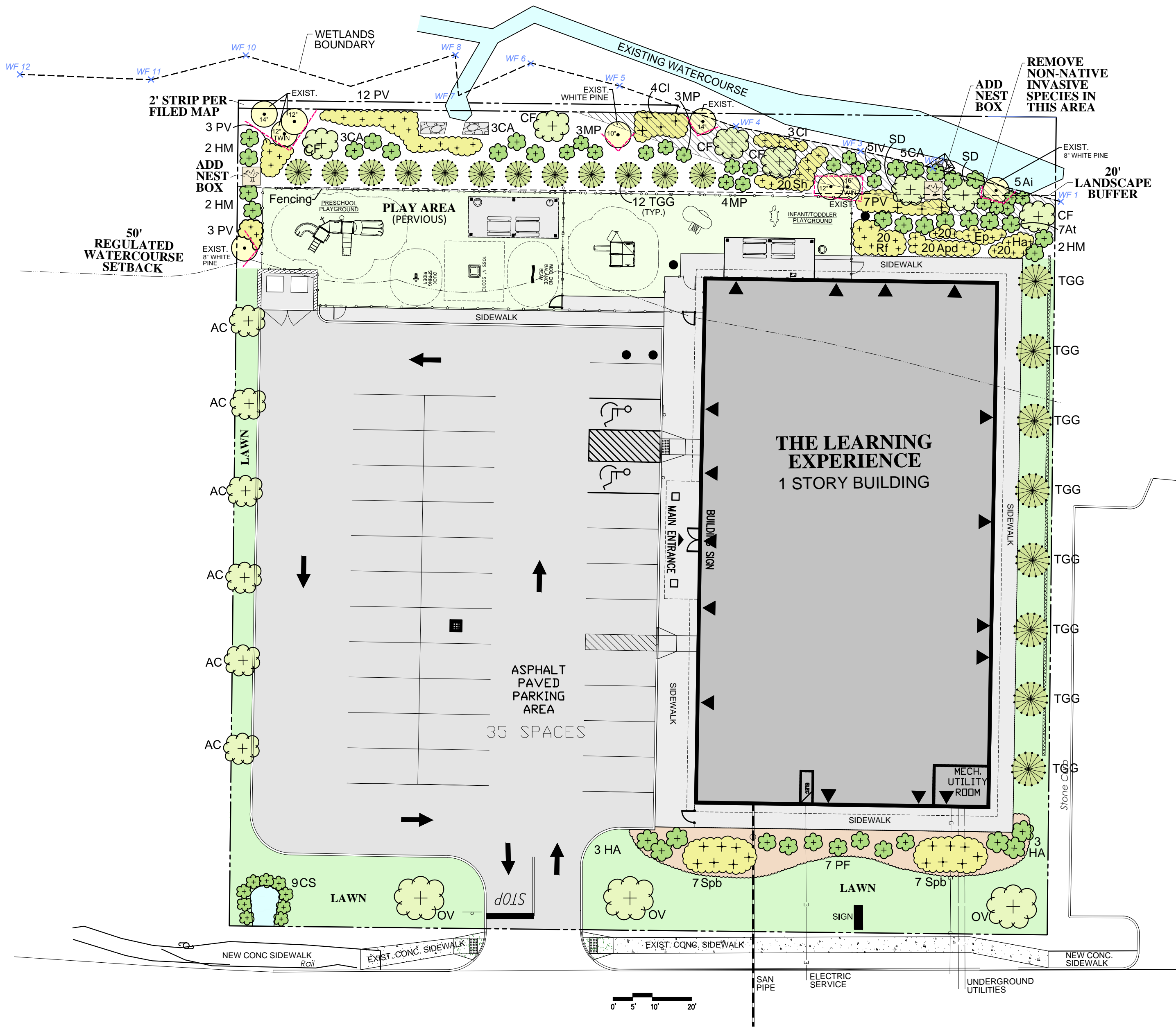
Note: 2 nest boxes proposed on cedar posts

PLANT LIST for Non Buffer areas (Native and deer resistant)

Quan.	Sym.	Botanical/ Common Name	Size/ Root	Remark
TREES				
6	AC	Amelanchier c. x. 'Autumn Brilliance' / Shadblow	2-2.5"cal/ BB	side
3	OV	Ostrya virginiana / American Hophornbeam	2-2.5" cal/BB	Trees in front-matching
8	TP	Thuja p. 'Green Giant'	6-7' ht/ BB	Screen at side
SHRUBS -				
9	CS	Comus sericea / Redtwig Dogwood	#3 Cont.	front
7	PF	Potentilla fruticosa " Goldfinger"	#5 Cont.	Front
6	HA	Hydrangea arborescens " Incrediball"	#5 cont.	Front
FORBS & GRASSES				
6	Hm	Hibiscus moscheutos /Rose Mallow	2 gal.	Sides
14	Ss	Schizachyrium scoparium / Little Bluestem 'The Blues'	2 gal	front

GENERAL NOTES

1. LANDSCAPE AND WETLAND MITIGATION PLAN FOR PLANTING ONLY.
2. FOR ALL OTHER SITE PLAN INFORMATION, REFER TO DRAWING SET DATED APRIL 27, 2018, PROVIDED BY JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC., TITLED PRELIMINARY/FINAL SITE PLAN THE LEARNING EXPERIENCE, SHEETS 1-11.
3. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
4. EXISTING TREES TO REMAIN, TO BE PROTECTED



LANDSCAPE AND WETLAND MITIGATION PLAN

530 NORTH STATE ROAD  
BRIARCLIFF MANOR, NY

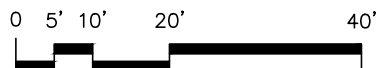
JAY FAIN & ASSOCIATES,LLC  
Environmental Consulting Services  
134 Round Hill Road, Fairfield, CT 06824  
203-254-3156 - fax: 203-254-3167

Date:  
08-17-18

Sheet No.:  
L.1



FOR PERMITTING ONLY NOT FOR CONSTRUCTION



Jarmel Kizel  
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Architecture  
Engineering  
Interior Design  
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
3	08/20	PLANNING BOARD SUBMISSION	

REVISION

NO.	DATE	DESCRIPTION	INT.
1	08/20	PER 06/20/18 REVIEW LETTERS	

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA AZ LIC 48159 CO LIC ARC-401483 CT LIC ARJ0011415 DC LIC ARJ0101849 DE LIC 55-0007256 FL LIC AR94034 GA LIC RA011454 IL LIC 05577 IN LIC 001020969 MA LIC AR10286 MD LIC 12962 MI LIC 1301052189 NJ LIC 21400794700 NY LIC 08522	NJ LIC A10-12787 MN LIC 46404 NC LIC 10120 NH LIC 3501 NY LIC 024073 OH LIC A-98-12444 PA LIC RA-014891-B RI LIC ARC 0004765 SC LIC AR 9163 TN LIC 103850 TX LIC 20992 VA LIC 5401, 014089 VT LIC 2453
---	--

ASSOCIATES

RONALD A. BROOKSHIRE, PE CT LIC 050027735 CT LIC 050027735 MI LIC 6201052339 DE LIC 18754 VT LIC 88498	NJ LIC 064551 PA LIC PE008517 NY LIC A1 13231 NY LIC 024719 PA LIC RA-405081 NY LIC 036993 NJ LIC 06038255 NJ LIC 2140106294 NY LIC A1 8883 NY LIC 010151 NJ LIC 21402069000 PA LIC RA407927
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NJ State Board Of Architects, Authorization No. 161  
NJ State Board Of Engineers & Land Surveyors Authorization No. CA-278177

Project: THE LEARNING EXPERIENCE 530 NORTH STATE ROAD TOWN OF OSSINING BRIARCLIFF MANOR, NY SECTION 90.15, BLOCK 2, LOT 18	
Project No: TLENY-S-17-155	Scale: 1" = 20'-0"
Drawn By: LB	Approved By: RAJ
Drawing Name: LANDSCAPE AND WETLAND MITIGATION PLAN	
Drawing Number: C-600	
Sheet No. of: 6 11	
Initial Date: MAY 22, 2018	RICHARD A. JARMEL PROFESSIONAL ENGINEER N.Y. LIC. #073898-1

