## PRELIMINARY / FINAL SITE PLAN

# THE LEARNING EXPERIENCE

530 NORTH STATE ROAD, TOWN OF OSSINING, BRIARCLIFF MANOR, WESTCHESTER COUNTY, STATE OF NEW YORK SECTION 90.15, BLOCK 2, LOT 18



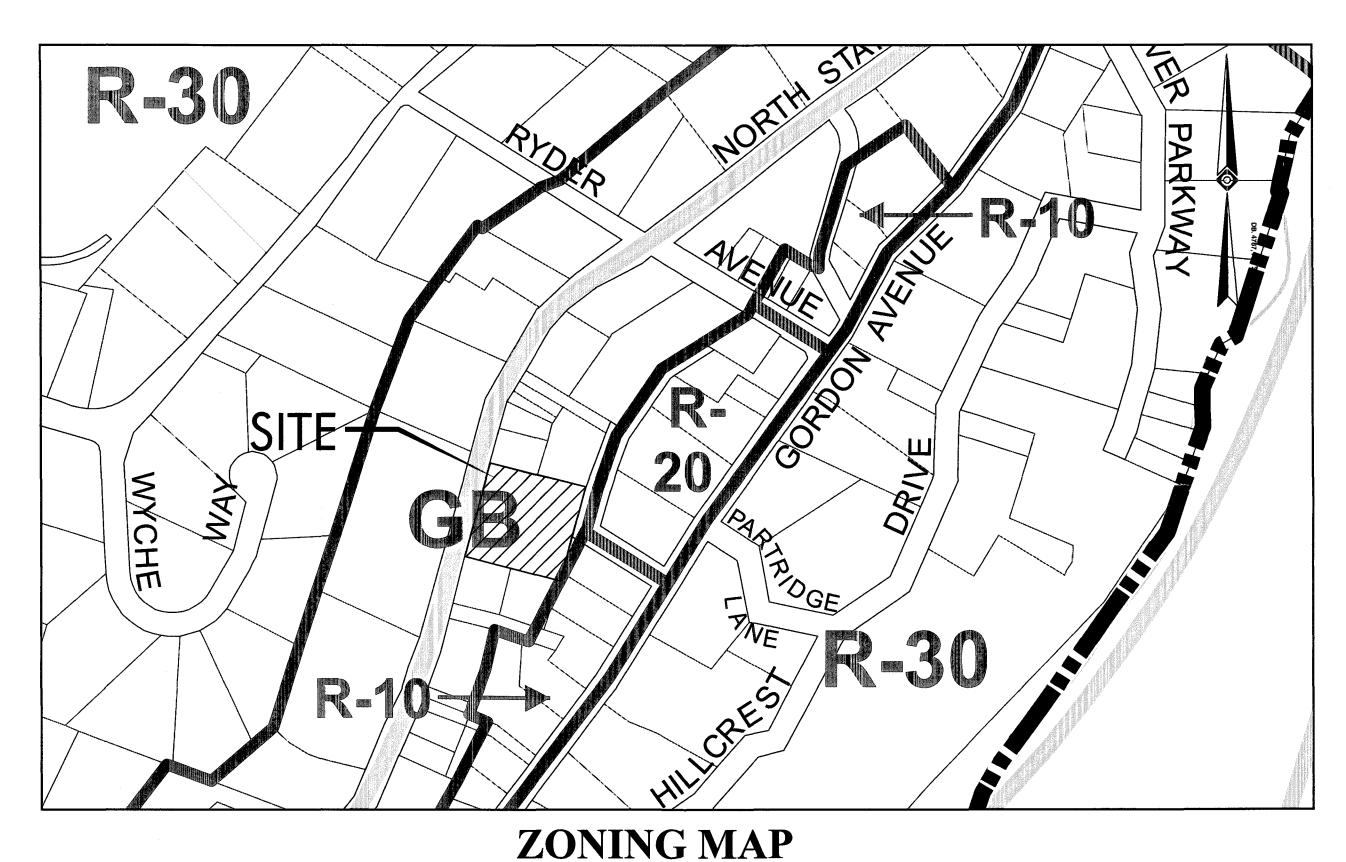
AERIAL MAP SCALE: 1"=100'

		ZONING SC	HEDULE			
ZONE - GB - GENERAL BUSINESS						
Bulk Regulation		Requirement	Existing		Proposed	
	Units					
Principal Permitted Uses		See Note 2	STORAGE YARD FOR CONSTRUCTION EQUIPMENT	С	CHILDCARE FACILITY	С
Lot Area	S.F.	20,000	43,264	С	43,264	С
Lot Width	Feet	100	208	С	208	С
Lot Depth	Feet	130	208	C	208	С
Front Yard	Feet	30	29.2	С	30.0	С
Side Yard	Feet	-	54.9	С	12.2	С
Rear Yard along any Residence District Boundary	Feet	30	110.7	С	39.7	С
Rear Yard Landscape Buffer To Residence District	Feet	20	0.0	ENC	20.0	С
Max. Building Height	Stories	2	1	С	1	С
Max. Building Height	Feet	35	< 35	С	23	С
Aggregate Floor Area on any Lot	S.F.	-	3,706	С	10,000	С
Building Coverage	%	30	8.6	С	23.1	С
Abbreviations						
C Conforms						
ENC Existing Non Conformance						
V Variance Required						
Notes:			<del></del>			

PARKING PROVIDED: 35 spaces inclusive of 2 ADA accessible spaces
PER CODE SECTION 200-29: Reasonable and appropriate off-street parking
requirements for structures and uses which do not fall within the categories listed
shall be determined by the Planning Board upon consideration of all factors
entering into the parking needs of each such use.

Code based on Town of Ossining (Westchester, NY), Zoning Ordinance, 200-23, Amended 06-14-94.

As per Township Code, Ordinance 200-18 A. (10) permitted uses are child-care and elder-care facilities.



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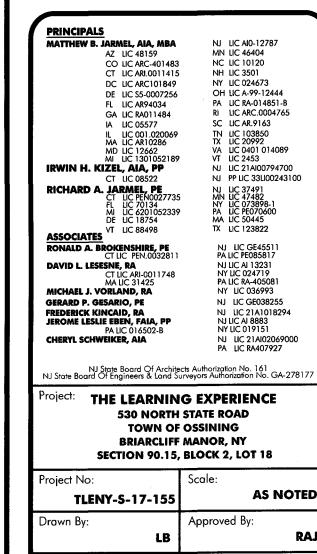
SCALE: 1"=200'

PROJECT CO	ONTACTS	PRELIMINARY/FINAL SITE PLAN OF:	
APPLICANT: BRIARCLIFF MANOR PARTNERS, LLC c\o JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039	ENGINEER: RICHARD A. JARMEL, PE JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039	"THE LEARNING EXPERIENCE"  SECTION 90.15, BLOCK 2, LOT 18  I HAVE REVIEWED THIS SITE PLAN AND CERTIFY  ALL CODES AND ORDINANCES UNDER MY JUR	
OWNER:  NSRR REALTY, LLC  c/o BOBCAT OF NEW YORK, INC.  58-64A MAURICE AVENUE  MASPETH, NEW YORK 11378	ARCHITECT: MATTHEW B. JARMEL, AIA  JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.	(MUNICIPAL ENGINEER)  APPROVED BY THE PLANNING BOARD	(DA
<u>ATTORNEY:</u> ADAM L. WEKSTEIN, ESQ HOCHERMAN TORTORELLA &	42 OKNER PARKWAY LIVINGSTON, NJ 07039	(CHAIRMAN)	(D <i>A</i>
WEKSTEIN, LLP ONE NORTH BROADWAY, SUITE 701 WHITE PLAINS, N.Y. 10601		(SECRETARY)	(DA

		DRAWING INDEX		
SHEET NO.	DRAWING NO.	DRAWING NAME	DATE	LAST REV. DATE
1	C-001	COVER SHEET	4-27-18	8-20-18
2	C-100	EXISTING CONDITIONS PLAN	4-27-18	
3	C-200	DEMOLITION PLAN	4-27-18	8-20-18
4	C-300	SITE AND UTILITIES PLAN	4-27-18	8-20-18
5	C-400	GRADING AND DRAINAGE PLAN	4-27-18	8-20-18
6	C-600	LANDSCAPING PLAN	4-27-18	8-20-18
7	C-650	LIGHTING PLAN AND DETAILS	4-27-18	8-20-18
8	C-700	SOIL EROSION AND SEDIMENT CONTROL PLAN	4-27-18	8-20-18
9	C-900	DETAIL SHEET	4-27-18	8-20-18
10	C-901	DETAIL SHEET	4-27-18	
11	C-902	DETAIL SHEET	4-27-18	

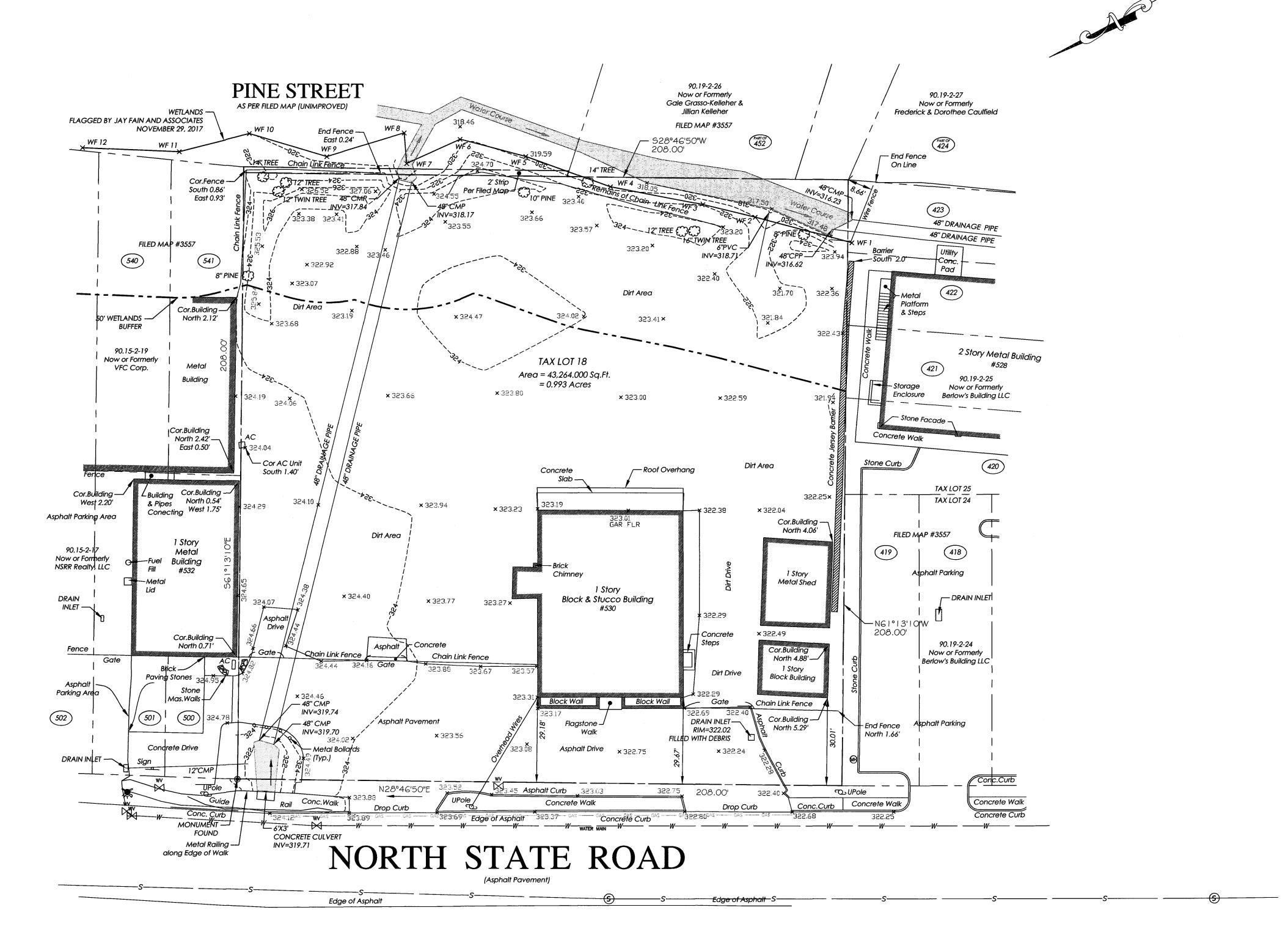


	ISSUE	
DATE	DESCRIPTION	INT.
5.23.18	INITIAL SUBMISSION	GPG
6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
8.20.18	PLANNING BOARD SUBMISSION	GPG
DATE	REVISION	INIT
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	5.23.18 6.28.18 8.20.18	DATE DESCRIPTION  5.23.18 INITIAL SUBMISSION  6.28.18 REVISED PLAY AREA 20' BUFFER  8.20.18 PLANNING BOARD SUBMISSION  REVISION  DATE DESCRIPTION



COVER SHEET

BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.





