

VIA HAND DELIVERED

June 6, 2016

Planning Board
Town of Ossining
John-Paul Rodrigues Operations Center
101 Route 9A
P.O. Box 1166
Ossining, New York 10562

Attn: Ingrid Richards, Chair

RE: *Schneider Minor Subdivision*
74 Hawkes Avenue
Town of Ossining

Dear Chair Richards:

Kellard Sessions Consulting, P.C. is pleased to submit, herewith, eight (8) sets of the following materials in connection with the above-captioned matter:

- ☐ Engineering Drawings (prepared by Kellard Sessions Consulting, P.C. dated last revised June 6, 2016)
- Sheet 1/4 Layout Plan
 - Sheet 2/4 Grading, Drainage, Erosion Control and Screening Plan
 - Sheet 3/4 Site Details
 - Sheet 4/4 Erosion & Sediment Control Details/Notes

The following reflects itemized responses to the May 18, 2016 Frederick P. Clark Associates memorandum.

Ingrid Richards, Chair

June 6, 2016

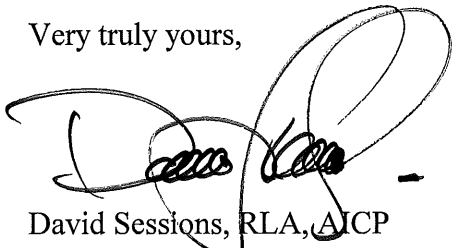
Page 2

1. Comment noted.
2. Comment noted.
3. Comment noted. The applicant's attorney is in the process of drafting the required maintenance and driveway access easement agreements for both lots.
- 4/5/6. Additional plantings have been proposed along both the northern property line for Lot 1 and southern property line for Lot 2. Please refer to Sheet 2/4 for the location of the proposed planting, as well as a planting schedule showing scientific names, common names, sizes and quantities.

Please note that there is little opportunity to significantly stagger the proposed plants on the south side of Lot 2 due to the limited area between property lines ($\pm 10'$). Please note that the proposed plants shown on the submitted plans are the applicant's planting concept plan. At the time the properties are sold and, if the future property owners wish to modify the approved planting plan, the ultimate owner(s) would be required to re-submit their revised planting plan to the Town's Planning Consultant for review/approval.

We look forward to discussing these modifications at the June 15, 2016 Public Hearing.