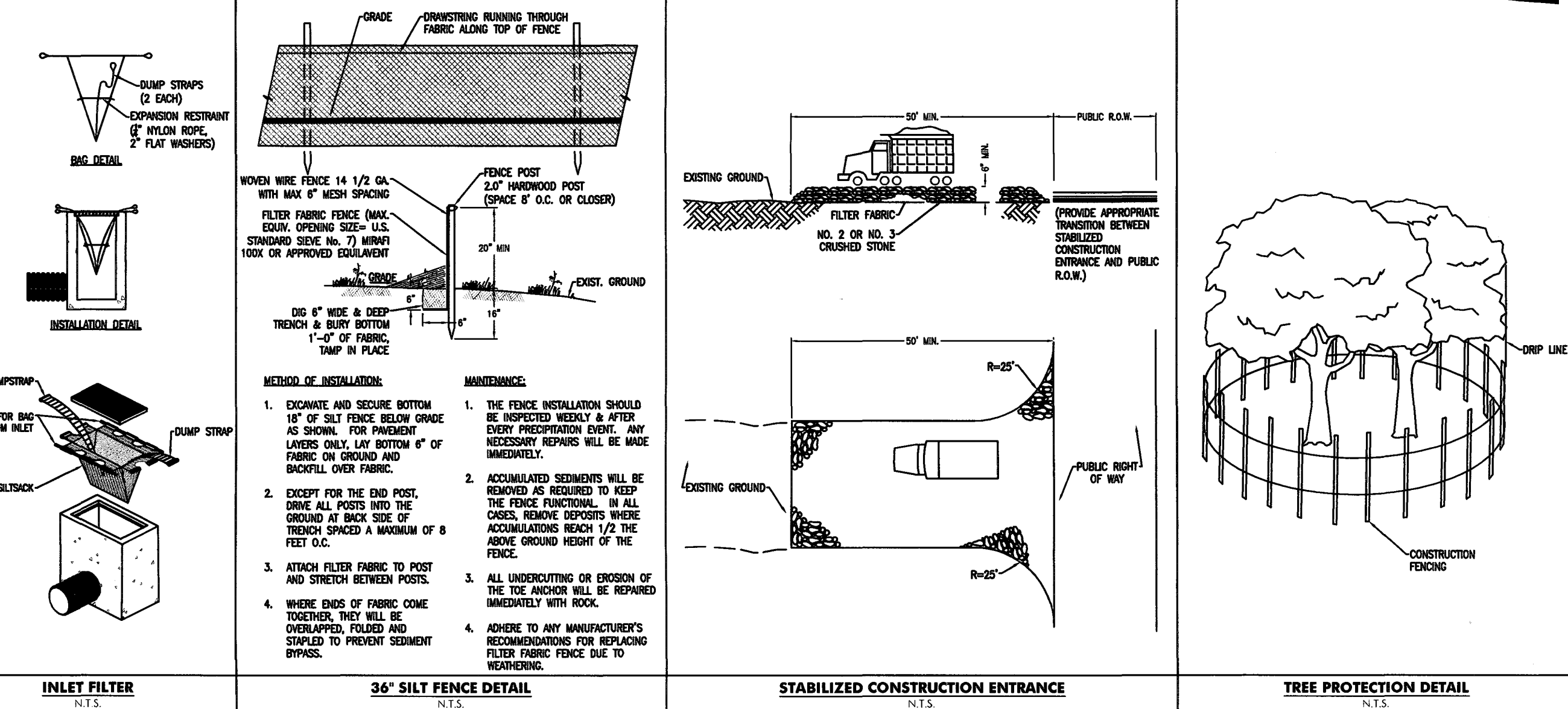
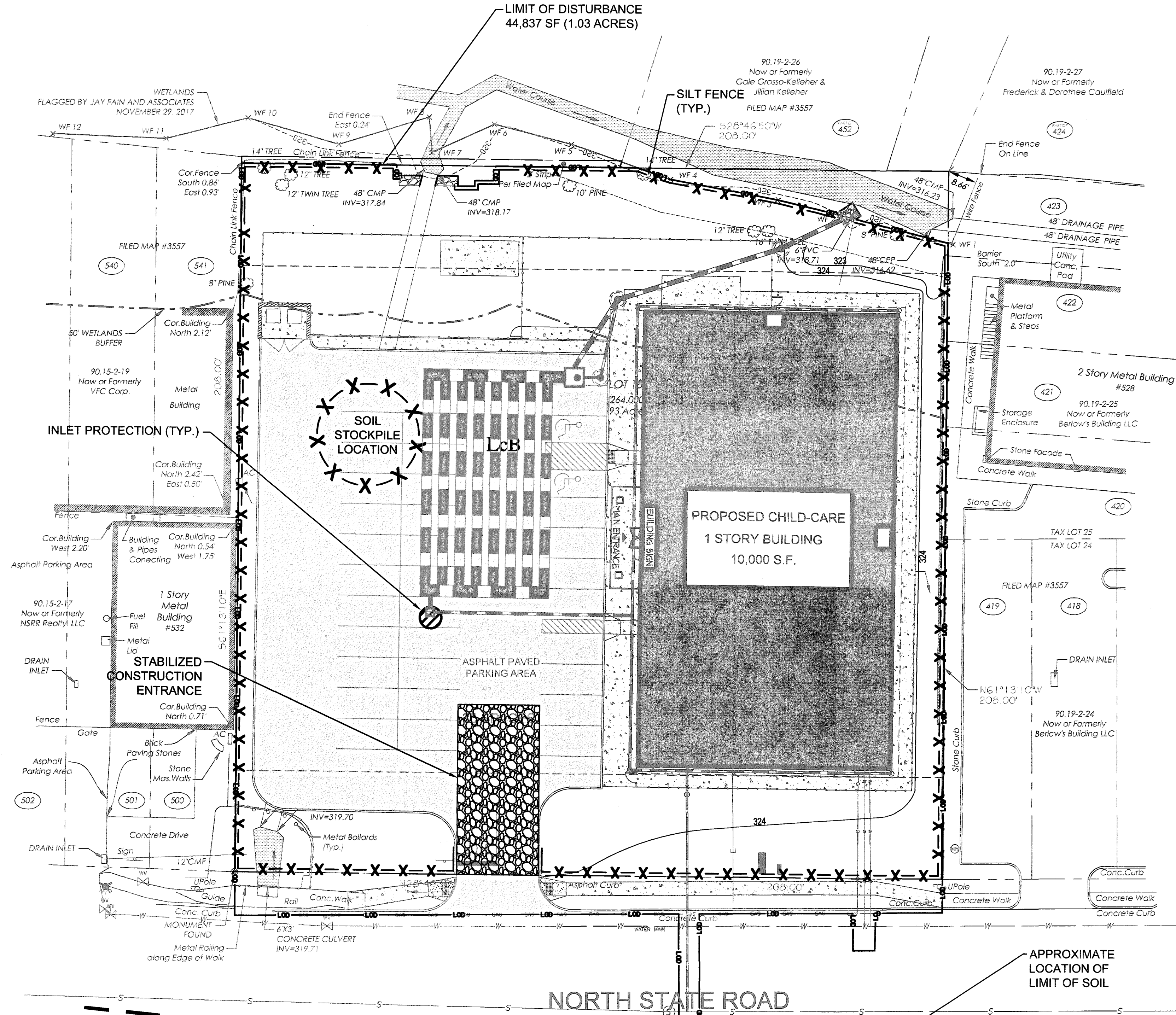






# SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NY STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL WORK WITHIN COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH NASSAU COUNTY RULES AND REGULATIONS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION OF PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.

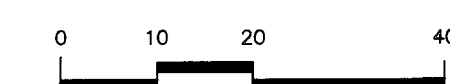


## SEQUENCE OF CONSTRUCTION:

ITEM	DURATION
1. INSTALL SOIL EROSION MEASURES	2
2. DEMO SITE	7
3. GRADE SITE FOR BUILDING AND PAVEMENT	5
4. CONSTRUCT BUILDING AND PLAY AREA	200
5. CONSTRUCT STORM SYSTEM	15
6. CONNECT UTILITIES	5
7. INSTALL NEW CURB	5
8. POUR NEW WALKWAYS	5
9. PAVE DRIVEWAYS & LINESTRIPING	10
10. PLANT NEW VEGETATION	5
11. REMOVE SOIL EROSION MEASURES	1
<b>TOTAL:</b>	<b>260 DAYS</b>

## LEGEND

PROPERTY LINE	---
CONSTRUCTION ENTRANCE	---
SILT FENCE	X X
LIMIT OF DISTURBANCE	---
SOIL TYPE	Lc: LEICESTER LOAM, 3% TO 8% SLOPES, STONY C/C: CHARLTON-CHAFFIELD COMPLEX, 0% TO 15% SLOPES, VERY ROCKY



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## ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG

## REVISION

NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB

**PRINCIPALS**  
MATTHEW B. JARMEL, AIA, MBA  
AZ: LC 48159  
CO: LC 48159-481  
CT: LC 48159-481  
DC: LC 48159-481  
DE: LC 48159-481  
FL: LC 48159-481  
GA: LC 48159-481  
IL: LC 48159-481  
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VT: LC 48159-481  
WA: LC 48159-481  
WI: LC 48159-481  
WY: LC 48159-481

**THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSING  
BRACELIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **1" = 20'**  
Drawn By: **LB** Approved By: **RAJ**

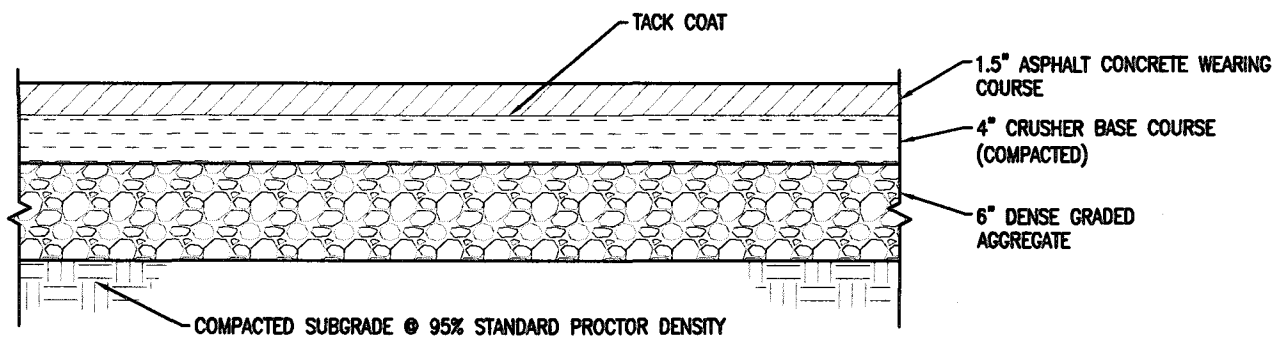
Drawing Name:

## SOIL EROSION AND SEDIMENT CONTROL PLAN

Drawing Number: **C-700**  
Sheet No: **8** of **11**  
Initial Date: **APRIL 27, 2018**



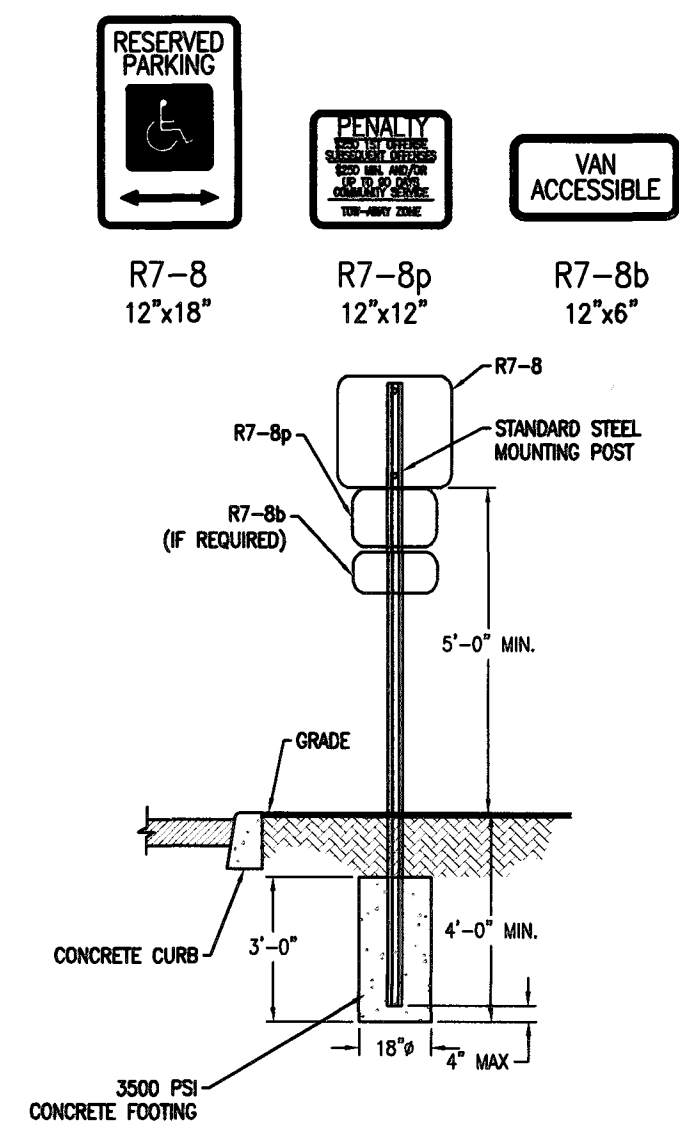




- NOTES:
1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
  2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
  3. THE 4 INCHES OF CRUSHER BASE COURSE SHALL CONSIST OF FINE PARTICLES SMALLER THAN 1\"/>