LIVINGSTON, NEW JERSEY 07039 TEL: 973-994-9669 FAX: 973-994-4069 www.jarmelkizel.com

Architecture Engineering Interior Design Implementation Services

		ISSUE	
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١.	5.23.18	initial submission	GPG
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3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
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		REVISION	
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PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA	
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CO LIC ARC-401483	
CT LIC ARI.0011415	
DC LIC ARC101849	
DE LIC \$5-0007256	OH LIC A-99-12444
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IL LIC 001.020069 MA LIC AR10286	TN LIC 103850 TX LIC 20992
MD LIC 12662	VA LIC 0401 014089
MI LIC 1301052189	VT LIC 2453
IRWIN H. KIZEL, AIA, PP	NJ LIC 21Al00794700
CT LIC 08522	NJ PP LIC 33LI00243100
RICHARD A. JARMEL, PE CT LIC PEN0027735 FL LIC 70134	NJ LIC 37491 MN LIC 47482
CT LIC PEN0027735 FL LIC 70134	MN LIC 4/482
MI LIC 6201052339	NY LIC 073898-1 PA LIC PE070600
FL LIC 70134 MI LIC 6201052339 DE LIC 18754	MA LIC 50445
ASSOCIATES VT LIC 88498	TX LIC 123822
	NJ LIC GE45511
RONALD A. BROKENSHIRE, PE CT LIC PEN.0032811	PA LIC PE085817
DAVID I LECECHE DA	NJ LIC AI 13231
CT LIC ARI-0011748	NY LIC 024719
CT LIC ARI-0011748 MA LIC 31425 MICHAEL J. VORLAND, RA	PA LIC RA-405081 NY LIC 036993
MICHAEL J. YOKLAND, KA	NI LIC 038993 NJ LIC GE038255
GERARD P. GESARIO, PE	NJ LIC 21A1018294
FREDERICK KINCAID, RA JEROME LESLIE EBEN, FAIA, PP	NU LIC ZTATUT6294 NITTC AL8883
PA UC 016502-B	NY LIC 019151
CHERYL SCHWEIKER, AIA	NJ LIC 21AI02069000
-	PA LIC RA407927
NII State Board Of A-stitus at A.	the circuiton No. 161
NJ State Board Of Architects Au NJ State Board Of Engineers & Land Surveyo	rs Authorization No. GA-278

Project: THE LEARNING EXPERIENCE 530 NORTH STATE ROAD TOWN OF OSSINING BRIARCLIFF MANOR, NY SECTION 90.15, BLOCK 2, LOT 18

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ject No: TLENY-S-17	-155	ocuio.	1" = 20'
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·	LB		RAJ
wing Name:			

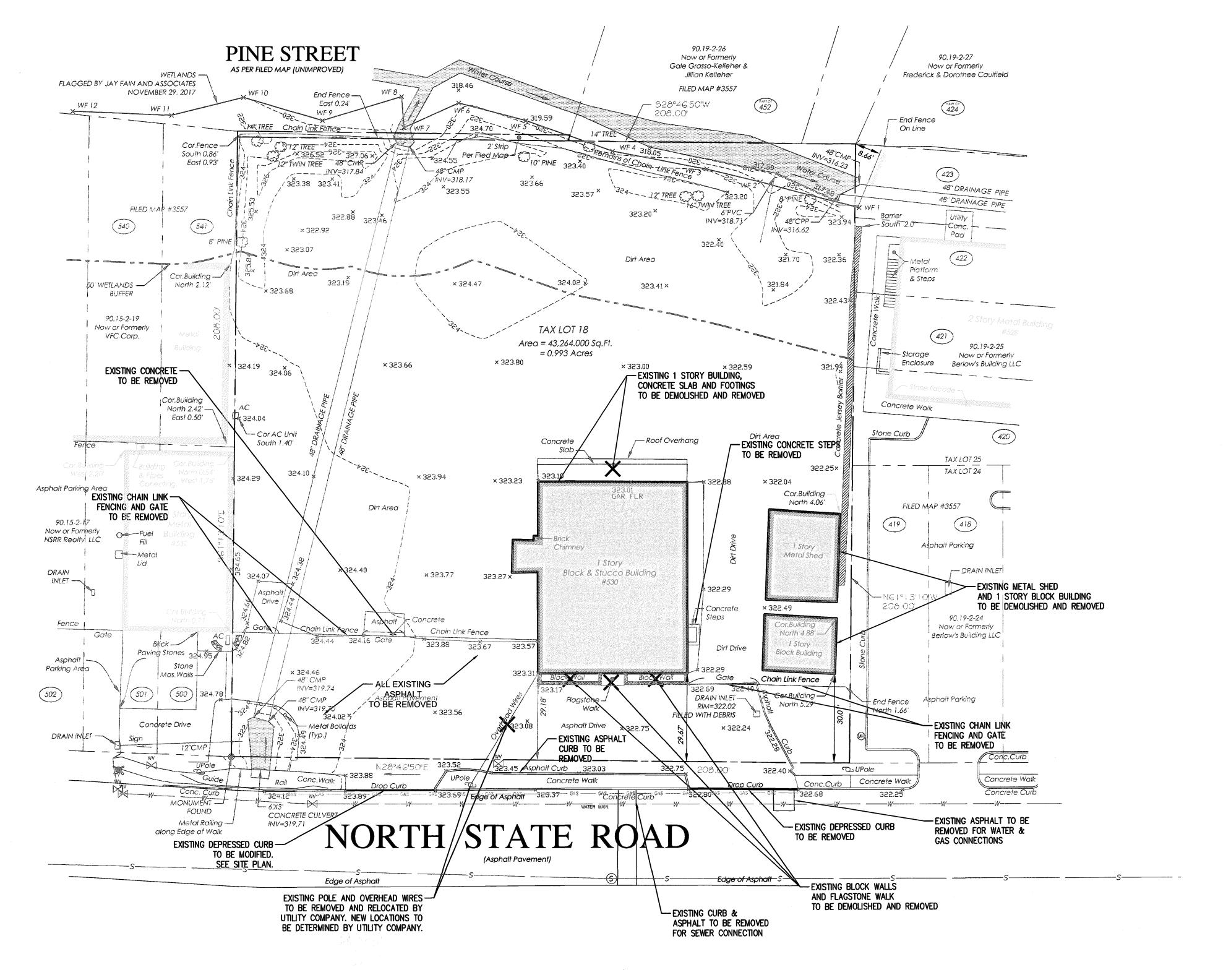
EXISTING CONDITIONS PLAN

Drawing Number:

#### **DEMOLITION NOTES:**

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- 2. CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY ON DRAWINGS.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC, SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY DISCONNECTS OF THE EXISTING UTILITY AND RECONNECTION SHALL BE INCLUDED.
- 5. IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AS REQUIRED PRIOR TO DEMOLITION.
- 6. CONTRACTOR IS DESIGNATED TO MAKE REMOVALS AND DISPOSAL OF THE MATERIALS IS HIS RESPONSIBILITY.
- 7. CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- 8. CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- 9. THE CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON—SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- 10. THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- 11. ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR.
  ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS
  EXPENSE
- 12. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRAFFIC CONTROL DEVICES REQUIRED BY THE MUNICIPALITY AND LOCAL AGENCIES.
- 13. PULVERIZED CONCRETE OR MASONRY SHALL NOT BE USED AS BACKFILL MATERIAL.
- 14. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- 15. CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC FROM THE CONSTRUCTION SITE ONTO OTHER SITES, ROW, PUBLIC OR PRIVATE STREET.
- 16. CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE DEMOLITION AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 18. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- 19. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, CURBING, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- 20. CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).







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State Board Of Engineers & Land Surveyors Authorization No. GA-2

PIECT: THE LEARNING EXPERIENCE

530 NORTH STATE ROAD

TOWN OF OSSINING

BRIARCLIFF MANOR, NY

SECTION 90.15, BLOCK 2, LOT 18

**DEMOLITION PLAN** 

rawing Name:

rawing Number:

C-200

heet No: of:

3 11

RICHARD A. JARMEL PROFESSIONAL ENGINEER

S:\PROJECTS\TLENY-S-17-155 TLE OSSINING NY\CAD\17-155 C-200 DEMOLITION.DWG GGESARIO PLOTTED:

- 2. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DOOR LOCATIONS.
- 3. ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
- 4. CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
- THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- 7. THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- 8. THE CONTRACTOR IS RESPONSIBLE TO CONTACT NEW YORK ONE CALL NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW YORK ONE CALL INFORMATION PHONE: 811, WEB: WWW DICSAFFLYNEWYORK COM
- 9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFFTY
- 10. THE MUNICIPAL ENGINEER MUST BE NOTIFIED ONE WEEK PRIOR TO THE CONSTRUCTION OF ANY CURBING, SIDEWALKS, PAVEMENT GRADING, OR OTHER UTILITIES.
- 11. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN
- 12. CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- 13. ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NY BARRIER FREE CODE REQUIREMENTS.
- 14. SUBJECT TO ALL APPLICABLE RULES, REGULATIONS, ORDINANCES AND STATUTES OF THE TOWN OF OSSINING, WESTCHESTER COUNTY AND STATE OF NEW YORK AND ANY OTHER JURISDICTION.
- 15. NO DEED RESTRICTIONS OR COVENANTS EXIST ON SITE NOR ARE ANY PROPOSED.
- 16. CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).
- 17. ALL WORK WITHIN THE TOWNSHIP ROAD RIGHT OF WAY SHALL BE ACCORDING TO TOWN OF OSSINING STANDARDS.

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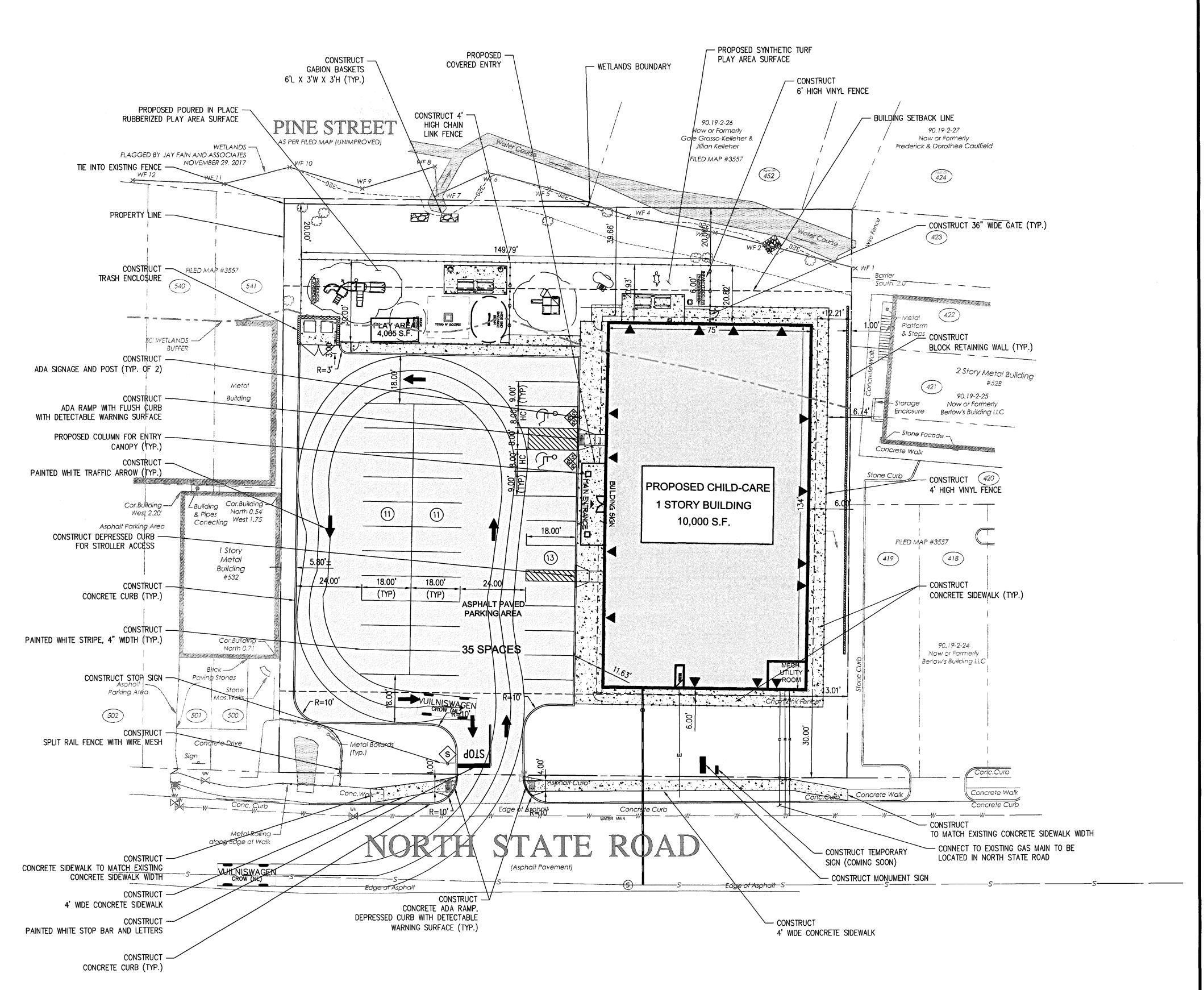
SIGN NOTES:

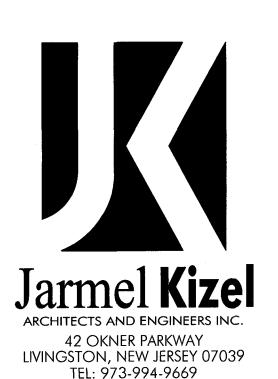
ALL SIGNS SHALL CONFORM TO THE MANUAL ON TRAFFIC CONTROL

- 2. SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR
- REFER TO MOUNTING DETAILS FOR HEIGHTS. ALL SIGNS SHALL BE MEASURED FROM PAVEMENT OR GROUND TO BOTTOM OF SIGN.

DISPLACEMENT BY VANDALISM.