Very truly yours,

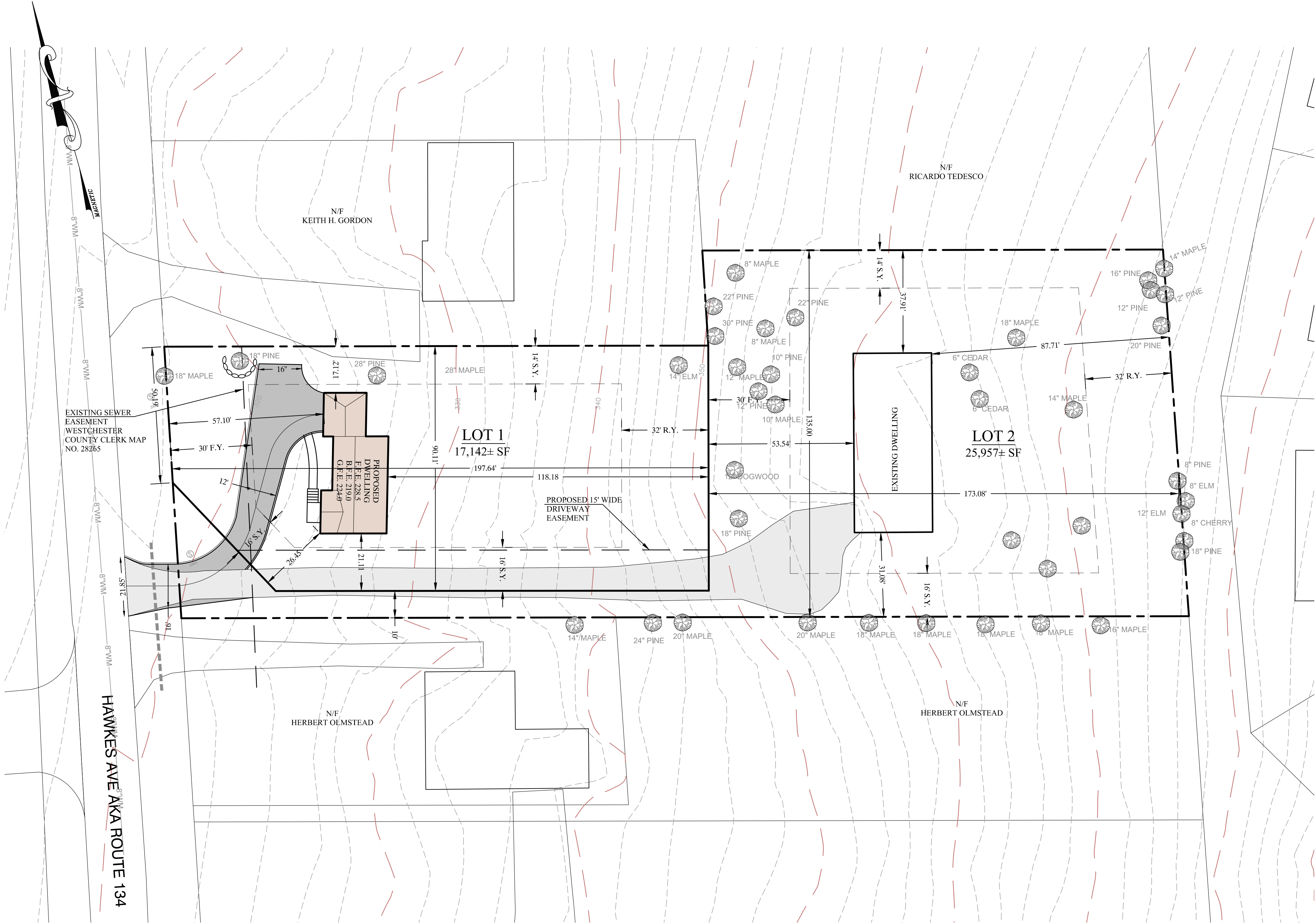
A handwritten signature in black ink, appearing to read 'David Sessions', with a large, looping flourish extending from the end of the signature.

David Sessions, RLA, AICP
Kellard Sessions Consulting, P.C.

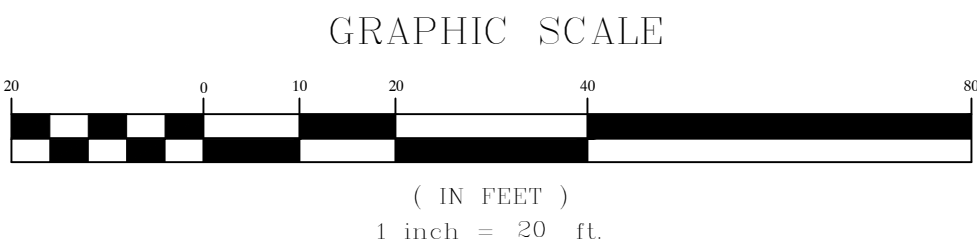
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Enclosures

cc: David H. Stolman, AICP, PP
Daniel A. Ciarcia, P.E.
Joanne Schneider w/Enc.