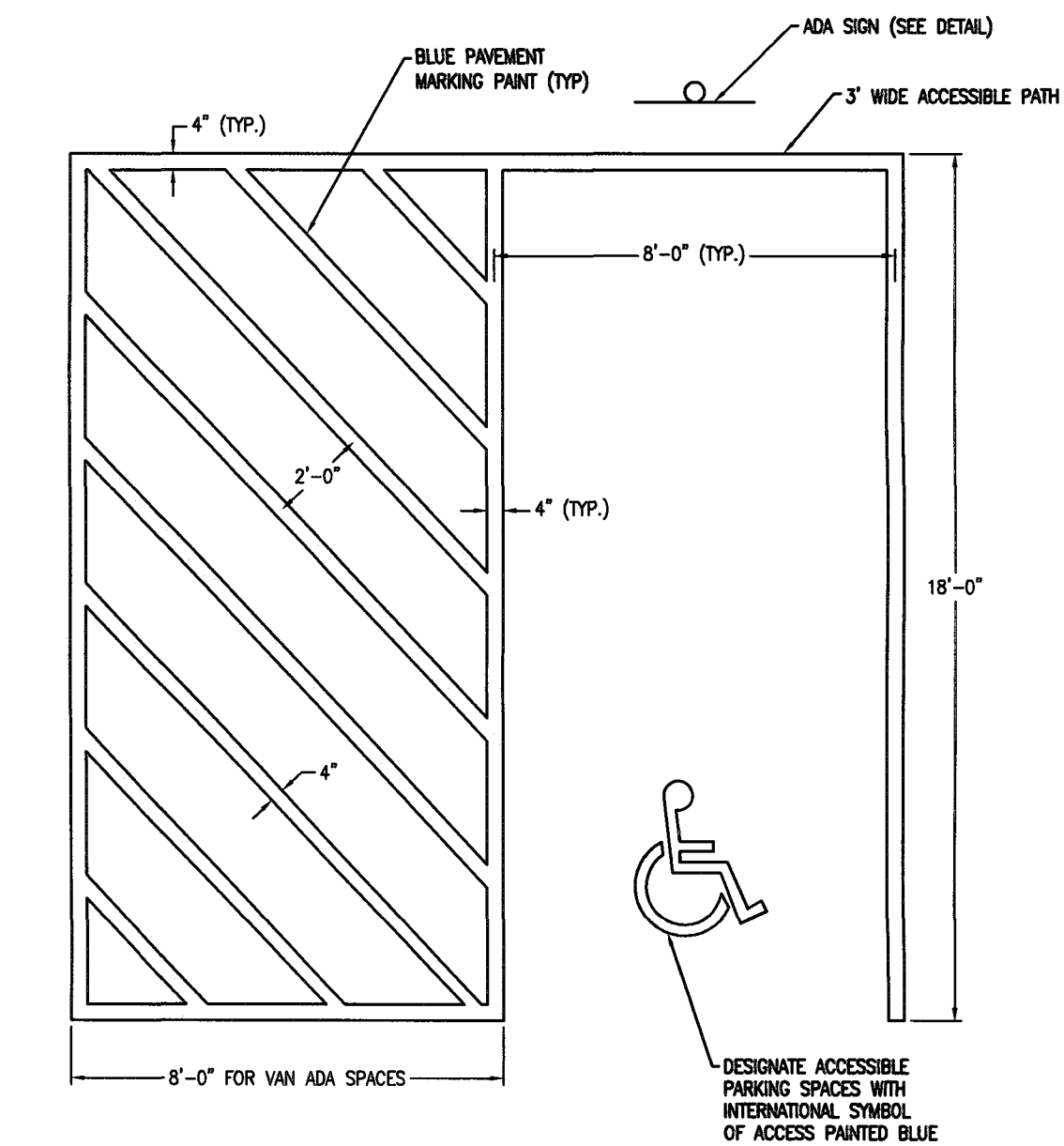
#### ASPHALT PAVEMENT SECTION

N.T.S.



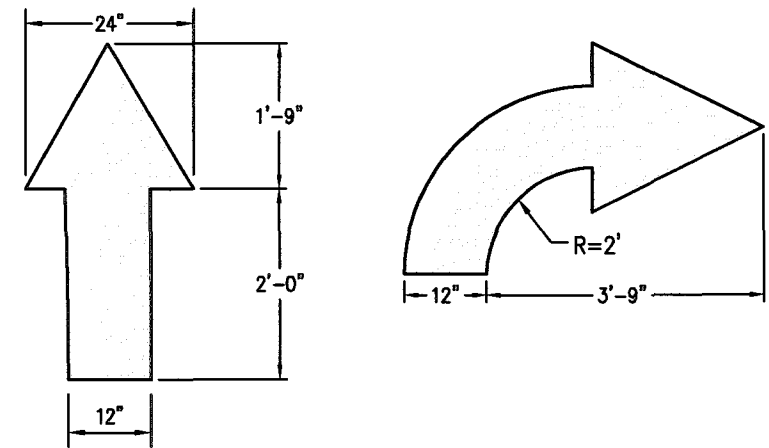
#### SIGN MOUNTING DETAIL

N.T.S.



#### ADA PARKING SPACE STRIPING

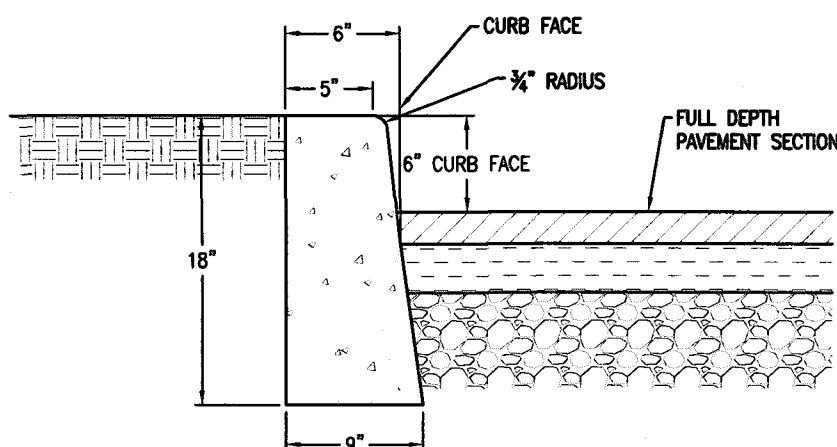
N.T.S.



- NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
  2. THESE TRAFFIC FLOW ARROWS SHALL BE PAINTED REFLECTIVE YELLOW.

#### TRAFFIC FLOW ARROWS

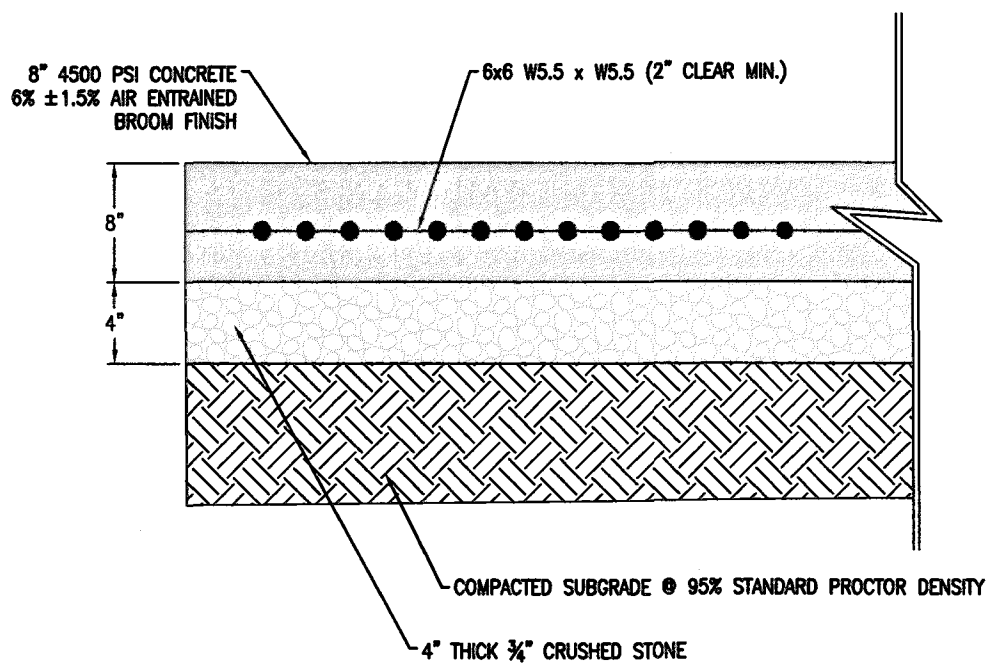
N.T.S.



- NOTES:
1. CONCRETE TO TEST 4,000 PSI MINIMUM ON 28 DAY TEST, AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3\"/>

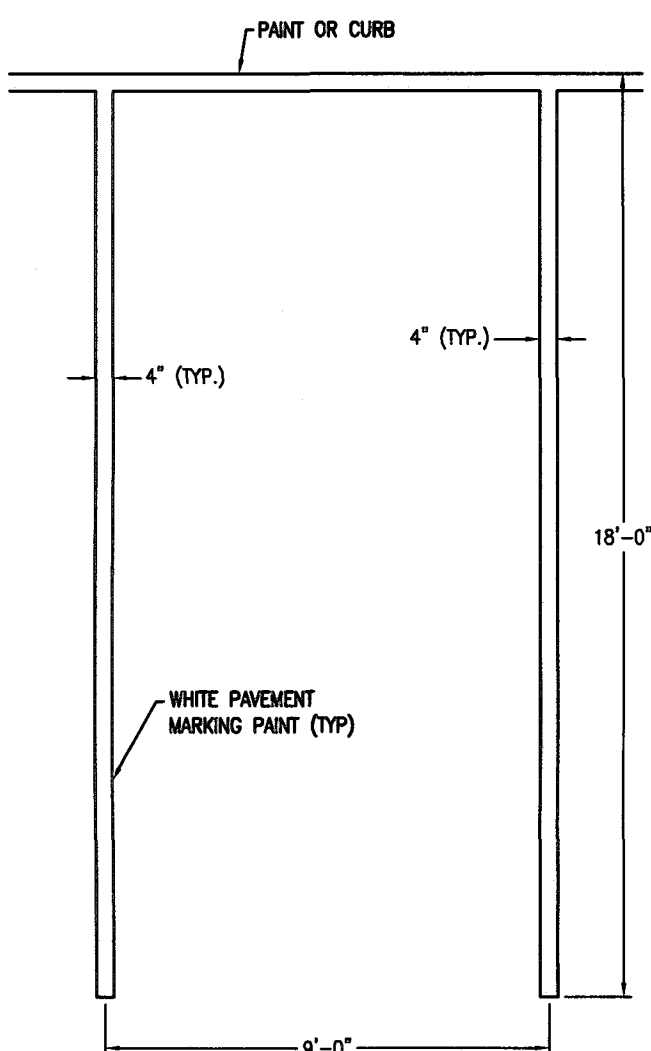
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N.T.S.