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REVISION

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TOJECT: THE LEARNING EXPERIENCE
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY

SECTION 90.15, BLOCK 2, LOT 18

Project No:

TLENY-S-17-155

Drawn By:

LB

Approved By:

RAJ

SITE AND UTILITIES PLAN

C-300
eet No: of:
4 11

Drawing Name:

RICHARD A JARM
PROFESSIONAL
EMGINEER

#### GRADING AND DRAINAGE PLAN NOTES

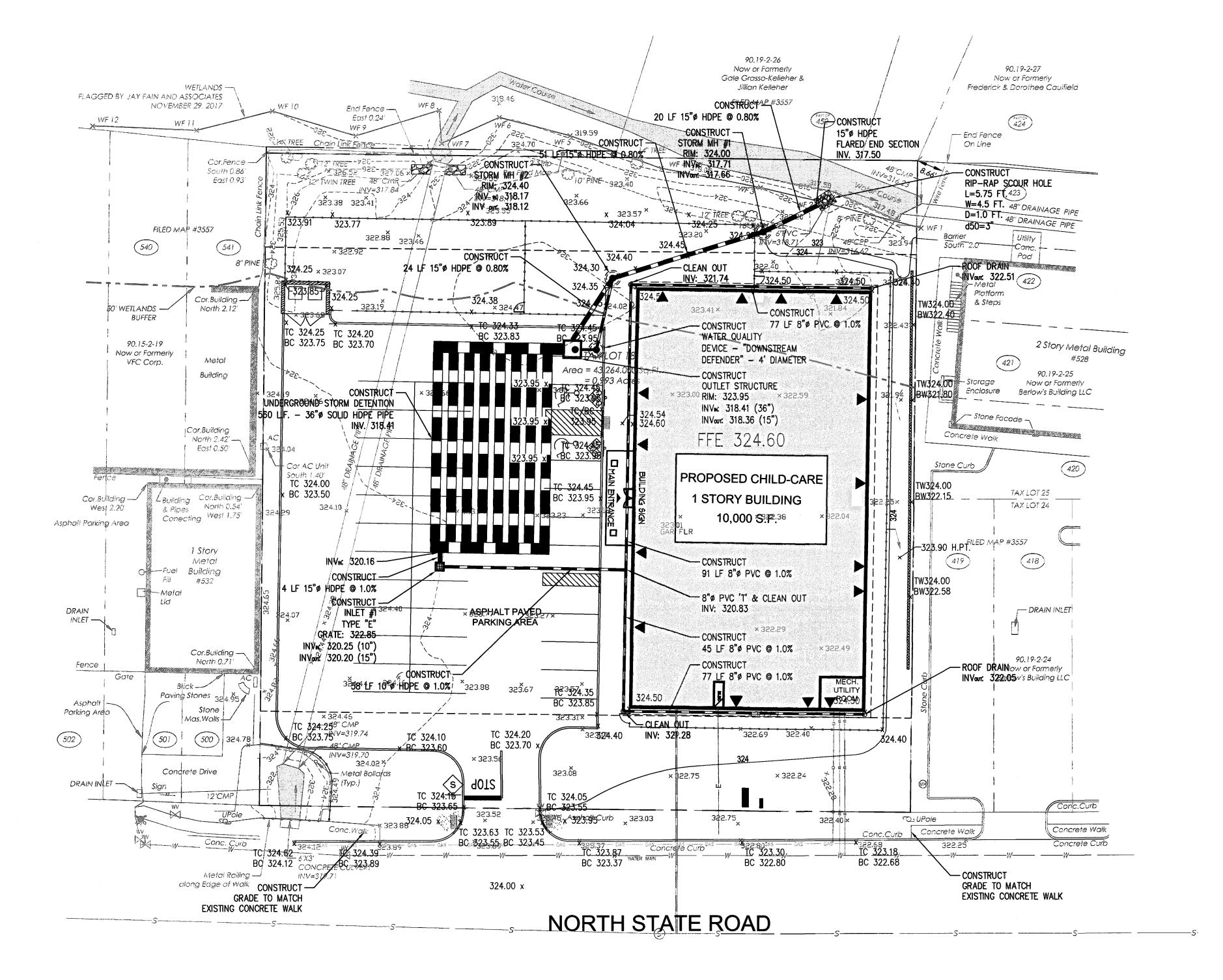
- 1. BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.
- 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON SURVEY AND, WHERE POSSIBLE MEASUREMENTS SHOULD BE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- 4. EXCAVATED MATERIAL CONTAINING ROCK OR STONE GREATER THAN SIX (6) INCHES IN LARGEST DIMENSION IS UNACCEPTABLE AS FILL TO WITHIN THE PROPOSED BUILDING AND PAVING AREA.
- 5. ROCK OR STONE LESS THAN SIX (6) INCHES IN LARGEST DIMENSION IS ACCEPTABLE AS FILL TO WITHIN TWENTY—FOUR (24) INCHES OF SURFACE OF PROPOSED SURGED WHEN MIXED WITH SUITABLE MATERIAL AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- 6. ROCK OR STONE LESS THAN TWO (2) INCHES IN LARGEST DIMENSION AND MIXED WITH SUITABLE MATERIAL IS ACCEPTABLE AS FILL WITHIN THE UPPER TWENTY—FOUR (24) INCH OF PROPOSED SUBGRADE AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- 7. ALL SITEWORK AND EARTHWORK OPERATIONS CONDUCTED ON THE SITE TO BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- 8. COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE:

FILL AREA	STANDARD PROCTOR DRY DENSITY
SIDEWALKS	95%
PAVEMENTS AND ROADWAYS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING ARE

- 9. PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING TRUCKS AND DUMP TRUCKS.
- 10. REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS—SECTION.
- 11. GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS OR CONTOURS ARE INDICATED ON DRAWINGS, OTHER THAN PAVED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISH DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
- 12. ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE 4000 PSI.
- 13. REPRESENTATIVES OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT THE DRAINAGE FACILITIES LOCATED ON THE PROPOSED LOT FROM TIME TO TIME AS DEEMED NECESSARY.
- 14. CATCH BASINS SHALL BE CLEANED OUT PERIODICALLY TO PREVENT THE BUILDUP OF SEDIMENT AND DEBRIS IN STRUCTURES.
- 15. ROOF LEADER CLEANOUTS LOCATED IN GRASSED AREAS SHALL BE PLASTIC SCREW CAPS WHILE ROOF LEADER CLEANOUTS LOCATED WITHIN CONCRETE AREAS SHALL BE FLUSH BRASS CAPS.

	<u>EXISTING</u>	<u>PROPOSED</u>
STORM SEWER	N/A	
PROPERTY LINE -		
MANHOLE	N/A	
CATCH BASIN	N/A	
SPOT ELEVATION	70: 100,57' BC: 100,42'x	99.30
CONTOUR -	comment landerate complete com	99







42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

		ISSUE	
NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	initial submission	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG

NO. DATE DESCRIPTION INT.

1 8.20.18 PER 6/20/18 REVIEW LETTERS LB

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA	NJ LIC AI0-12787
AZ LIC 48159	MN LIC 46404
CO LIC ARC-401483	NC UC 10120
CT LIC ARI.0011415	NH LIC 3501
DC LIC ARC101849	NY LIC 024673
DE LIC \$5-0007256	OH UC A-99-12444
FL LIC AR94034	PA LIC RA-014851-B
GA LIC RA011484	RI LIC ARC.0004765
IA LIC 05577	SC LIC AR.9163
IL LIC 001.020069	TN LIC 103850
MA LIC AR10286	TX LIC 20992 VA LIC 0401 014089
MD LIC 12662 MI LIC 1301052189	VA LIC 0401 014089 VT LIC 2453
IRWIN H. KIZEL, AIA, PP	NJ LIC 21AI00794700
CT UC 08522	NJ PP LIC 33LI00243100
RICHARD A. JARMEL, PE	NJ LIC 37491
CT LIC PEN0027735 FL LIC 70134	MN LIC 47482 NY LIC 073898-1
FL LIC 70134 MI LIC 6201052339	NY LIC 073898-1 PA LIC PE070600
DE LIC 18754	MA LIC 50445
VT LIC 88498	TX LIC 123822
ASSOCIATES	
RONALD A. BROKENSHIRE, PE	NJ LIC GE45511
CT LIC PEN.0032811	PA LIC PE085817
DAVID L. LESESNE, RA	NJ LIC AI 13231 NY LIC 024719
CT LÍC ARI-001 1748 MA LIC 31425	PA LIC RA-405081
MICHAEL J. VORLAND, RA	NY LIC 036993
GERARD P. GESARIO, PE	NJ UC GE038255
FREDERICK KINCAID, RA	NJ LIC 21A1018294
JEROME LESLIE EBEN, FAIA, PP	NJ LIC AI 8883
DA LIC 014500 B	NY LIC 010151

NJ State Board Of Architects Authorization No. 161
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278177

TO ject: THE LEARNING EXPERIENCE
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

NJ LIC 21Al02069000 PA LIC RA407927

Project No:

TLENY-S-17-155

Drawn By:

AS NGTED

Approved By:

LB

RAJ

GRADING AND DRAINAGE PLAN

C-400
Sheet No: of:
5 11
nitial Date:

**APRIL 27, 2018** 

Drawing Name:

RICHARD A JARMEL PROFESSIONAL ENGINEER N.Y. N.C. #073898

## **PLANT NOTES**

- 1. VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO ANY PLANTING PIT EXCAVATION. CONTACT CALL BEFORE YOU DIG 72-HOURS PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS.COORDINATE BUILDER REGARDING UNDERGROUND SYSTEMS.
- 2. NOTIFY THE LANDSCAPE ARCHITECT AT LEAST FIVE (5) DAYS IN ADVANCE OF PLANT MATERIAL DELIVERY TO THE SITE.
- 3. LAYOUT ALL PLANT MATERIAL WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION. SET UP OF ALL MATERIAL IN BEDS REQUIRED FOR OWNERS AND LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING.SEE PLAN FOR BED AND PLANT LAYOUT.
- 4. IF ANY DISCREPANCY OCCURS BETWEEN THE QUANTITIES CALLED FOR IN THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BID.
- 5. ALL PLANT MATERIAL IS TO CONFORM TO THE REQUIREMENTS OF THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EXTRA HEAVY GRADE UNLESS OTHERWISE SPECIFIED, TRUE TO NAME AND SIZE. INVESTIGATE SOURCES OF SUPPLY AND BE CERTAIN IT WILL BE POSSIBLE TO PROVIDE ALL PLANT MATERIALS SPECIFIED IN THE QUALITY AND QUANTITY REQUIRED PRIOR TO BIDDING.
- 6. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD, DYING NOT TRUE TO NAME OF SIZE AS SPECIFIED OR NOT IN SATISFACTORY GROWTH, OR HAVING BRANCHED OR DEFORMED STRUCTURE DUE TO LOSS OF LIMBS OR BRANCHED AS DETERMINED BY THE LANDSCAPE ARCHITECT, THAT PLANT MUST BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH AN APPROVED PLANT OF EQUAL SIZE AND SPECIES. PLANT VARIETY AND SIZE SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS PROVED THAT THE SPECIFIED PLANT MATERIAL IS UNATTAINABLE OR CANNOT MEET SPECIFICATION REQUIREMENTS, THEN THE USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WILL BE CONSIDERED. PLANT MATERIAL LARGER THAN SPECIFIED MAY BE USED AT NO INCREASE IN COST. PROPOSED SUBSTITUTIONS MUST RECEIVE THE LANDSCAPE ARCHITECTS AUTHORIZATION PRIOR TO BID.
- 7. STAKE TREES ONLY AS NECESSARY TO INSURE STABILITY.
- 8. ALL STOCKPILED MATERIALS ARE TO BE STORED IN AN AREA WITH GOOD SURFACE DRAINAGE, SOIL BALLS ARE TO BE COVERED WITH MULCH AND PLANTS ARE TO BE WATERED FREQUENTLY TO KEEP SOILS BALLS MOIST.
- 9. ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- 10. RESTORE ALL DISTURBED OR DAMAGED AREAS RESULTING FROM PLANTING OPERATIONS TO ORIGINAL CONDITIONS.
- 11. PROVIDE 4" SCREENED TOPSOIL IN ALL AREAS NOT TO BE PAVED AS NEEDED, USE OWNERS STOCKPILE/ EXISTING SOIL AS PRACTICAL. MULCH BED AREAS WITH 2" OF SHREDDED PINE BARK. PROVIDE SAMPLE OF MULCH FOR OWNER'S APPROVAL. PROVIDE PER YARD PLACE & SPREAD TOPSOIL PRICE
- 12. SEE PLAN FOR LAWN LIMIT AND BED LAYOUT CUT BEDS AFTER APPROVAL FROM OWNER AND LANDSCAPE ARCHITECT. SEED OR SOD PER OCNTRACT LAWN AREAS AND MULCH NEW SEED WITH CHOPPED STRAW OR SALT HAY. PROVIDE STARTER FERTILIZER IN SEED MIX. SEED MIX, OR APPROVED EQUAL, AS FOLLOWS:
  - a. BLEND OF 3 TALL FESCUES FOR WATER AND FERTILIZER NEEDS REDUCTION. i.e. 'DEFIANCE XRE FESCUE GRASS SEED BLEND' CONTAINING SPEEDWAY, BLACKWATCH AND SR-8650 TALL FESCUES THAT ARE TURF FORMING AND SELF HEALING