ZONING (R-15) TABLE - OSSINING				
REGULATION	MIN./MAX. DISTRICT REQUIREMENTS (GB)	LOT 1	LOT 2	
LOT AREA	15,000 SF (MIN)	17,142 SF	25,957 SF	
LOT WIDTH	90 FEET (MIN)	90.1 FT	135.0 FT	
LOT DEPTH	120 FEET (MIN)	197.6 FT	173.1 FT	
FRONT YARD SETBACK	30 FEET (MIN)	57.1 FT	53.5 FT	
SIDE YARD SETBACK (1)	14 FEET (MIN)	17.1 FT	31.1 FT	
BOTH SIDE YARDS	30 FEET (MIN)	38.2 FT	69.8 FT	
REAR YARD	32 FEET (MIN)	118.2 FT	87.7 FT	
LIVABLE FLOOR AREA	850 SF (MIN)	2,194 SF	1,558 SF	
BUILDING HEIGHT	2-1/2 STY / 35 FT (MAX)	2 1/2 STORIES	2 1/2 STORIES	
BUILDING COVERAGE	25% (MAX)	14%	6%	



GENERAL NOTES:

- EXISTING CONTOURS TAKEN FROM INFORMATION AVAILABLE FROM WESTCHESTER COUNTY GIS AND SURVEY OF THE PROPERTY PREPARED BY SCOTT T. CHAMBERLAIN, L.S., P.C. ENTITLED "TOPOGRAPHIC SURVEY PREPARED FOR JOANNE A. SCHNEIDER" DATED SEPTEMBER 10, 2010.
- ON JULY 12, 2010, THE ZONING BOARD OF APPEALS GRANTED AN AREA VARIANCE OF 40' FOR THE PROPOSED NEW LOT WHICH WOULD REQUIRE A 50' WIDE STRIP OF LAND CONNECTING THE MAIN PORTION OF THE LOT WITH THE STREET (SECTION 200-25.1 PARAGRAPH B "STREET FRONTAGE").



LOCATION MAP
1" = 500'

SITE DATA

APPLICANT/OWNER:	JOANNE SCHNEIDER 74 HAWKES AVE OSSINING, NEW YORK 10562
PROPERTY ADDRESS:	74 HAWKES AVE. OSSINING, NEW YORK 10562
TAX MAP DESIGNATION:	SECTION 80.08 BLOCK 1 LOT 45
TOTAL AREA:	0.98 ACRES (43,081 SF)
ZONING DISTRICT:	TOWN OF OSSINING - R-15

LEGEND

	PROPOSED PROPERTY LINE
	PROPOSED ZONING SETBACK
	EXISTING RESIDENCE
	EXISTING ASPHALT DRIVEWAY
	PROPOSED RESIDENCE
	PROPOSED ASPHALT DRIVEWAY

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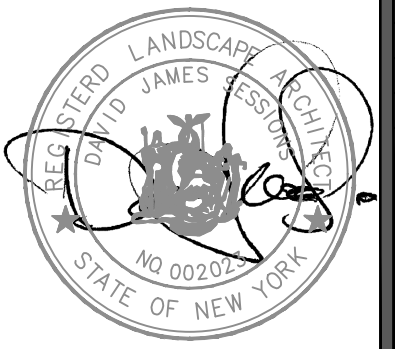
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LAYOUT PLAN
SUBDIVISION FOR
JOANNE SCHNEIDER