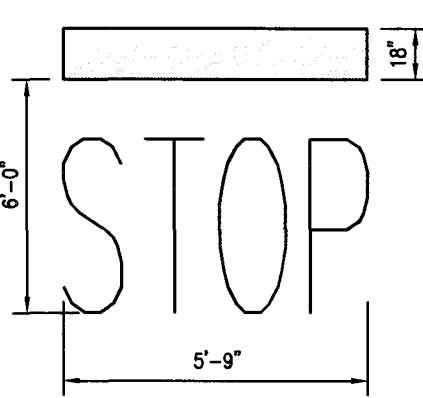
#### CONCRETE SLAB FOR DUMPSTER

N.T.S.



#### STANDARD PARKING SPACE STRIPING

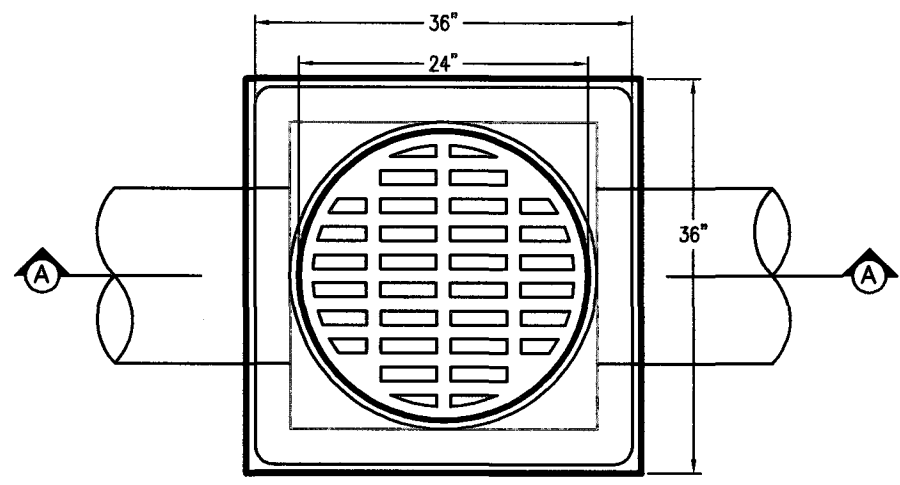
N.T.S.



- NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
  2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

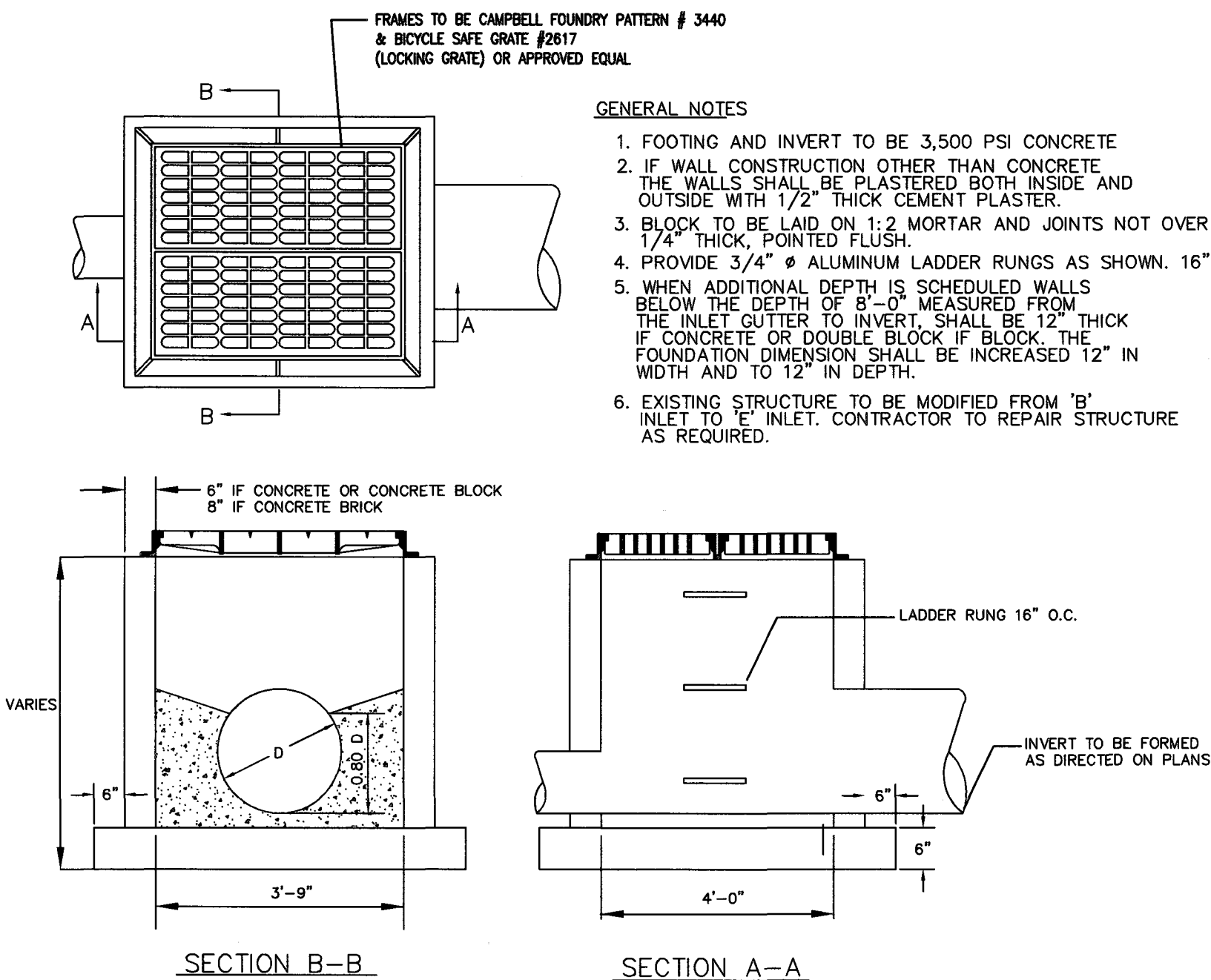
#### STOP BAR DETAIL

N.T.S.



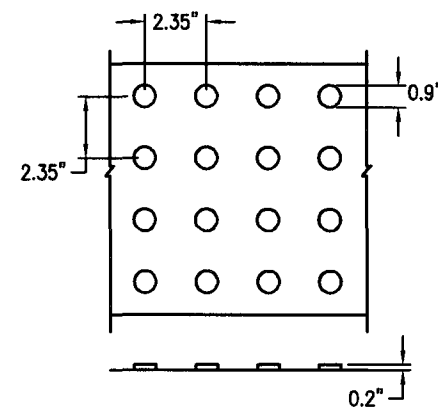
#### FIELD INLET

N.T.S.



#### TYPE \"/>

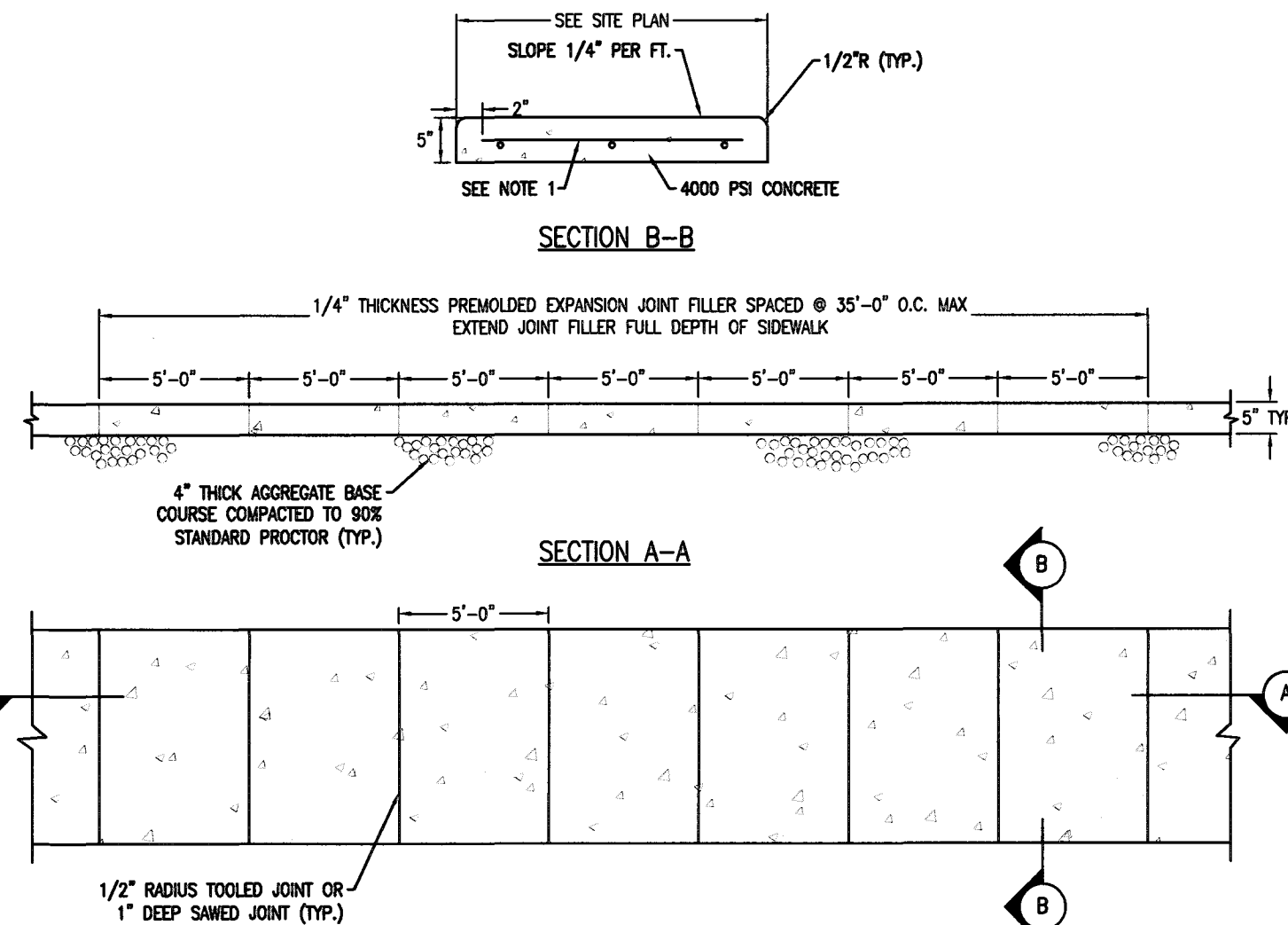
N.T.S.