## **PLANT LIST- forBuffer** (Native and deer resistant)

Quan.	Sym.	. Botanical/ Common Name Size/ Root Remark				
TREE	S					
5	CF	Cornus florida / Flowering Dogwood 1.75-2" Cal/ BB buffer				
12	TGG	Thuja p. 'Green Giant'	6-7' ht/ BB	Screen		
SHRU	BS -					
11	CA	Clethra alnifolia/ Sweet Pepperbush	#3/Cont.	buffer		
5	IV	Itea virginana /Sweetspire	#3/ Cont.	buffer		
10	MP	Myrica pensylvanica/ Bayberry	#3 /Cont.	buffer		
2	SD	Salix discolor/ Pussywillow	5-6' ht clump	buffer		
FORBS	S					
7	At	Amsonia taberna/ Bluestar	2 gal	buffer		
7	Ai	Ascelpias incarnata / Swamp milkweed	1 gal.	buffer		
20	Apd	Aster n. 'Purple Dome'	1 gal	Buffer front		
20	Ep	Echinacea purpurea/ Coneflower	1 gal	Buffer		
20	Ha	Heuchera americana / Coral bells	1 gal	Buffer front		
20	Rf	Rudebeckia f. 'Goldsturm'/ Blackeyed	1 gal	buffer		
		Susan				
GRAS						
7	C1	Chasmanthium latifolium/ N. Sea Oats	1 gal	bank		
22	Pv	Panicum virgatum 'Northwind'	2 gal	buffer		
		/Switchgrass				
20	Sh	Sporobolus heterolepsis/Praire Dropseed	1 gal	Buffer front		
Note:	2 nest b	oxes proposed on cedar posts				

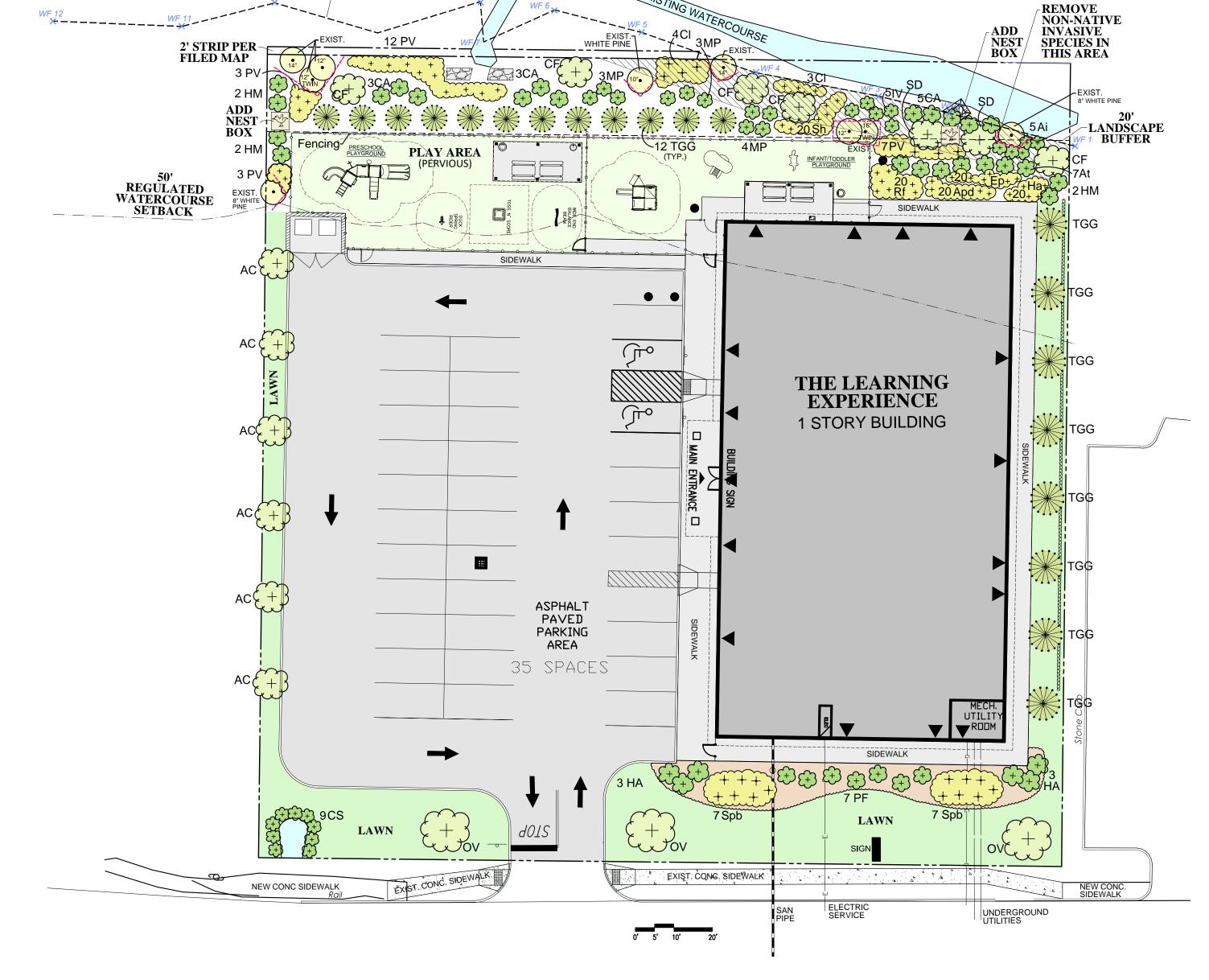
## PLANT LIST for Non Buffer areas (Native and deer resistant)

Quan.	Sym.	Botanical/ Common Name Size/ Root Remark			
TREE	S			•	
6	AC	Amelanchier c. x. 'Autumn Brilliance' /	2-2.5"cal./ BB	side	
		Shadblow			
3	OV	Ostrya virginiana / American	2-2.5" cal./BB	Trees in front-	
		Hophornbeam		matching	
8	TP	Thuja p. 'Green Giant'	6-7' ht/ BB	Screen at side	
SHRU	BS -			·	
9	CS	Cornus sericea / Redtwig Dogwood	#3 Cont.	front	
7	PF	Potentilla fruticosa ' Goldfinger'	#5 Cont.	Front	
6	HA	Hydrangea arborescens 'Incrediball'	#5 cont.	Front	
FORBS	S & GR	ASSES			
6	Hm	Hibiscus moscheutos /Rose Mallow	2 gal.	Sides	
14	Ss	Schizachyrium scoparium / Little	2 gal	front	
		Bluestem 'The Blues'			

## **GENERAL NOTES**

- WETLANDS BOUNDARY

- 1. LANDSCAPE AND WETLAND MITIGATION PLAN FOR PLANTING ONLY.
- 2. FOR ALL OTHER SITE PLAN INFORMATION, REFER TO DRAWING SET DATED APRIL 27, 2018, PROVIDED BY JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC., TITLED PRELIMINARY/FINAL SITE PLAN THE LEARNING EXPERIENCE, SHEETS 1-11.
- 3. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- 4. EXISTING TREES TO REMAIN, TO BE PROTECTED

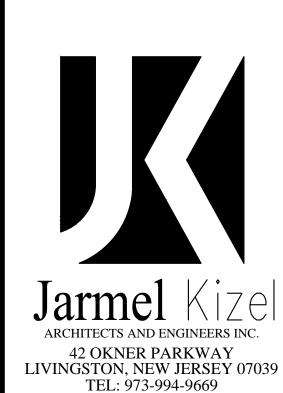




LANDSCAPE AND	
WETLAND MITIGATION I	PLAN
530 NORTH STATE ROAD BRIARCLIFF MANOR, NY	Date: <b>08-17-18</b>
JAY FAIN & ASSOCIATE S,LLC  Environmental Consulting Services  134 Round Hill Road Fairfield, CT 06824 203-254-3156 - fax: 203-254-3167	Sheet No.:

FOR PERMITTING ONLY NOT FOR CONSTRUCTION





Architecture Engineering Interior Design Implementation Services

FAX: 973-994-4069

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		ISSUE	
NO.	DATE	DESCRIPTION	INT
3	08/20	PLANNING BOARD SUBMISSION	
		REVISION	
NO.	DATE	DESCRIPTION	INT
1	08/20	PER 06/20/18 REVIEW LETTERS	

PRINCIPALS  MATTHEW B. JARMEL, AIA, MBA  AZ LIC 48159  CO LIC ARC-401483  CT LIC ARI.0011415  DC LIC ARC101849  DE LIC S5-0007256  FL LIC AR94034  GA LIC RA011484  IA LIC 05577  IL LIC 001.020069  MA LIC AR10286  MD LIC 12662  MI LIC 1301052189  IRWIN H. KIZEL, AIA, PP  CT LIC 08522  RICHARD A. JARMEL, PE  CT LIC PEN0027735  FL LIC 70134  MI LIC 6201052339  DE LIC 18754  ASSOCIATES  RONALD A. BROKENSHIRE, PE  CT LIC PEN.0032811  DAVID L. LESESNE, RA  CT LIC ARI-0011748  MA LIC 31425  MICHAEL J. VORLAND, RA  GERARD P. GESARIO, PE  FREDERICK KINCAID, RA  JEROME LESLIE EBEN, FAIA, PP	NJ LIC AIO-12787 MN LIC 46404 NC LIC 10120 NH LIC 3501 NY LIC 024673 OH LIC A-99-12444 PA LIC RA-014851-B RI LIC ARC.0004765 SC LIC AR.9163 TN LIC 103850 TX LIC 20992 VA LIC 0401 014089 VT LIC 2453 NJ LIC 21AI00794700 NJ PP LIC 33LI00243100 NJ PP LIC 33LI00243100 NJ LIC 37491 MN LIC 47482 NJ LIC 073898-1 PA LIC PE070600 MA LIC 50445 TX LIC 123822 NJ LIC GE45511 PA LIC PE085817 NJ LIC GE45511 PA LIC PE085817 NJ LIC GE45511 PA LIC RE085817 NJ LIC GE45511 PA LIC GE45511
JEROME LESLIE EBEN, FAIA, PP PA LIC 016502—B CHERYL SCHWEIKER, AIA  NJ State Board Of Architects Auth J State Board Of Engineers & Land Surveyors	NY LIC 019151 NJ LIC 21AI02069000 PA LIC RA407927
roject: THE LEARNING EX 530 NORTH STA	,
TOWN OF OSS	
BRIARCLIFF MA	NOR, NY
SECTION 90.15, BLO	CK 2, LOT 18

LANDSCAPE AND **WETLAND MITIGATION PLAN** 

PROFESSIONAL ENGINEER MAY 22, 2018

**Applications:** 

Off ramps Residential streets

pa a E Effective Projected Area (EPA): The EPA for the ATB0 is 0.76 sq. ft. Approx. Wt. = 14 lbs.

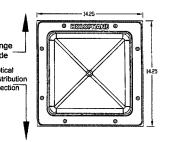
Note: Specifications subject to change without notice. Actual performance may differ as a result of and-user environment and application.

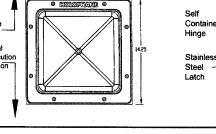
**HOLOPHANE®** 

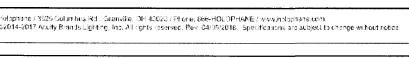
Parkpak<sup>®</sup> LED

-20°C / -4°F to 30°C / 86°F for P10 thru P40 ANSI/IEEE C62.41.2 and shall offer a 10kV/5kA SPD

**DIMENSIONAL DATA** 







Same Light: Performance is comparable to 70-200W HPS roadway luminaires. White Light: Correlated color temperature - 4000K, 70 CRI minimum, 3000K, 70 CRI minimum or optional 5000K, 70 CRI minimum. Unique IP66 rated LED light engines provided 0% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.

Expected Life: LED light engines are rated >100,000 hours at 25°C, L70. Electronic driver has an expected life of 100,000 hours at a 25°C ambient. Lower Energy: Saves an expected of 40-60% over comparable HID luminaires. Robust Surge Protection: Three different surge protection options provide a minimum of IEEE/ANSI C62.41 Category C (10kV/5kA) protection. 20kV/10kA protection is also available. MECHANICAL

Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easily leveling at installation. Rugged die-cast aluminum housing and door are polyester powder-coated

and painting process yields a finish that achieves a scribe creepage rating of 8 (per ASTM D1654) after over 1000 hours exposure to salt fog chamber (operated per ASTM B117). Optional Enhanced Corrosion Resistant finish (CR) increases the salt spray exposure over 5000 hours. Mast arm mount is adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" 0.D.) diameter. Provides a 3G vibration rating per ANSI C136.31 Wildlife shield is cast into the housing (not a separate piece).

for durability and corrosion resistance. Rigorous five-stage pre-treating

NEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 5 pin and 7 pin receptacles optionally available. Premium solid state locking style photocontrol - PCSS (10 year rated life) Extreme long life solid state locking style photocontrol - PCLL (20 year rated

Multi-level dimming available to provide scheduled dimming as specified by Optional onboard Adjustable Output module allows the light output and input wattage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www designlights.org/QPL to confirm which versions are qualified. Rated for -40°C to 40°C ambient CSA Certified to U.S. and Canadian standards

Complies with ANSI: C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

© 2014-2016 Acuity Brands Lighting, Inc. 08/01/16

that is secured to a 4 inch square electrical box

Available in: 120-277V 50/60 Hz and 347-480V

50/60 Hz Standard LEDs shall have a minimum of 70 CRI

available in 3000K, 4000K and 5000K CCT

connect of power and options

Certified drivers, UL or CSA

American Electric Lighting

#### FEATURES & SPECIFICATIONS

- Mechanical Specifications

   Heavy grade A380 cast aluminum or equivalent
- coupled with a rigorous 5-stage pretreatment, epoxy basecoat and polyester topcoat yield a finish that achieves a scribe creepage rating of 8 after include:
  Type V: E (entry), M (medium), R (rectangle) & 5,000 hours of sait spray. Optic Material Options

  Borosilicate glass lens (GL)
- IP66 rating
  ¾" threaded plug (¾" 14 NPT) on each side, • Field adjustable output accepts ¾" and ½" conduit.