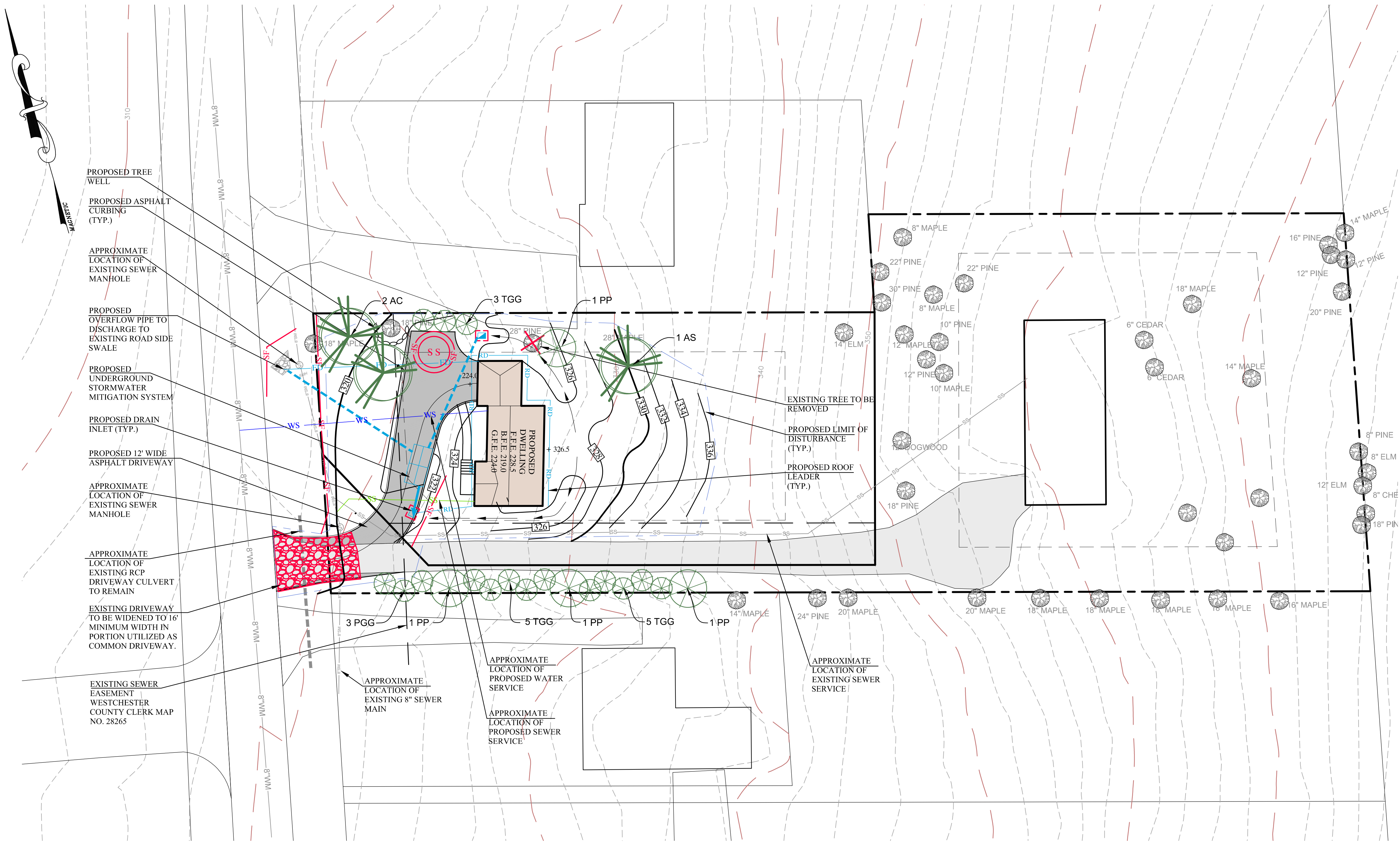
TOWN OF OSSINING

WESTCHESTER COUNTY, NEW YORK



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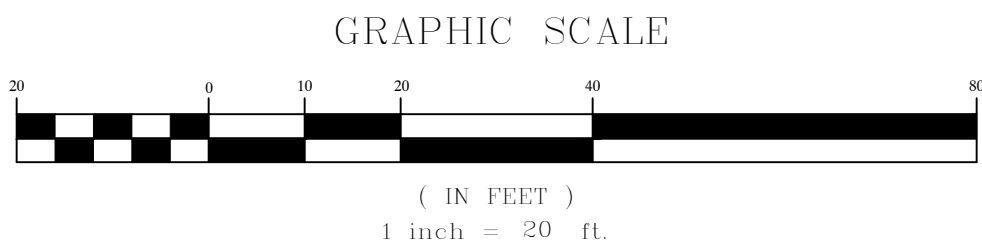