- NOTES:
1. A 24\"/>

#### DETECTABLE WARNING SURFACE

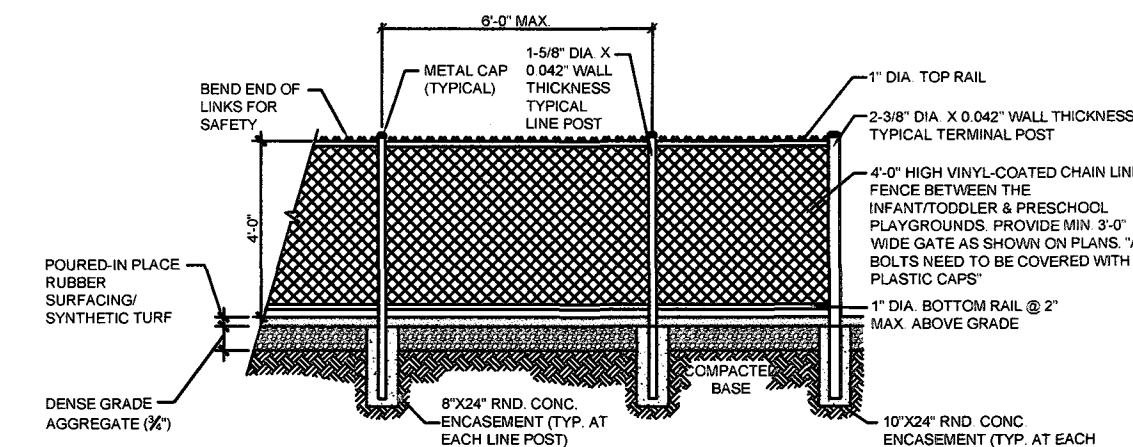
N.T.S.



- NOTES:
1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
  2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
  3. CONCRETE SIDEWALK SHALL CONSIST OF ONE PART PORTLAND CEMENT TYPE IA, ONE AND ONE HALF PARTS OF FINE AGGREGATE AND THREE PARTS OF COARSE AGGREGATE (EITHER BROKEN STONE OR SCREENED SAND) SIZE NUMBER 3 (1\"/>

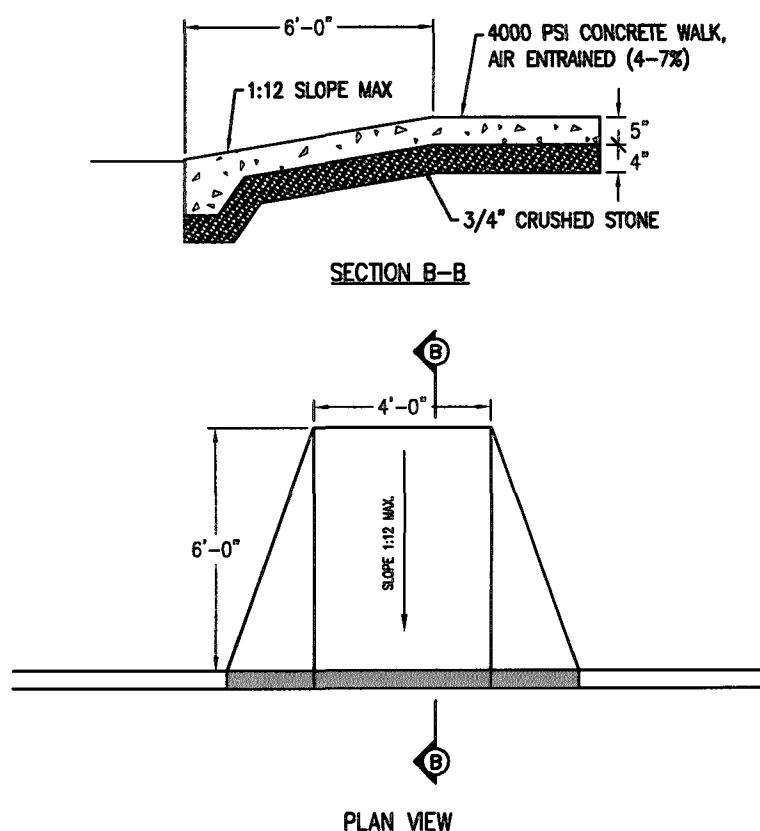
#### CONCRETE SIDEWALK

N.T.S.



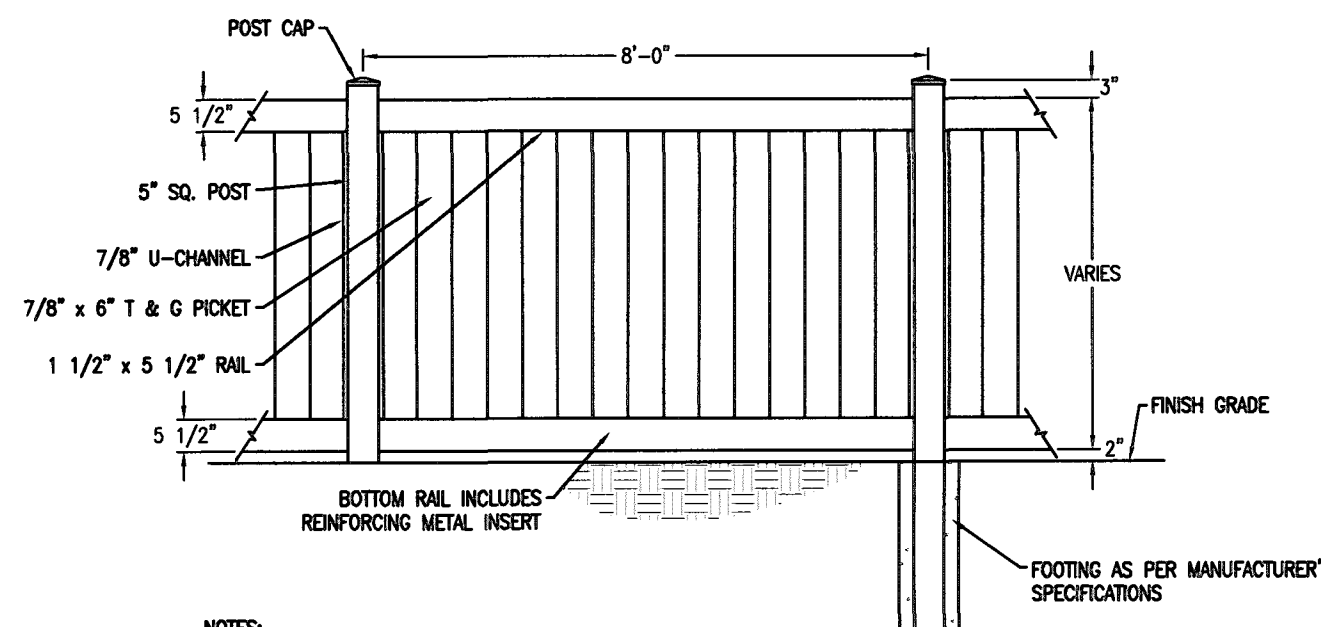
#### 4\"/>

N.T.S.



#### HANDICAP CURB AT SIDEWALK

N.T.S.



- NOTES:
1. FENCE TO BE \"LEGEND VINYL SERIES\", PRIVACY STYLE FENCE, WHITE COLOR, BY MASTER HALCO, OR APPROVED EQUIVALENT.
  2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
  3. FOOTING AS PER MANUFACTURER'S SPECIFICATION.

#### SOLID VINYL FENCE DETAIL

N.T.S.



**Jarmel Kizel**

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Interior Design  
Implementation Services

#### ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG

#### REVISION

NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB

#### PRINCIPALS

<b>MATTHEW B. JARREL, AIA, MBA</b>	NU LIC A0-12787
AZ LIC 48159	NY LIC 46404
CO LIC AR-001483	NC LIC 10120
CT LIC AR-0011415	NH LIC 3501
DC LIC AR-0101849	NY LIC 020423
DE LIC SS-0007256	OH LIC A-9912444
FL LIC AR-04934	PA LIC RA-014851-8
GA LIC RA-011484	RI LIC AR-0004765
IA LIC 00517	SC LIC AR 9163
IL LIC 00100069	TX LIC 100850
MA LIC AR 0286	TX LIC 20992
MD LIC 13662	VA LIC 0403 014089
MI LIC 1501002189	VT LIC 2453
MO LIC 000000000	NY LIC 21400074700
NE LIC 08822	NY PP LIC 3300243100
RI LIC 000000000	NY LIC 000000000
SC LIC 000000000	NY LIC 000000000
TX LIC 000000000	NY LIC 000000000
VA LIC 000000000	NY LIC 000000000
VT LIC 000000000	NY LIC 000000000
WA LIC 000000000	NY LIC 000000000
WI LIC 000000000	NY LIC 000000000
WY LIC 000000000	NY LIC 000000000

#### ASSOCIATES

<b>RONALD A. BROOKSHIRE, PE</b>	NU LIC 0645511
PA LIC 000000000	PA LIC 000000000
<b>DAVID L. LESSEN, RA</b>	NY LIC 000000000
CT LIC AR-0011748	NY LIC 000000000
<b>MICHAEL J. VOLLMER, RA</b>	PA LIC RA-0000000
NY LIC 000000000	NY LIC 000000000
<b>GERARD P. GESANO, PE</b>	NY LIC 000000000
<b>FREDERICK KING, RA</b>	NY LIC 000000000
<b>JEROME LESLIE EBEL, FAIA, PP</b>	NY LIC 000000000
<b>CHERYL SCHWEIKER, AIA</b>	NY LIC 000000000

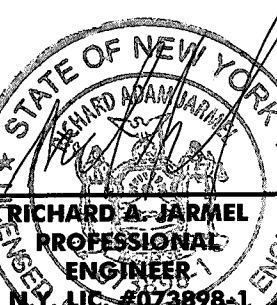
NY State Board Of Architects Authorization No. 141  
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**  
530 NORTH STATE ROAD  
TOWN OF OSSING  
BRIDGELIFF MANOR, NY  
SECTION 90.15, BLOCK 2, LOT 18