  Vibe rating for surface mount: 3G

  Vibe rating for pendant mount: 3G at 1.5 feet, Button style photocontrol
   XPoint<sup>TM</sup> Wireless control Motion Sensor / Ambient Photocontrol with Pendant mount: ¾" - 14 NPT in center of housing
   Bird shroud
- Electrical Specifications
   Electrical harness for quick and safe disconnect / Title 24 compliance options available Certification and Standards

  Luminaire shall be CSA listed, US and Canada Suitable for operation in an ambient temperature up to 40°C / 104°F for standard Rated for -40°C / -40°F minimum ambient Programmable electronic driver with 0-10V control

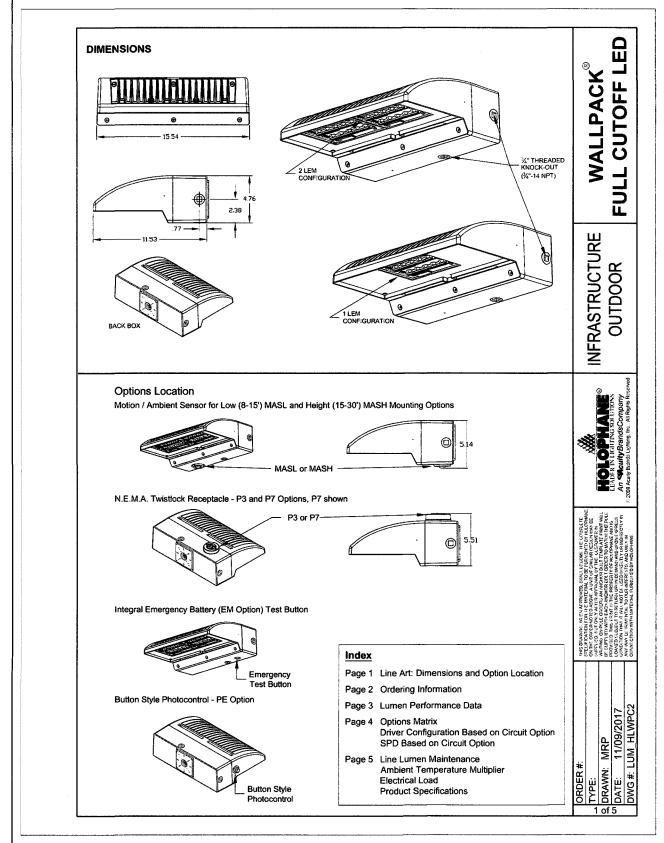
Polycarbonate lens (PY)

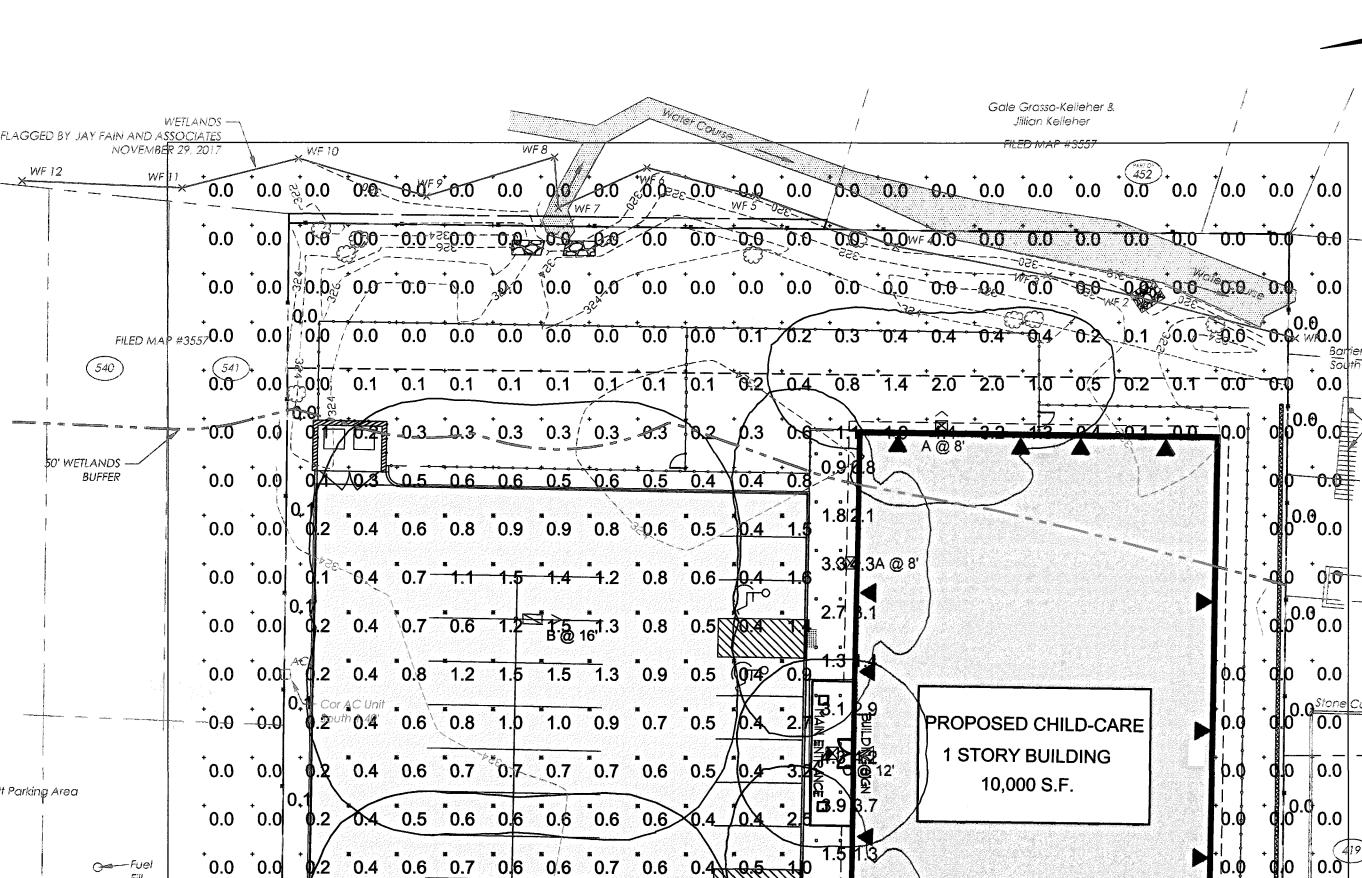
DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at

nounting options ranging from (8-15') and

- Optional LEDs shall have a minimum of 80 CRI available in 3000K, 4000K and 5000K CCT (8 week www.designlights.org/QPL to confirm which versions are qualified. LM-79 compliant
   The projected LED Lumen Maintenance shall Internal mounted emergency battery backup for
  - be based only on IES LM-80-08 and TM-21 Warranty - 5 Years Limited Complete warranty terms located at: www.acuitybrands.com/CustomerResources/ Terms\_and\_conditions.aspx

\_ Motion & Ambient Sensor or XPoint





Asphalt Parking Area FILED MAP #3557 (418) Metal 0.4 0.6 <u>0.8 0|9 0.9</u> 0.8 0.6 0.5 \ 0.4 **D.**2 0.5 0.8 1.1 1/4/1.4 1.1 0.8 0.5 \ 0.4 0.0 90.19-2-24 Berlow's Building LLC Paving Stones 0.0 0.0 0.2 0.5 0.8 1.2 1.5 1.6 1.2 0.8 0.5 \ 0.4 0.8 Asphalt Parking Area Q.2 0.5 0.7 0.9 1.1 1.1 0.9 0.7 0.5 0.7 0.5 0.7 0.5 0.7 0.5 0.7 502  $10.0^{-3}$ 0.2 10.2 0.5 0.7 0.7 0.7 0.7 0.6 0.4 0.3 0.5 0.9 1.6 2.1 2.3 1.9 2.3 2.1 1.3 0.7 Condrete Drive  $0.0 \mid 0.0 \mid 0.1 \mid 0.2 \mid 0.3 \quad 0.4 \quad 0.4 \quad 0.4 \quad 0.4 \quad 0.4 \quad 0.8$ Concrete Curb  $0.0 \quad 0.0 \quad 0.0$ 

- 1. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- 2. THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN.
- 3. THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK UNTIL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED.
- 4. THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3,000 DEGREES KELVIN.

Lumi	naire Loc	ations					
		Location					
No.	Label	x	Y	z	мн	Orientation	Tilt
10	Α	135.91	30.90	8.00	8.00	180.00	0.00
11	Α	171.54	30.40	8.00	8.00	180.00	0.00
12	Α	138.06	165.42	8.00	8.00	0.00	0.00
13	Α	118.69	59.95	8.00	8.00	270.00	0.00
14	Α	120.04	138.02	8.00	8.00	270.00	0.00
17	С	115.39	98.61	12.00	12.00	0.00	0.00
18	В	48.14	45.33	16.00	16.00	91.00	0.00
19	В	49.63	126.39	16.00	16.00	91.12	0.00

1. Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).

2. Please refer to the "luminaire locations" for mounting heights.

3. Product information can be obtained at www.Holophane.com or
through your local agency.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Approximate Property Line	Ж	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
Parking Lot	$\Diamond$	0.8 fc	3.2 fc	0.4 fc	8.0:1	2.0:1
Sidewalk		2.5 fc	5.6 fc	0.8 fc	7.0:1	3.1:1
SPILL LIGHT SUMMARY	+	0.4 fc	4.6 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
$\stackrel{\wedge}{\boxtimes}$	А	5	Holophane	HLWPC2 P10 30K XX T3M	Wallpack Full Cutoff LED, LED Performance Package P10, 3000 series CCT, Voltage, Type III Medium	LED .	1	HLWPC2_P10_30K_XX_T3M.i es	2800	0.92	28
Ô	В	2	American Electric Lighting	ATB0 10BLEDE15 XXXXX R5 3K	ATB0 SERIES LED 1500MA TYPE 5 3000K CCT	LED Array	1	ATB0_10BLEDE15_XXXXX_R 5_3K.ies	5551	0.97	54
	С	1	Holophane	PPSQL2 P10 30K XX FC T5E	Holophane ParkPak Square LED, LED Performance Package P10, 25W, 3000K CCT, Voltage, Zero uplight, Type V, Entryway	LED		PPSQL2_P10_30K_XX_FC_T5 E.ies	2928	0.93	25

ARCHITECTS AND ENGINEERS INC 42 OKNER PARKWAY

Now or Formerly

Frederick & Dorothee Caulfield

423

0 5 Storage

90.19-2-25

Now or Formerly

Enclosure Berlow's Building LLC

LIVINGSTON, NEW JERSEY 07039 TEL: 973-994-9669 FAX: 973-994-4069 www.jarmelkizel.com

Architecture Engineering Interior Design Implementation Services

		ISSUE	
NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	initial submission	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
	: 		
	•	REVISION	

REVISION		
INT.		
LB		

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA	NJ LIC AI0-12787
AZ LIC 48159	MN LIC 46404
CO LIC ARC-401483	NC LIC 10120
CT LIC ARI.0011415	NH LIC 3501
DC LIC ARC101849	NY LIC 024673
DE LIC \$5-0007256	OH LIC A-99-12444
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IA LIC 05577	SC LIC AR.9163
IL LIC 001.020069	TN LIC 103850
MA LIC AR10286	TX LIC 20992
MD LIC 12662	VA LIC 0401 014089
MI LIC 1301052189	VT LIC 2453
IRWIN H. KIZEL, AIA, PP	NJ LIC 21AI00794700
CT LIC 08522	NJ PP LIC 33LI0024310
RICHARD A. JARMEL, PE	NJ LIC 37491
CT LIC PEN0027735	MN LIC 47482
FL LIC 70134 MI LIC 6201052339	NY LIC 073898-1 PA LIC PE070600
DE LIC 18754	MA LIC 50445
VT LIC 88498	TX LIC 123822
ASSOCIATES	
RONALD A. BROKENSHIRE, PE	NJ LIC GE45511
CT LIC PEN.0032811	PA LIC PE085817
DAVID L. LESESNE, RA	NJ LIC AI 13231

NJ LIC AJ 13231 NY LIC 024719 PA LIC RA-405081 NY LIC 036993 MICHAEL J. VORLAND, RA GERARD P. GESARIO, PE NJ LIC GE038255 NJ LIC 21A1018294 NJ LIC AI 8883 NY LIC 019151 NJ LIC 21AI02069000 PA LIC RA407927

NJ State Board Of Architects Authorization No. 161 NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278173 roject: THE LEARNING EXPERIENCE 530 NORTH STATE ROAD TOWN OF OSSINING BRIARCLIFF MANOR, NY SECTION 90.15, BLOCK 2, LOT 18

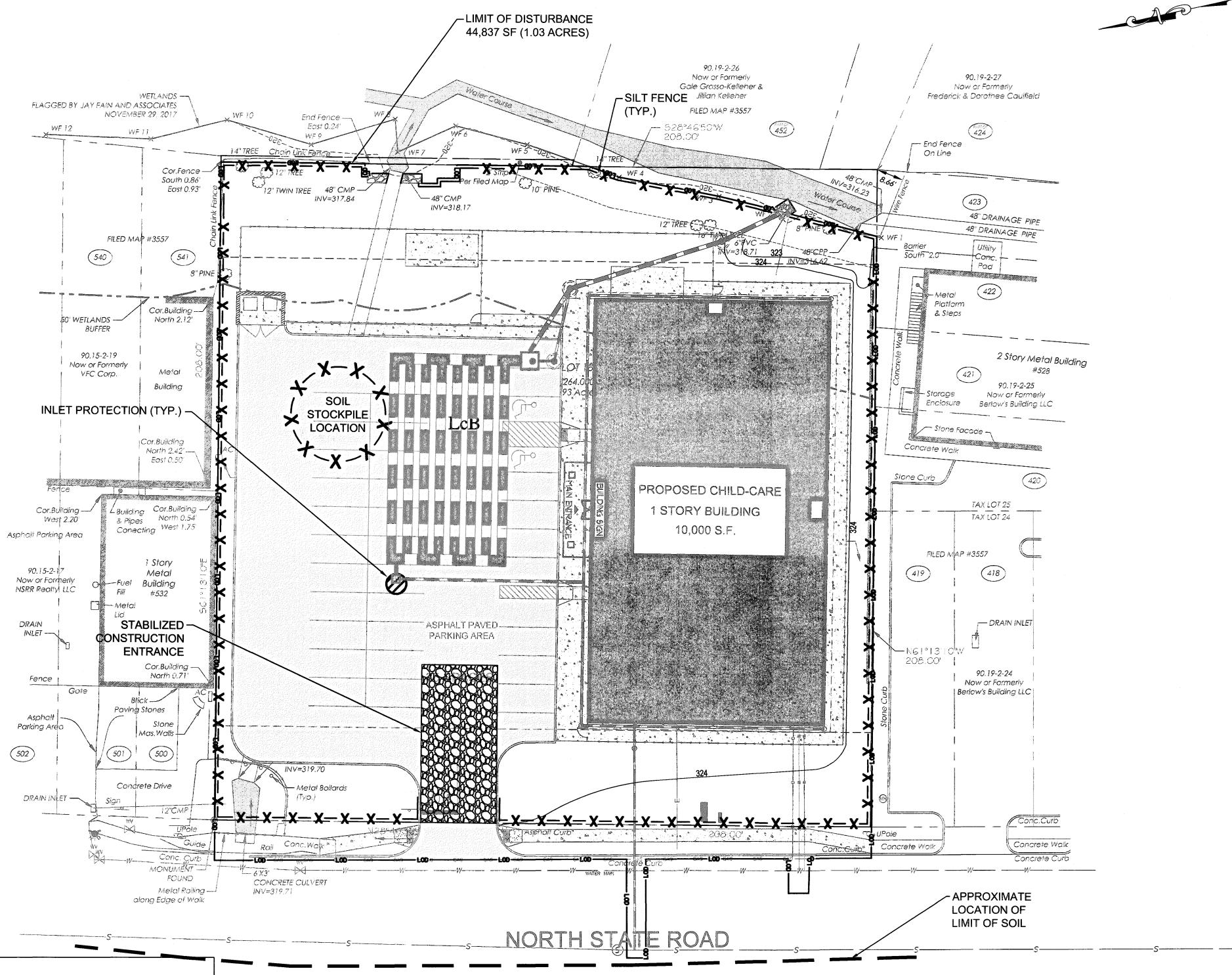
Scale:	
	1" = 20'
Approved By:	
	RAJ

LIGHTING PLAN

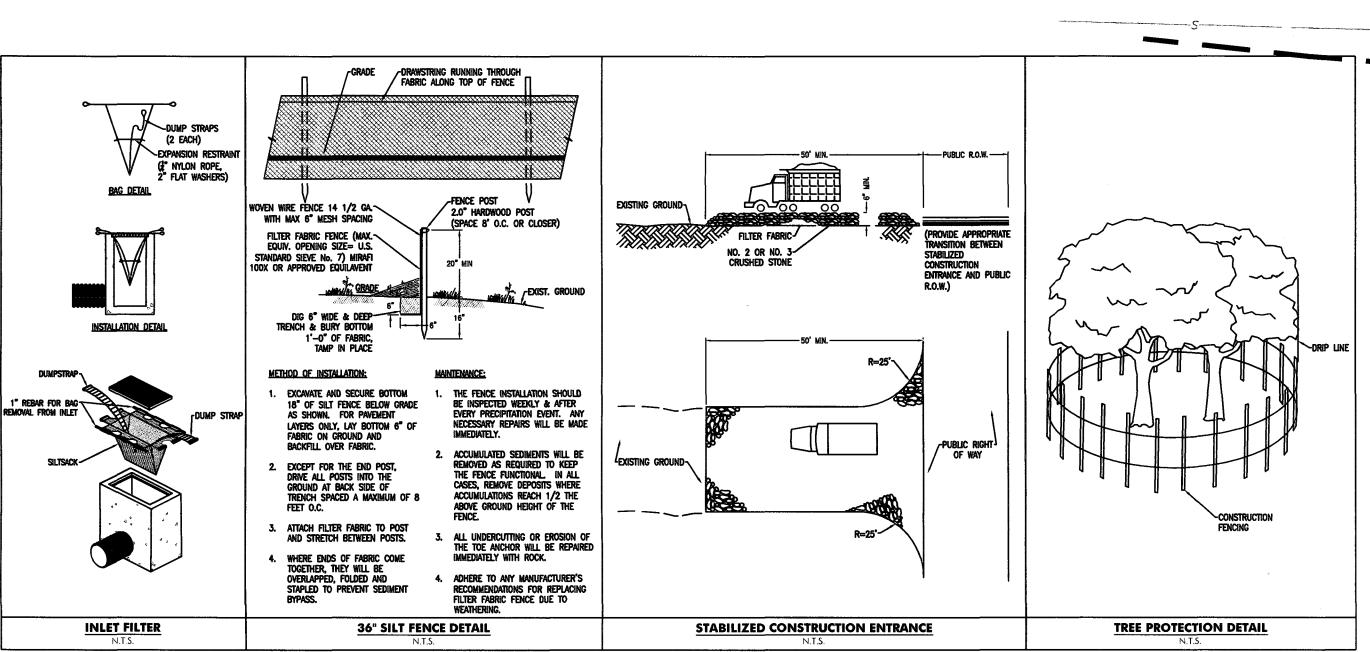
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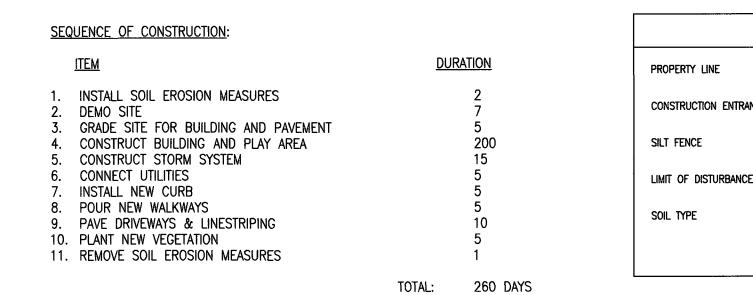
RICHARD A JARMEL nitial Date: **APRIL 27, 2018** 

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- 2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NY STATE STANDARDS.
- 3. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 5. ALL WORK WITHIN COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH NASSAU COUNTY RULES AND REGULATIONS.
- 6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- 7. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- 8. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION OF
- 9. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET—UNION SOIL CONSERVATION DISTRICT.



 $\alpha$ 





LE	GEND
PROPERTY LINE	
CONSTRUCTION ENTRANCE	
SILT FENCE	— X— X—
LIMIT OF DISTURBANCE	
SOIL TYPE	LcB: LEICESTER LOAM, 3% TO 8% SLOPES, STONY
	CrC: CHARLTON-CHATFIELD COMPLEX, 0% TO 15% SLOPES, VERY ROCKY



ARCHITECTS AND ENGINEERS INC.
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		REVISION	
NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
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	i		

PRINCIPAL	s		
	<u>~</u>	NJ	LIC AI0-12787
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	FL LIC AR94034		LIC RA-014851-E
	GA LIC RA011484	RI	UC ARC.000476
	IA LIC 05577	SC	LIC AR.9163
	II LIC 001 020069		LIC 103850
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	MI LIC 1301052189		
IRWIN H. K	(IZEL, AIA, PP		LIC 21AI007947
	CT LIC 08522	ИJ	
RICHARD A	. JARMEL, PE	NJ	LIC 37491 LIC 47482
	CT LIC PEN0027735 FL LIC 70134	WN	LIC 4/482 LIC 073898-1
	MI LIC 6201052339	PA	LIC PE070600
	DE LIC 18754	MA	LIC 50445
	VT LIC 88498	TX	LIC 123822
ASSOCIATE:			
<b>RONALD A. E</b>	ROKENSHIRE, PE	N.	LIC GE45511
	CT LIC PEN.0032811		LIC PE085817
DAVID L. LES			LIC AI 13231 LIC 024719
	CT LIC ARI-0011748 MA LIC 31425		LIC 024719
	140. TIC 01450		, , , , , , , , , , , , , ,

MICHAEL J. VORLAND, RA

GERARD P. GESARIO, PE
FREDERICK KINCAID, RA
JEROME LESLIE EBEN, FAIA, PP
PA LIC 016502-B
CHERYL SCHWEIKER, AIA

NJ LIC 21A1018294
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NJ LIC 019151
NJ LIC 21A102069000
PA LIC R4407927

NJ State Board Of Architects Authorization No. 161
NJ State Board Of Engineers & Land Surveyors Authorization No. GA-27817

iect: THE LEARNING EXPERIENCE
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No:

TLENY-S-17-155

Drawn By:

LB

Approved By:

RAJ

Drawing Name:

SOIL EROSION AND SEDIMENT CONTROL PLAN

C-700

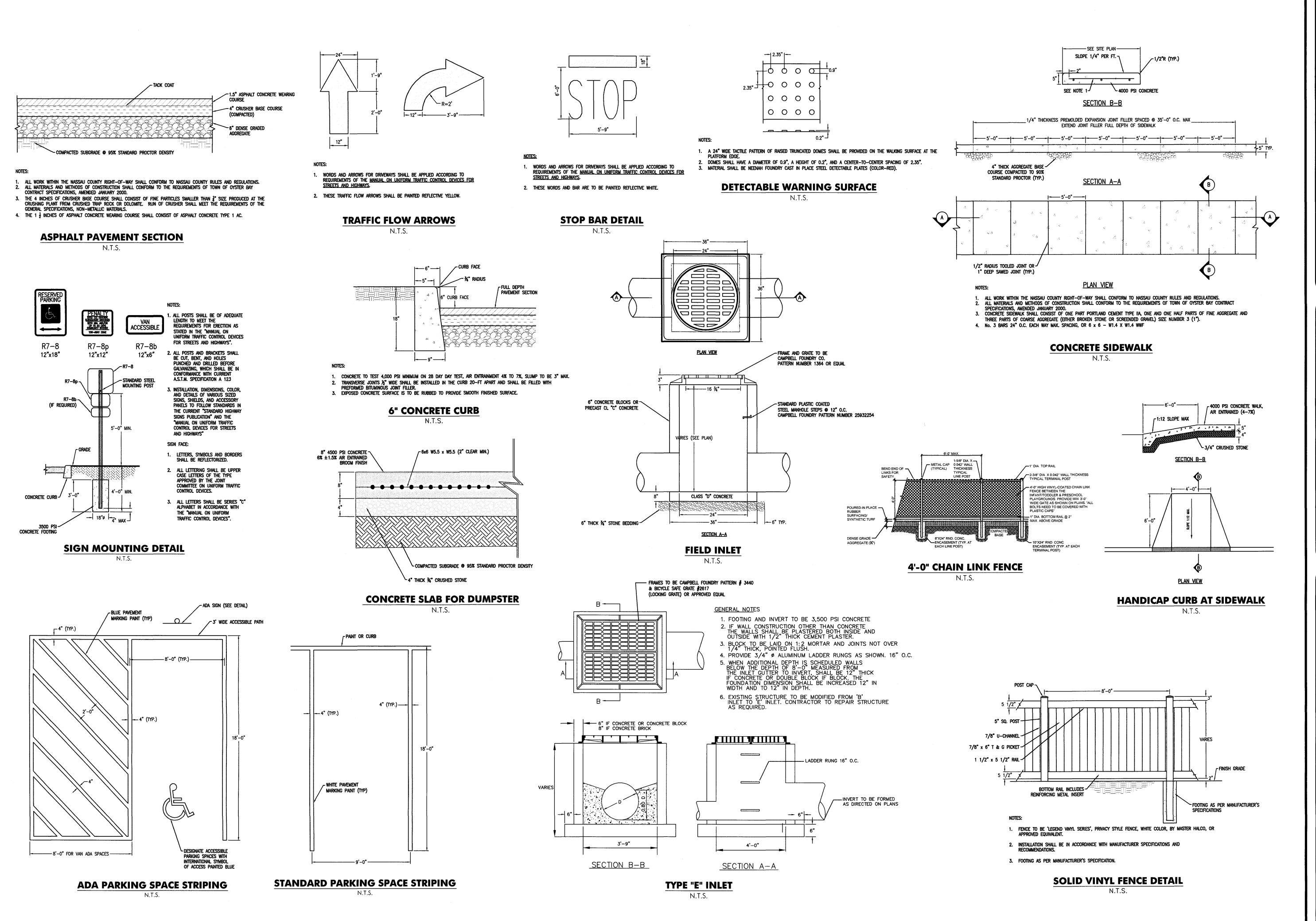
of:

B 11

RICHARD A: JARMEL

PRIL 27, 2018

N.Y. EX. FOT. 1898-1



ARCHITECTS AND ENGINEERS INC. 42 OKNER PARKWAY LIVINGSTON, NEW JERSEY 07039 TEL: 973-994-9669 FAX: 973-994-4069

> www.jarmelkizel.com Architecture Engineering Interior Design Implementation Services