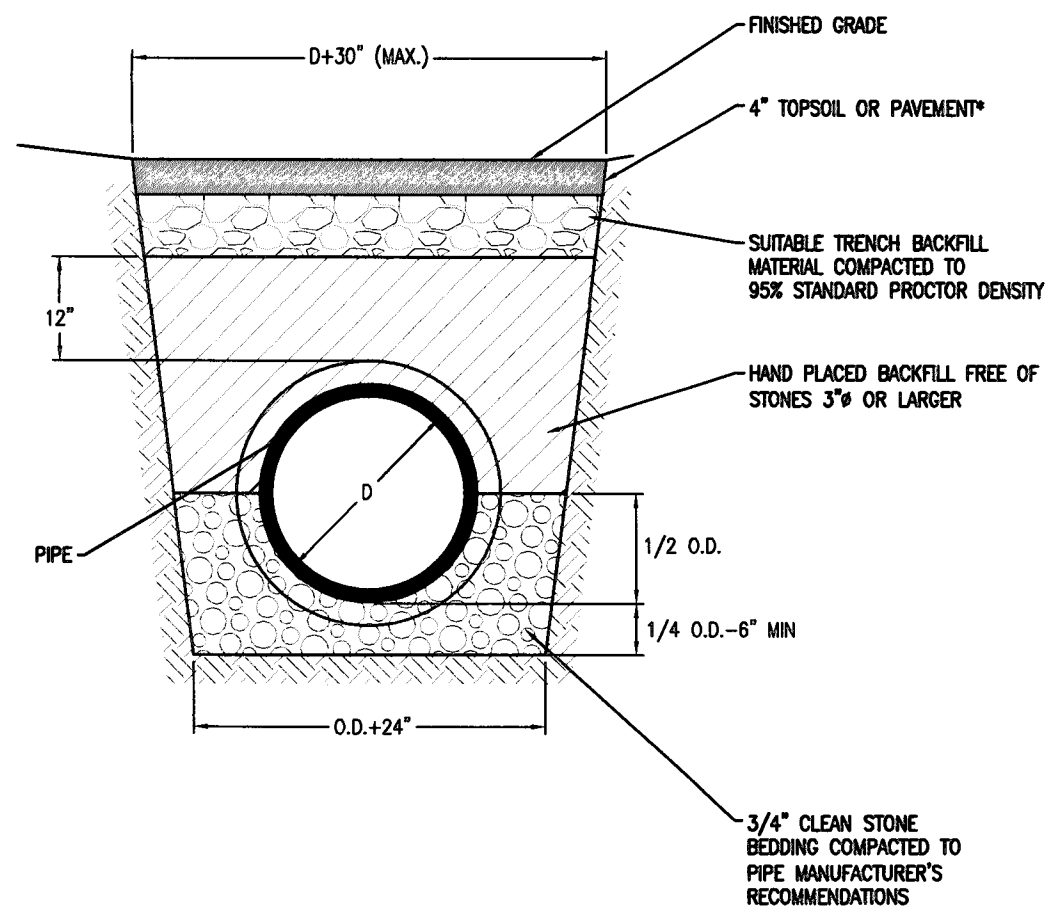
Project No: **TLENY-5-17-155** Scale: **AS NOTED**  
Drawn By: **LB** Approved By: **GPG**  
Drawing Name:

#### DETAIL SHEET

Drawing Number: **C-900**  
Sheet No: **9** of **11**  
Initial Date: **APRIL 27, 2018**

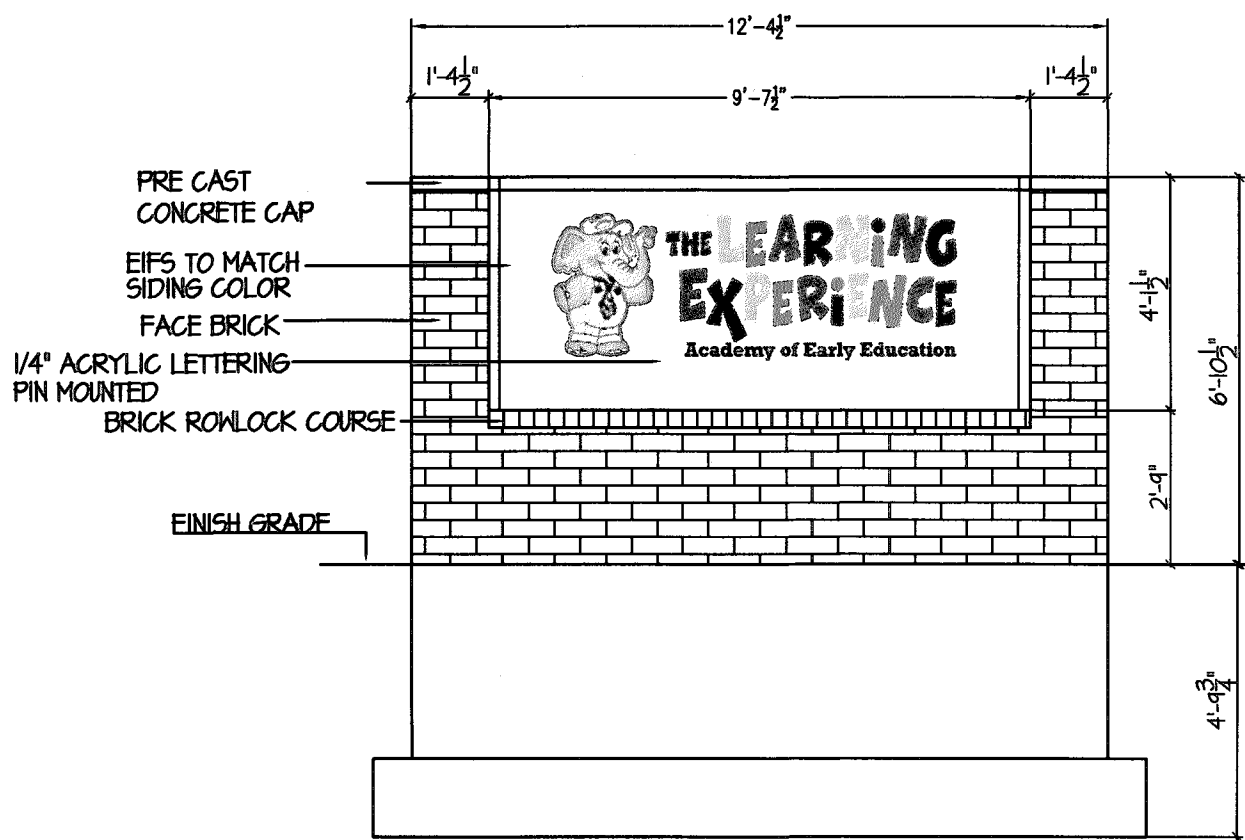




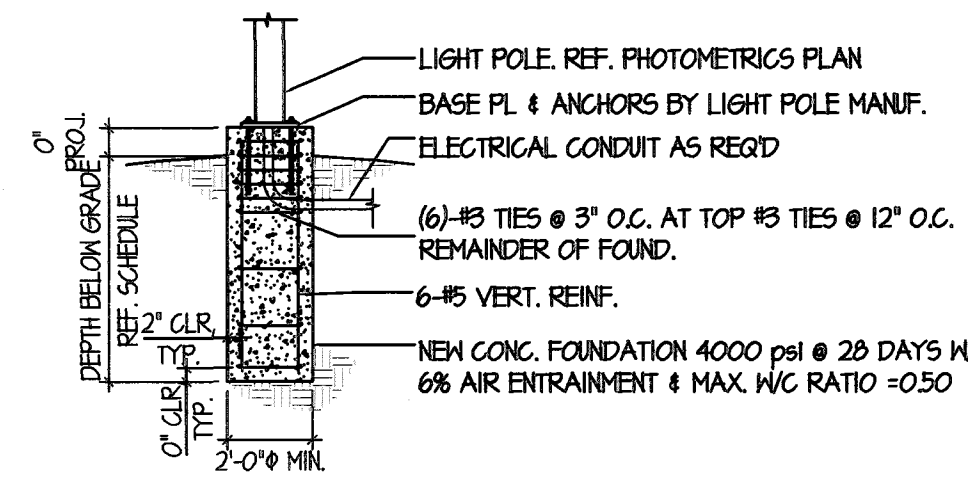
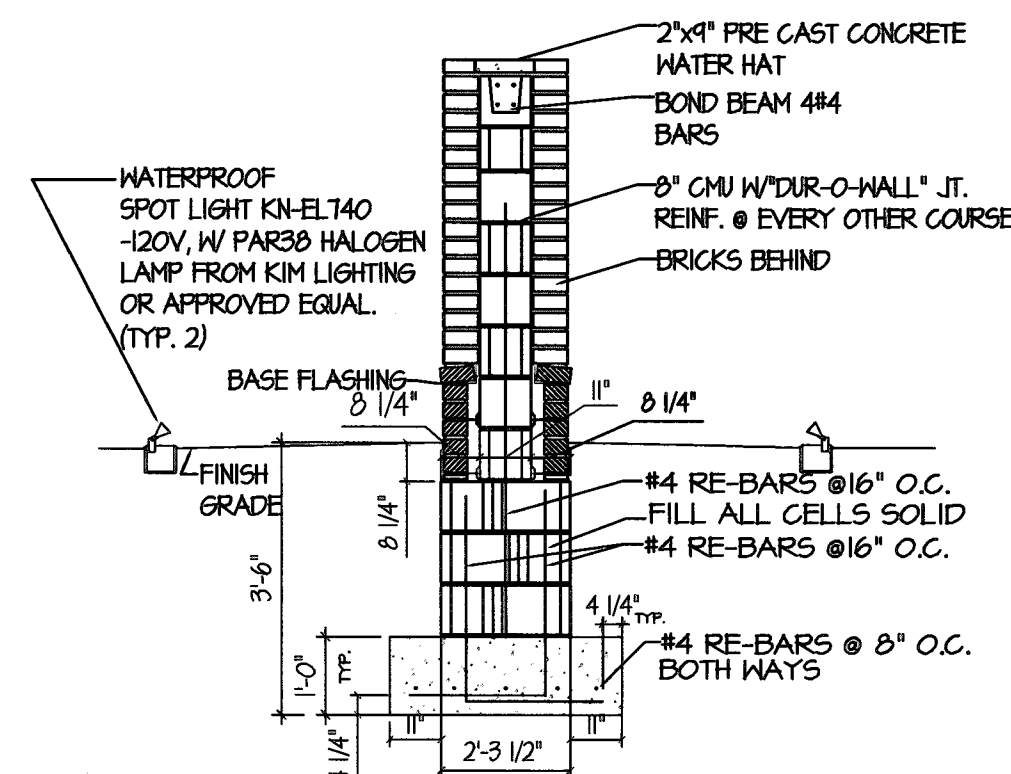
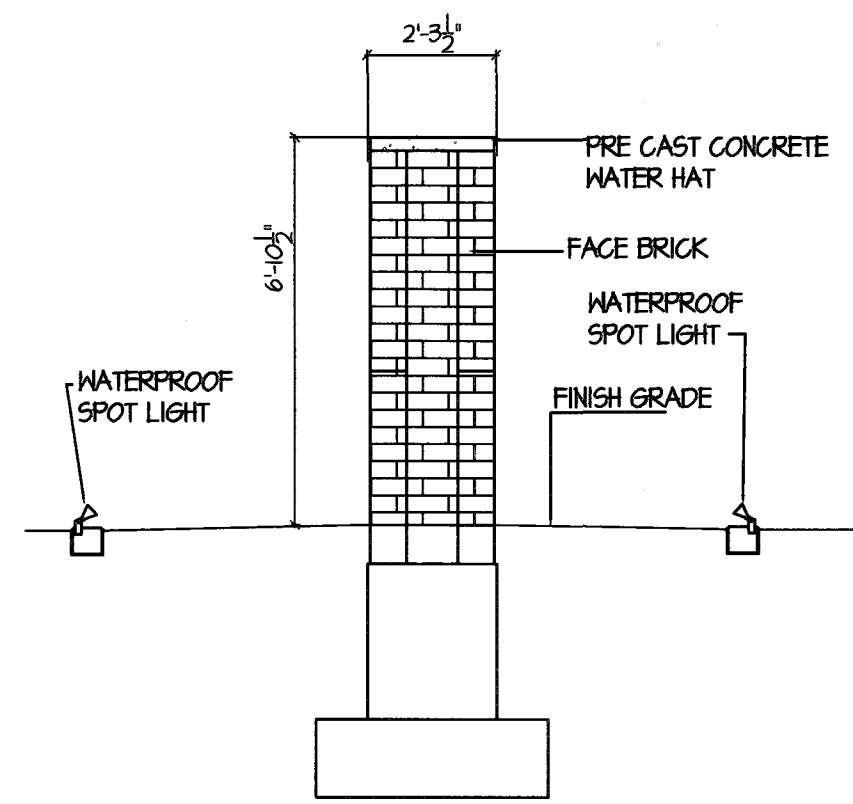


GENERAL NOTE  
1. ALL BACKFILL UNDER PAVEMENT SHALL BE TYPE 1-2 SELECT MATERIAL OR SA BASE COURSE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY.