NO. DATE DESCRIPTION 5.23.18 INITIAL SUBMISSION 6.28.18 REVISED PLAY AREA 20' BUFFER 8.20.18 PLANNING BOARD SUBMISSION

REVISION

NO. DATE DESCRIPTION 8.20.18 PER 6/20/18 REVIEW LETTERS

NJ LIC Ai0-12787 MN LIC 46404 NC LIC 10120 NH LIC 3501 CO LIC ARC-401483 CT LIC ARI.0011415 NY LIC 024673 OH LIC A-99-12444 DC LIC ARC101849 DE LIC \$5-0007256 PA LIC RA-014851-B RI LIC ARC.0004765 GA LIC RA011484 IA LIC 05577 SC LIC AR.9163 IL LIC 001.020069 MA LIC AR1 0286 MD LIC 12662 MI LIC 1301052189 IRWIN H. KIZEL, AIA, PP TN LIC 103850 TX LIC 20992 VA LIC 0401 014089 VT LIC 2453 NJ LIC 21AI00794700 NJ PP LIC 33LI00243100 NJ LIC 37491 MN LIC 47482 NY LIC 073898-1 PA LIC PE070600 MA LIC 50445 TX LIC 123822 VT LIC 88498 ASSOCIATES
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> NJ LIC 21Al02069000 PA LIC RA407927 NJ State Board Of Architects Authorization No. 161 NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278177 roject: THE LEARNING EXPERIENCE 530 NORTH STATE ROAD **TOWN OF OSSINING** BRIARCLIFF MANOR, NY

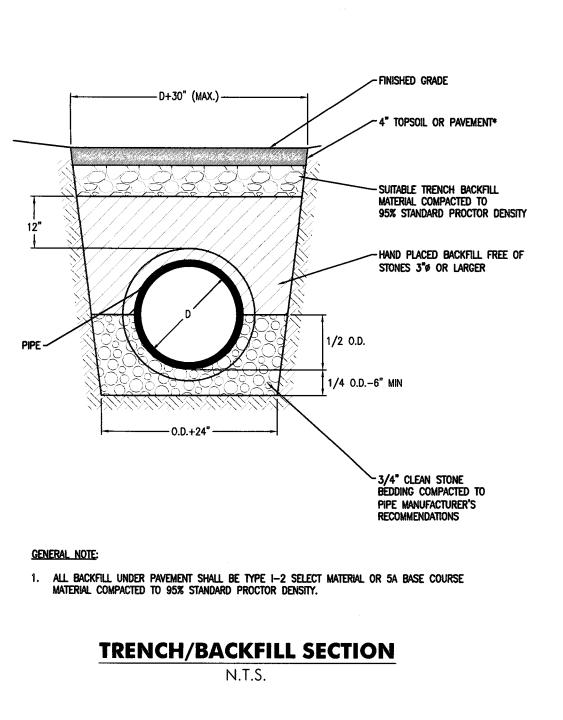
SECTION 90.15, BLOCK 2, LOT 18 AS NOTED TLENY-\$-17-155 Approved By:

Drawing Name:

DETAIL SHEET

rawing Number:

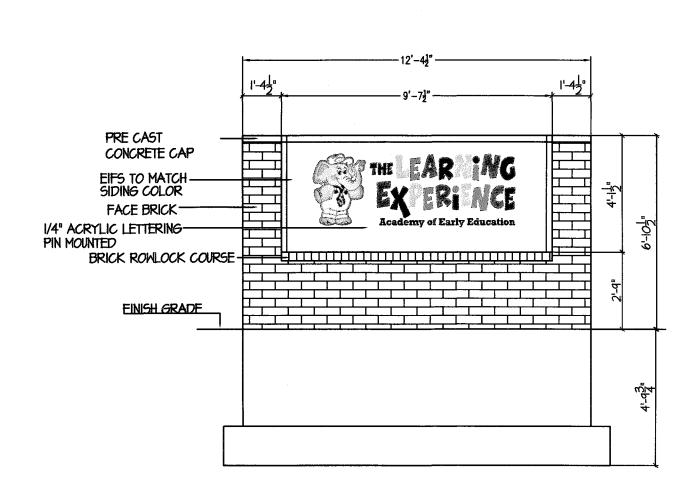
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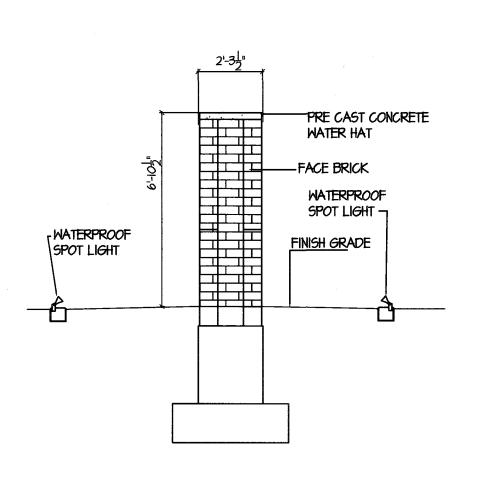


3 - 6" DIA. BOLLARDS 7 B" DIA. STEEL PIPE BOLLARD. FILLED W/CONCRETE, PAINTED YELLOW

-VARIES - SEE SITE PLAN-

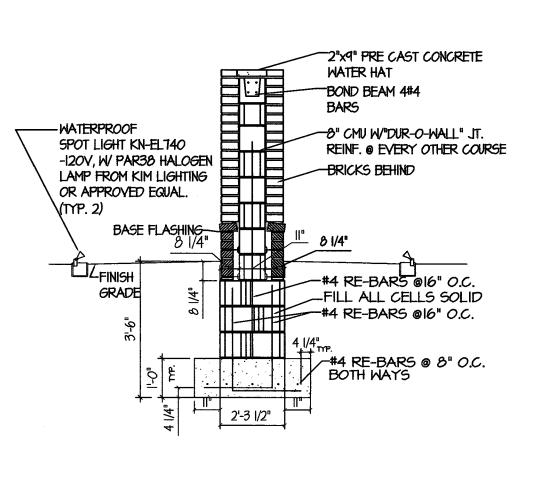
PLAN

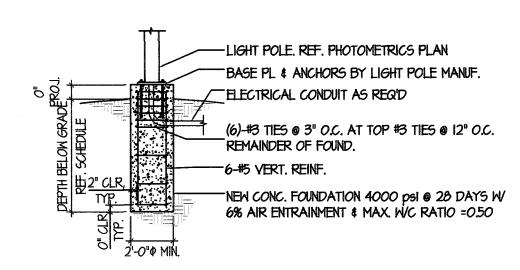




**TLE MONUMENT SIGN** 

N.T.S.

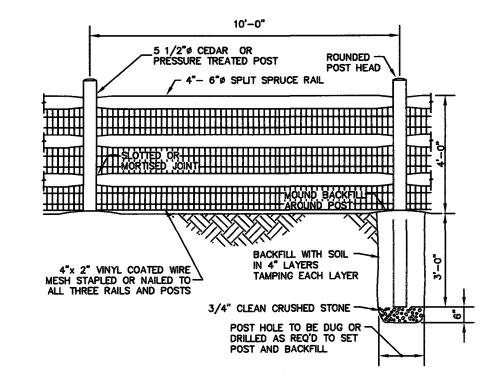




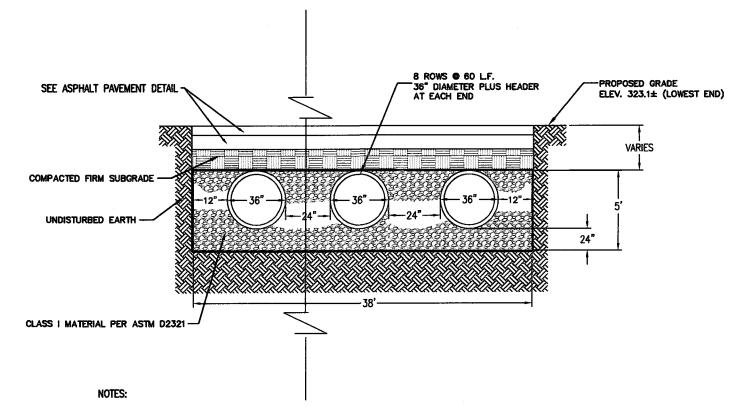
LIGHT POLE FOUNDATION DEPTH PER WIND ANALYSIS					
WIND SPEED WIND SPEED FND. DEPTH (ASCE 7-10) (ASCE 7-05)					
110 TO 140 MPH	85 TO 120 MPH	5'-6"			
150 TO 180 MPH 130 TO 150 MPH 6'-6"					

NOTE: REFER TO STRUCTURAL DRAWINGS FOR APPLICABLE WIND SPEED.

## LIGHT POLE FOUNDATION N.T.S.



## **SPLIT RAIL FENCE WITH WIRE MESH** N.T.S.

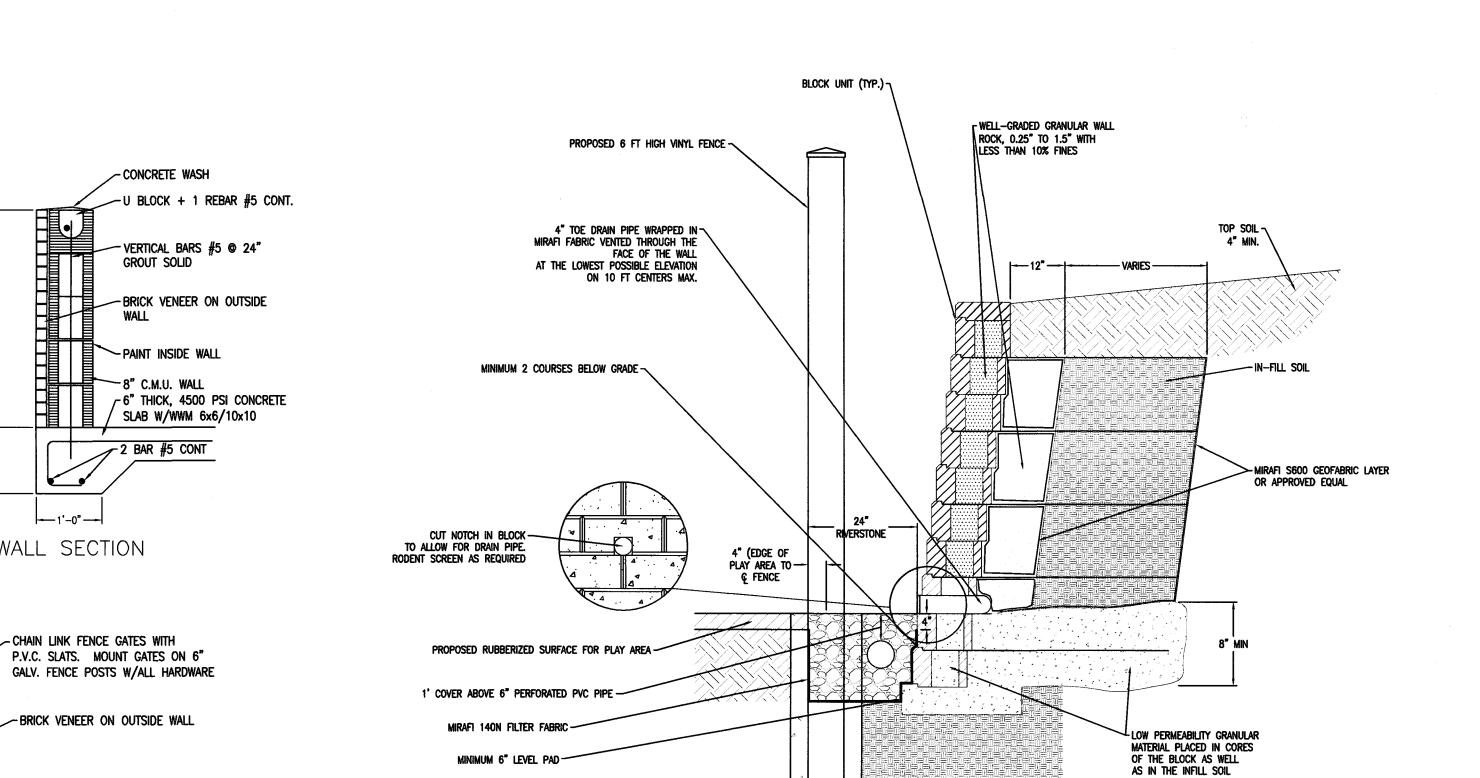


- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT
  SPECIFICATIONS, AMENDED JANUARY 2000.
- 2. ALL DETENTION AND RETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM 2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION.

  3. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.

## **UNDERGROUND INFILTRATION SYSTEM**

N.T.S.



**DUMPSTER ENCLOSURE** 

ELEVATION

VARIES - SEE PLAN----

LATCH HARDWARE

N.T.S.

WALL SECTION

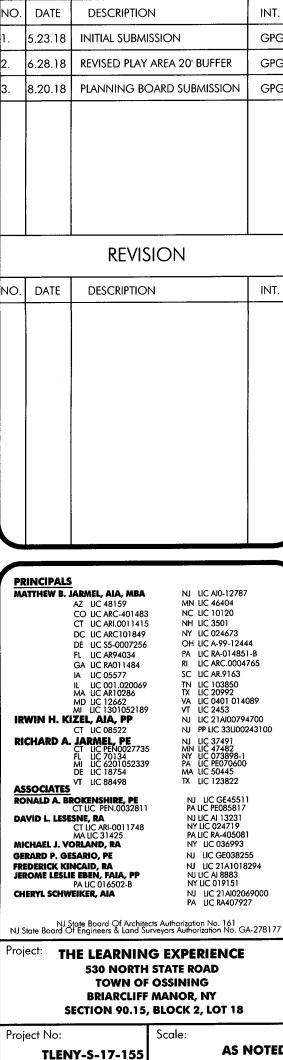
- Chain link fence gates with

-BRICK VENEER ON OUTSIDE WALL

POURED CONCRETE FOOTING

**TYPICAL BLOCK WALL DETAIL** N.T.S.

1. CONTRACTOR SHALL PROVIDE DESIGN CALCULATIONS OF THE SEGMENTAL BLOCK RETAINING WALL AND DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW, PREPARED, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK.