**TRENCH/BACKFILL SECTION**  
N.T.S.



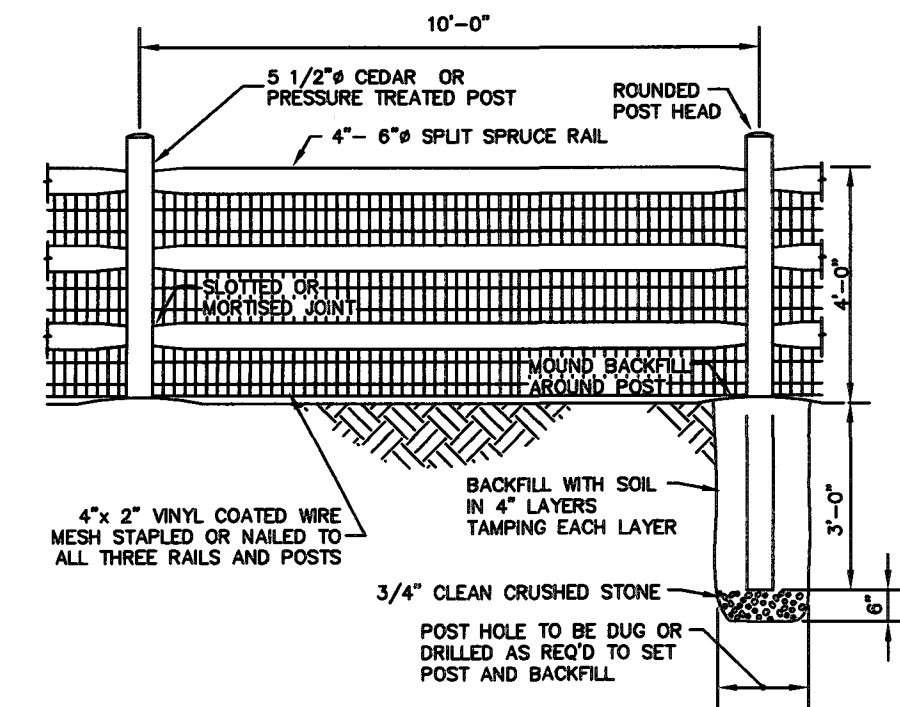
**TLE MONUMENT SIGN**  
N.T.S.



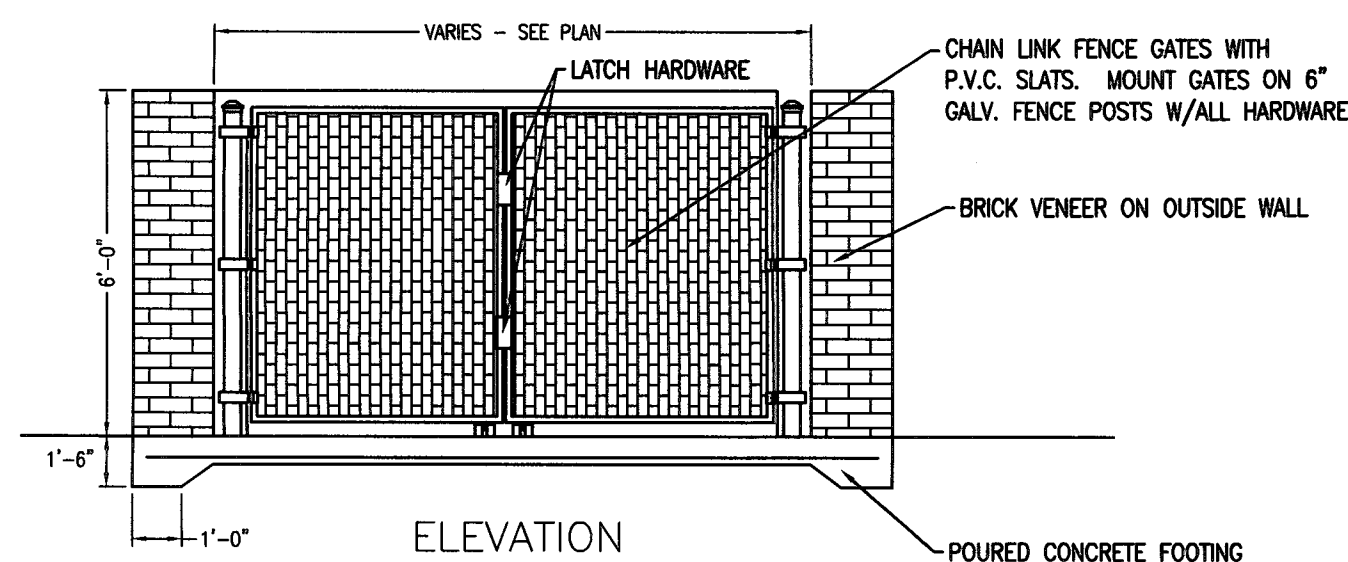
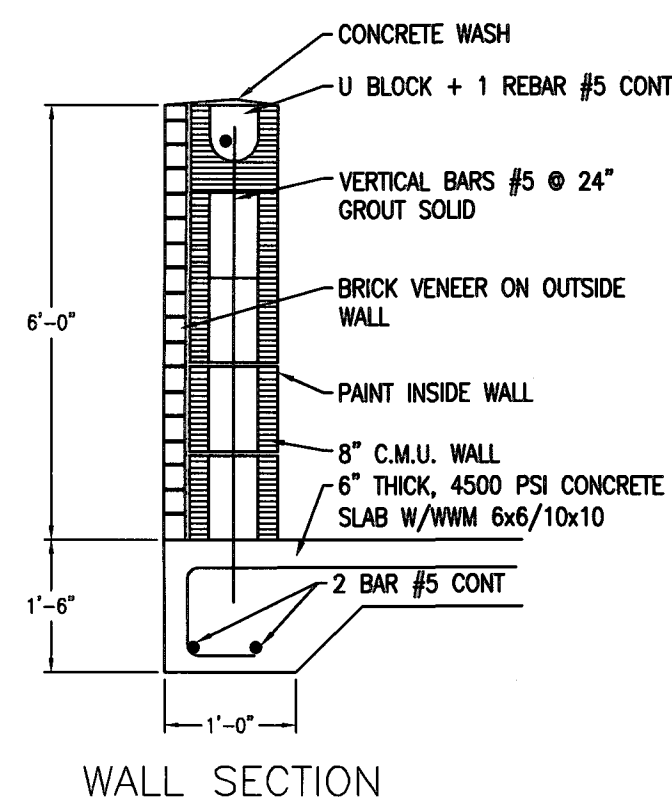
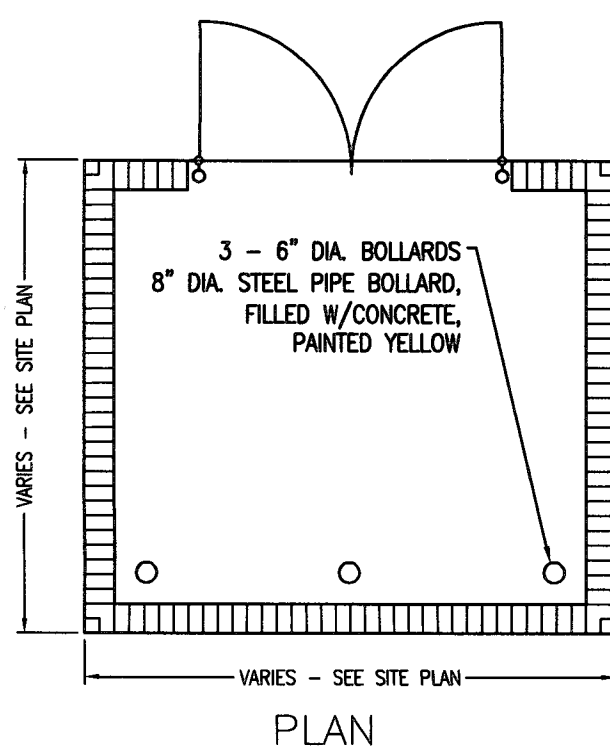
LIGHT POLE FOUNDATION DEPTH PER WIND ANALYSIS		
WIND SPEED (ASCE 7-10)	WIND SPEED (ASCE 7-05)	FND. DEPTH
110 TO 140 MPH	85 TO 120 MPH	5'-6"
150 TO 180 MPH	130 TO 150 MPH	6'-6"

NOTE: REFER TO STRUCTURAL DRAWINGS FOR APPLICABLE WIND SPEED.

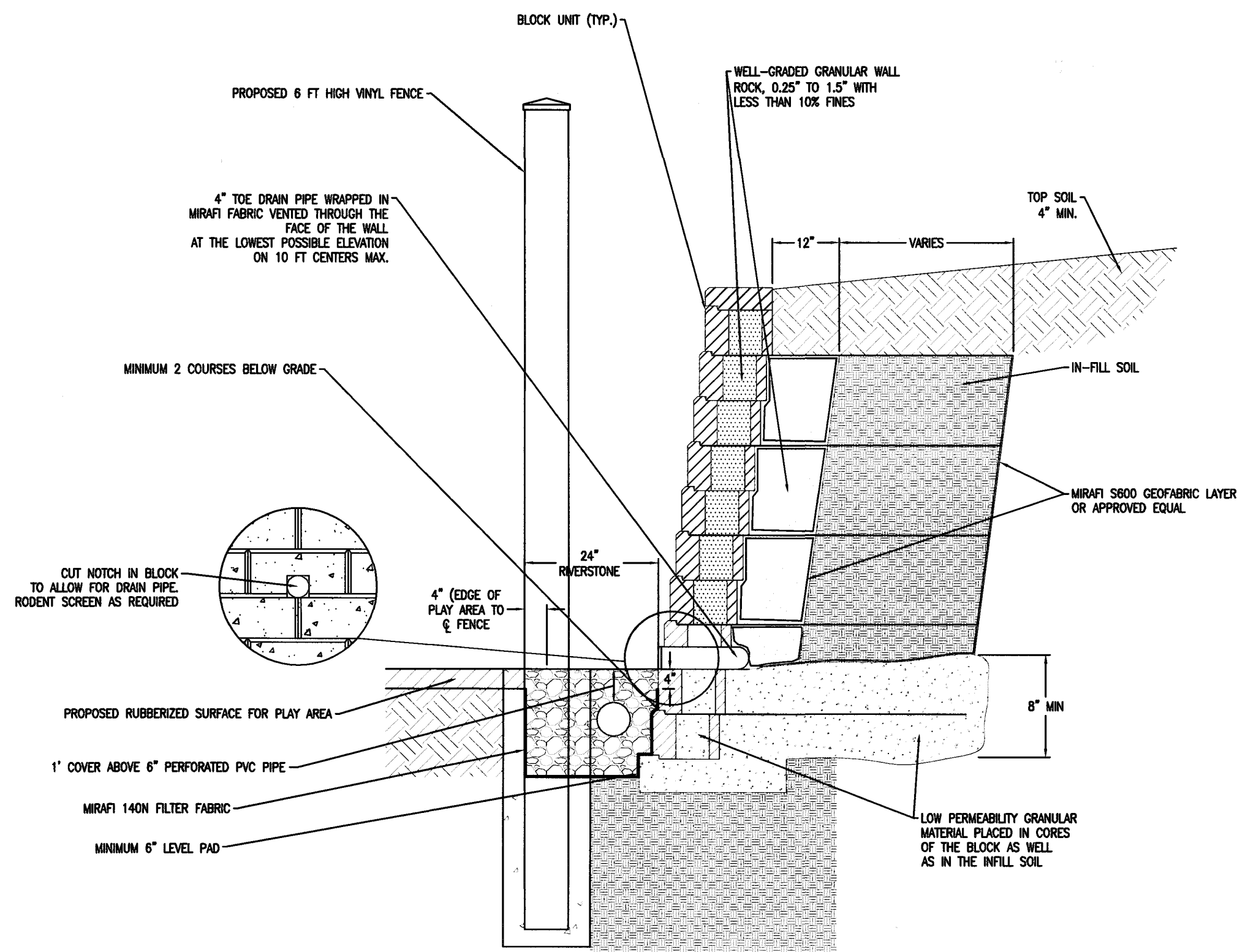
**LIGHT POLE FOUNDATION**  
N.T.S.



**SPLIT RAIL FENCE WITH WIRE MESH**  
N.T.S.



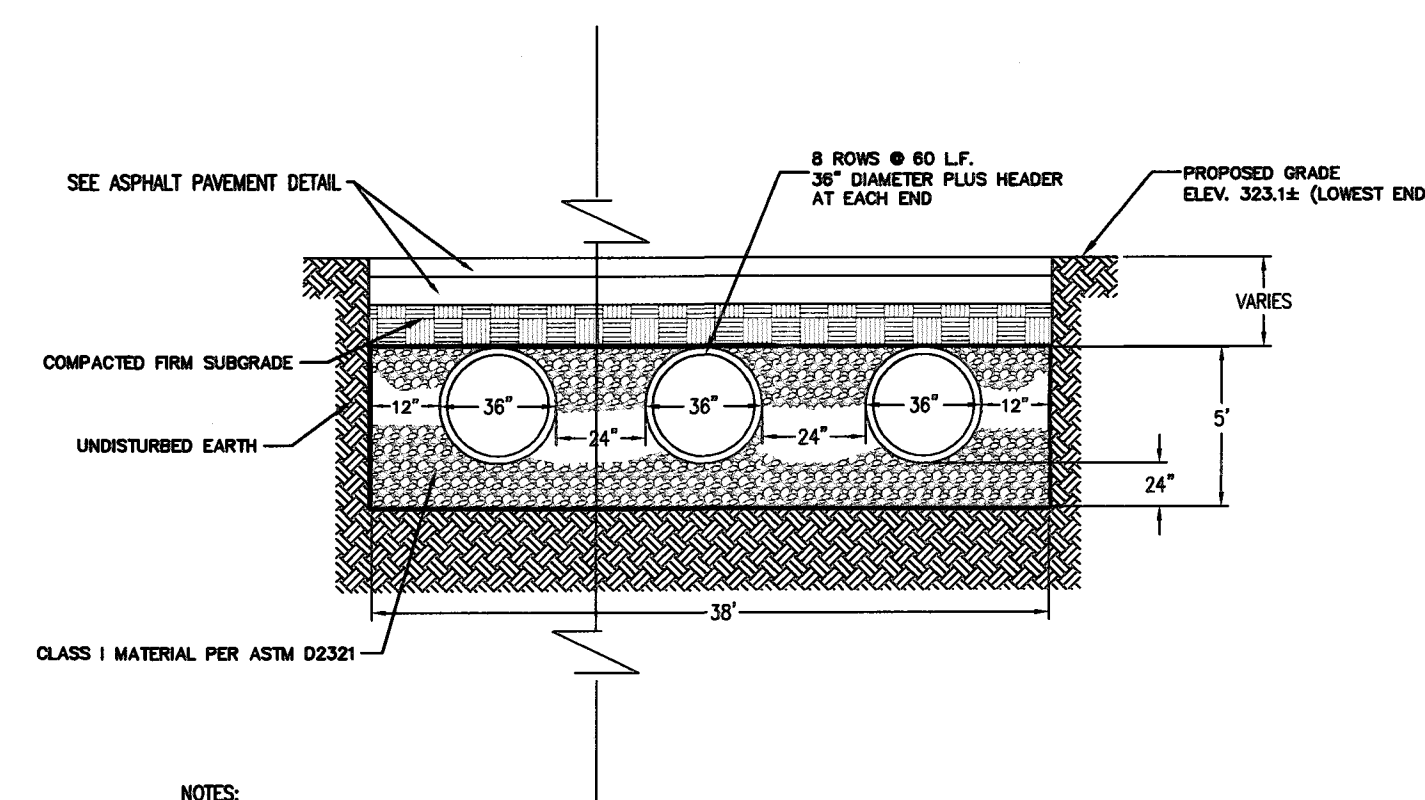
**DUMPSTER ENCLOSURE**  
N.T.S.



NOTES:

- CONTRACTOR SHALL PROVIDE DESIGN CALCULATIONS OF THE SEGMENTAL BLOCK RETAINING WALL AND DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW, PREPARED, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK.

**TYPICAL BLOCK WALL DETAIL**  
N.T.S.



NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
- ALL DETENTION AND RETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM 2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.

**UNDERGROUND INFILTRATION SYSTEM**  
N.T.S.



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REVISION

NO.	DATE	DESCRIPTION	INT.

<b>PRINCIPALS</b> MATTHEW S. JARMEL, AIA, MBA AZ UC 48159 CO UC AR1401483 CT UC AR10011415 DC UC AR10101849 DE UC SS-0007256 FL UC AR14034 GA UC AR1011484 IA UC 05577 IL UC 001102069 MA UC AR10286 MD UC 12462 NJ UC 1501020189 NY UC 214020794700 CT UC 08532 A. JARMEL, PE RI UC PE16027735 RI UC 6201052339 DE UC 18154 VT UC 88498	NJ UC AD-12787 MN UC 46404 NC UC 10120 NH UC 3501 NY UC 024623 OH UC A-99-12444 PA UC PA-01481-8 RI UC AR1004765 SC UC AR1163 TN UC 103850 TX UC 20992 VA UC 0481014089 VT UC 2453 NJ UC 33002043100 NJ UC 35491 MN UC 47489 NY UC 02386-1 PA UC PE107060 MA UC 50445 TX UC 123822
<b>ASSOCIATES</b> RONALD A. BROOKSHIRE, PE CT UC PE1005281 DAVID L. LESSENE, RA GA UC AR1011748 MICHAEL J. VOHLAND, RA GA UC 31425 GERARD P. GOSARIO, PE FREDERICK KINGDALE, RA JEROME LESLIE EBEL, FALA, PP NY UC 0104524 CHERYL SCHWEIKER, AIA NY UC CE45511 PA UC PE05817 NJ UC AJ 1253 NY UC 020715 PA UC PA-02081 NY UC 056995 NJ UC CE030255 NJ UC 2141010294 NJ UC AJ 8981 NY UC 010151 NJ UC 21402049000 PA UC 040722	NJ UC 45511 PA UC PE05817 NJ UC AJ 1253 NY UC 020715 PA UC PA-02081 NY UC 056995 NJ UC CE030255 NJ UC 2141010294 NJ UC AJ 8981 NY UC 010151 NJ UC 21402049000 PA UC 040722

NJ State Board Of Architects Registration No. 141  
NJ State Board Of Engineers & Land Surveyors Registration No. CEA-278177

Project: **THE LEARNING EXPERIENCE**  
**530 NORTH STATE ROAD**  
**TOWN OF OSSINING**  
**BRARCLIFF MANOR, NY**  
**SECTION 90.15, BLOCK 2, LOT 18**

Project No:	Scale:
<b>TLENY-S-17-155</b>	<b>AS NOTED</b>
Drawn By:	Approved By:
<b>LB</b>	<b>CRPG</b>
Drawing Name:	

DETAIL SHEET

Drawing Number:	<b>C-901</b>
Sheet No:	of:
<b>10</b>	<b>11</b>
Initial Date:	
<b>APRIL 27, 2018</b>	
	<b>RICHARD A. JARMEL</b> PROFESSIONAL ENGINEER N.Y. LIC. #073898-1





The image contains several technical drawings of concrete thrust blocks, labeled as follows:

- AT TEE:** Shows a Tee configuration with a 12" minimum thrust block (TYP.) and undisturbed earth (TYP.).
- AT BEND:** Shows a Bend configuration with a 12" minimum thrust block (TYP.) and a bearing face (TYP.).
- TYPICAL ELEVATION:** Shows a typical elevation view of a thrust block.
- AT TEE, CROSS AND PLUG:** Shows Tee, Cross, and Plug configurations with a 12" minimum thrust block (TYP.).
- AT REDUCER:** Shows a Reducer configuration with a 12" minimum thrust block (TYP.).

Common labels across the drawings include "4,000 PSI CONCRETE THRUST BLOCK (TYP.)" and "12\" minimum thrust block (TYP.)".

- THRUST BLOCK DETAILS**  
N.T.S.



Architecture  
Engineering  
Interior Design  
Implementation Services

REVISION

## PRINCIPALS

NJ State Board Of Architects Authorization No. 161  
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278

Project No:	Scale:
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TI ENY-S-17-155 AS NOT

TELETYPE UNIT		TELETYPE UNIT	
1	2	3	4

Drawn By: **LB** Approved by:

LB	
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Drawing Name:

## DETAIL SHEET

**DETAIL SHEET**

Drawing Number:	
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Drawing Number.C-902

U.S. DEPT. OF NEW YORK

Sheet No:                      of:

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11 11 *[Signature]*

Initial Date:	RICHARD A. JARME
---------------	------------------

PROFESSIONAL

**APRIL 27, 2018** **ENGINEER**

N.Y. LIC. #073898

PROFESSOR

100