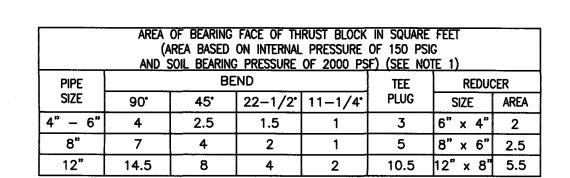
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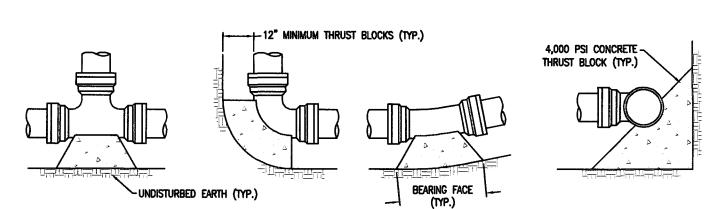
Initial Date:

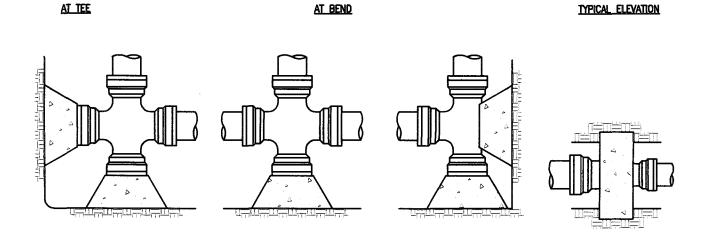
**APRIL 27, 2018** 

NJ LIC AI0-12787 MN LIC 46404 NC LIC 10120 NH LIC 3501 NY LIC 024673 OH LIC A-99-12444 PA LIC RA-014851-B RI LIC ARC.0004765 SC LIC AR.9163 TN LIC 103850 TX LIC 20992 VA LIC 0401 014089 VT LIC 2453 NJ LIC 21AI00794700 NJ PP LIC 33LI00243100 NJ LIC 37491 MN LIC 47482 NY LIC 073898-1 PA LIC PE070600 MA LIC 50445 TX LIC 123822 NJ LIC GE45511 PA LIC PE085817 NY LIC 036993 NJ LIC GE038255 NJ LIC 21A1018294 NJ LIC AI 8883 NY LIC 019151 **AS NOTED** DETAIL SHEET N.Y. LIC. #073898-1

ARCHITECTS AND ENGINEERS INC. 42 OKNER PARKWAY LIVINGSTON, NEW JERSEY 07039 TEL: 973-994-9669 FAX: 973-994-4069 www.jarmelkizel.com Architecture Engineering Interior Design Implementation Services







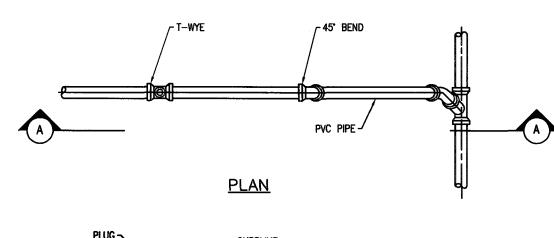
AT REDUCER

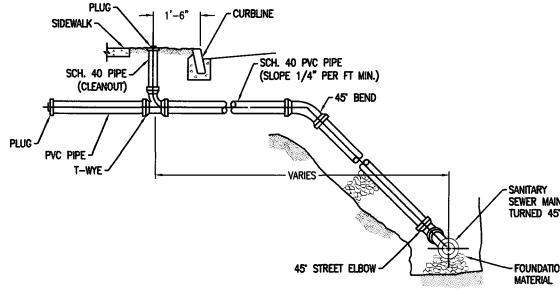
1. SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.

AT TEE. CROSS AND PLUG

- 2. THRUST BLOCK IS TO BE POURED AGAINST UNDISTURBED EARTH. WIDTH OF THRUST BLOCK SHOULD BE APPROXIMATELY TWICE HEIGHT.
- 3. THRUST BLOCK IS TO BE INSTALLED AT ALL BENDS, PLUGS, TEES, AND TAPPING SLEEVE AND VALVE CONNECTIONS. 4. FACTORY CAST OFFSETS ARE TO BE TREATED AS (2) 45 DEGREE BENDS.
- 5. FOR REDUCERS, THRUST BLOCK IS TO BE KEYED INTO WALLS AND BOTTOM OF TRENCH.
- 6. MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK.
- 7. WOOD BLOCKING IS NOT PERMITTED.

### THRUST BLOCK DETAILS N.T.S.



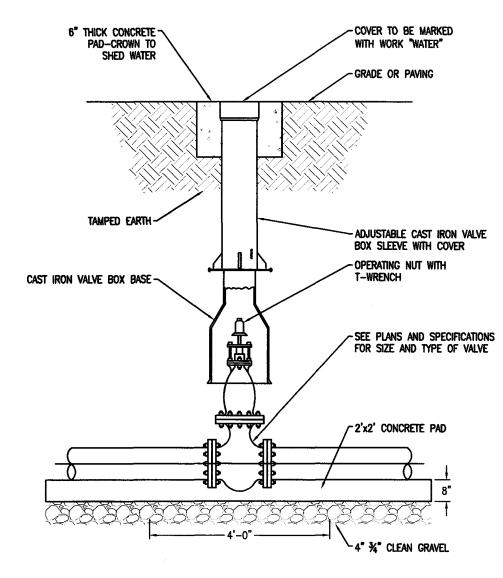


SECTION A-A

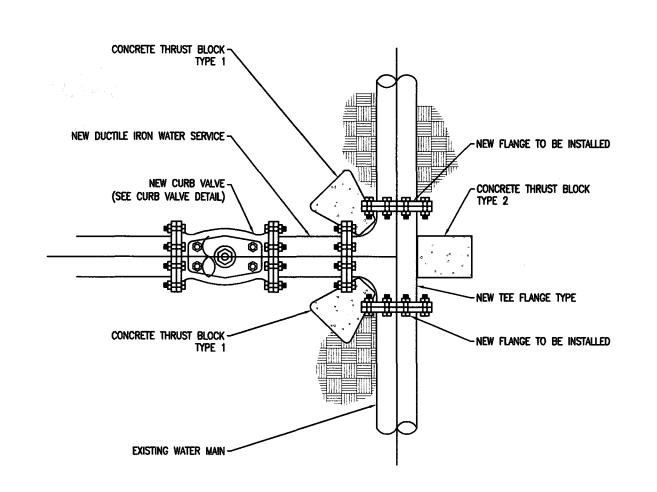
## **GENERAL NOTES:**

- ALL COUPLINGS, PLUGS, SOIL PIPES & CAPS TO BE STANDARD FOR TYPE OF PIPE USED, INSTALLATION TO BE WATERTIGHT.
- 2. HOUSE CONNECTIONS ARE TO BE 6" P.V.C.
- 3. ALL PLUG THREADS SHALL BE GREASED AT TIME OF INSTALLATION.
- 4. MINIMUM DEPTH OF COVER ON SANITARY SEWER MAINS SHALL BE 5 FEET.
- 5. POLYVINYL CHLORIDE PIPE AND FITTINGS FOR HOUSE LATERALS SHALL CONFORM TO A.S.T.M. D-3034.

SANITARY SEWER BUILDING CONNECTION N.T.S.

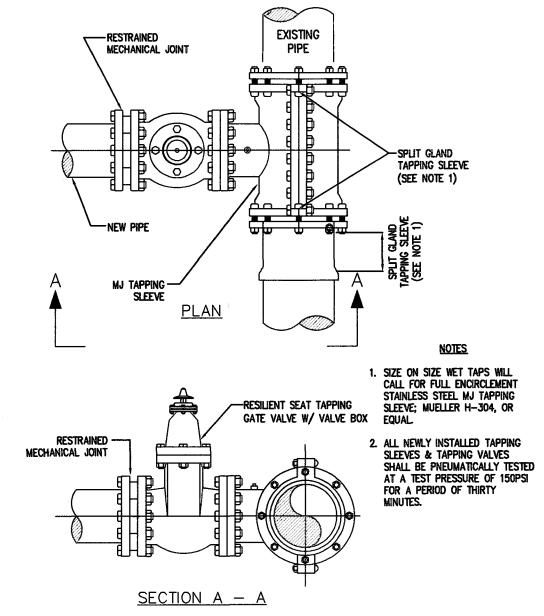




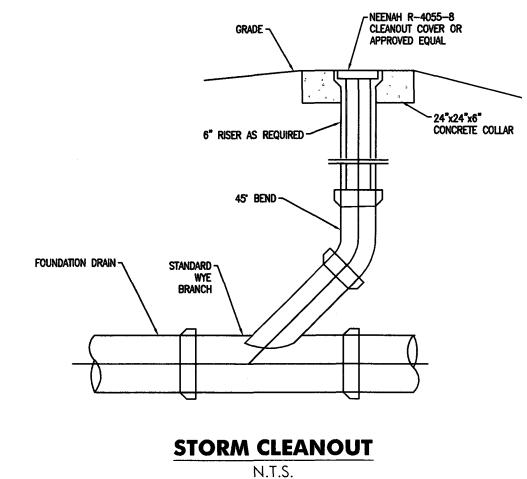


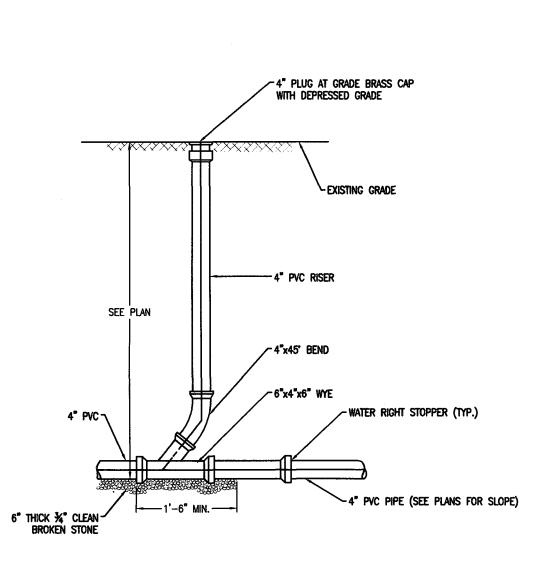
WATER MAIN CONNECTION DETAIL N.T.S.

- Casting to be set in full bed of cement mortar and embedded



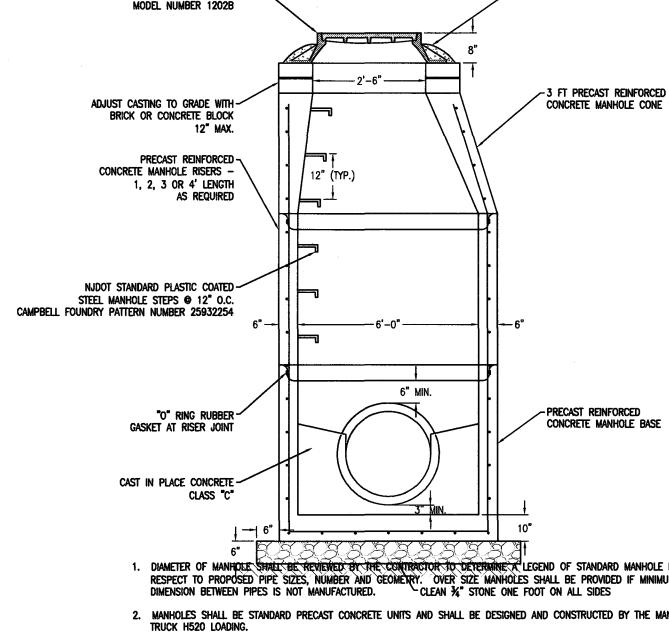
**WET TAP TIE-IN DETAIL** 

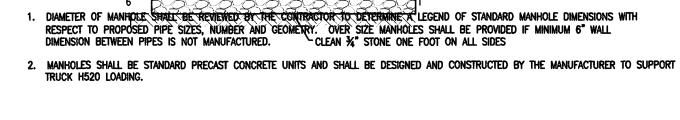




**SANITARY CLEANOUT** 

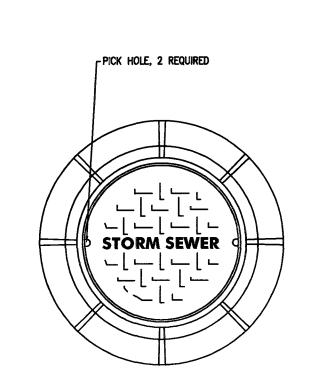
N.T.S.

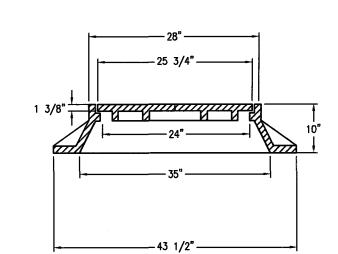




STORM MANHOLE

MANHOLE FRAME AND COVER N.T.S.





**DETAIL SHEET** 

NJ State Board Of Architects Authorization No. 161 NJ State Board Of Engineers & Land Surveyors Authorization No. GA-278177

530 NORTH STATE ROAD TOWN OF OSSINING BRIARCLIFF MANOR, NY SECTION 90.15, BLOCK 2, LOT 18

Approved By:

Project: THE LEARNING EXPERIENCE

TLENY-S-17-155

rawing Name:

ARCHITECTS AND ENGINEERS INC.

42 OKNER PARKWAY LIVINGSTON, NEW JERSEY 07039

TEL: 973-994-9669 FAX: 973-994-4069 www.jarmelkizel.com

Architecture

Engineering

Interior Design

Implementation Services

NO. DATE DESCRIPTION

NO. DATE DESCRIPTION

. 5.23.18 INITIAL SUBMISSION

. 6.28.18 REVISED PLAY AREA 20' BUFFER . | 8.20.18 | PLANNING BOARD SUBMISSION |

REVISION

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IL LIC 001.020069
MA LIC AR10286
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