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- ON JULY 12, 2010, THE ZONING BOARD OF APPEALS GRANTED AN AREA VARIANCE OF 40' FOR THE PROPOSED NEW LOT 2 WHICH WOULD REQUIRE A 50' WIDE STRIP OF LAND CONNECTING THE MAIN PORTION OF THE LOT WITH THE STREET (SECTION 200-25.1 PARAGRAPH B "STREET FRONTAGE").
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF THE EXISTING FEATURES DISTURBED UNDER THIS CONTRACT, TO EXISTING CONDITION OR BETTER, AS DETERMINED BY THE ENGINEER.
- THE TOWN ENGINEER'S OFFICE IS TO BE NOTIFIED 24 HOURS BEFORE COMMENCING SITE CONSTRUCTION.
- ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE TOWN'S CODE.
- ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
- SEE THE ARCHITECTURAL PLANS FOR ALL BUILDING DRAWINGS, DETAILS AND NOTES.
- ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL IN A "CODE 53" AT LEAST 2 DAYS BUT NO MORE THAN 10 DAYS PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR TO VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
- ANY PROPOSED ELECTRIC AND/OR TELEPHONE, CABLE SERVICE LINES ARE TO BE PLACED UNDERGROUND.

SCHNEIDER PLANTING/SCREENING LIST					
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	ROOT	SIZE
AS	Sugar Maple	<i>Acer Saccharum</i> "Bonfire"	1	B&B	2" - 2-1/2"
AC	Shadblow Serviceberry	<i>Amelanchier Canadensis</i>	2	B&B	10" - 12"
PP	Fat Albert Spruce	<i>Picea Pungens</i> "Fat Albert"	4	B&B	7' - 8'
PGC	Dwarf Alberta Spruce	<i>Picea Glauca Conica</i>	3	20-gal.	5' - 6'
TGG	Green Giant Arborvitae	<i>Thuja</i> "Green Giant"	13	B&B	6' - 7'

PLANTING NOTE:
IN ADDITION TO THE MAJOR EXISTING TREES ALONG THE NORTHERN PROPERTY LINE, A MIX OF DECIDUOUS AND EVERGREEN SAPLINGS EXIST. THE APPLICANT SHALL INCORPORATE THE PROPOSED TREES ILLUSTRATED HEREON BETWEEN AND ADJACENT TO THOSE EXISTING TREES/SAPLINGS TO REMAIN. PRIOR TO ANY TREE/SAPLING REMOVAL, THE APPLICANT/APPLICANTS CONTRACTOR SHALL CONTACT THE DESIGN PROFESSIONAL FOR DIRECTION ON PLANT SPACING.



LOCATION MAP
1" = 500'

SITE DATA

APPLICANT/OWNER: JOANNE SCHNEIDER
74 HAWKES AVE
OSSINING, NEW YORK 10562

PROPERTY ADDRESS: 74 HAWKES AVE.
OSSINING, NEW YORK 10562

TAX MAP DESIGNATION: SECTION 80.08 BLOCK 1 LOT 45

TOTAL AREA: 0.98 ACRES (43,081 SF)

ZONING DISTRICT: TOWN OF OSSINING - R-15

LEGEND

- 370 PROPOSED 10' CONTOUR
- 368 PROPOSED 2' CONTOUR
- + 354.2 PROPOSED SPOT ELEVATION
- 440 EXISTING PROPERTY LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED PROPERTY LINE
- PROPOSED ZONING SETBACK
- APPROXIMATE LOCATION OF EXISTING MUNICIPAL WATER MAIN
- EXISTING RESIDENCE
- EXISTING ASPHALT DRIVEWAY
- PROPOSED RESIDENCE
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED DRAIN INLET WITH INLET PROTECTION
- PROPOSED 4" Ø ROOF LEADER
- PROPOSED FOOTING DRAIN DISCHARGE
- PROPOSED SILT FENCE
- PROPOSED DOMESTIC WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SOIL STOCKPILE


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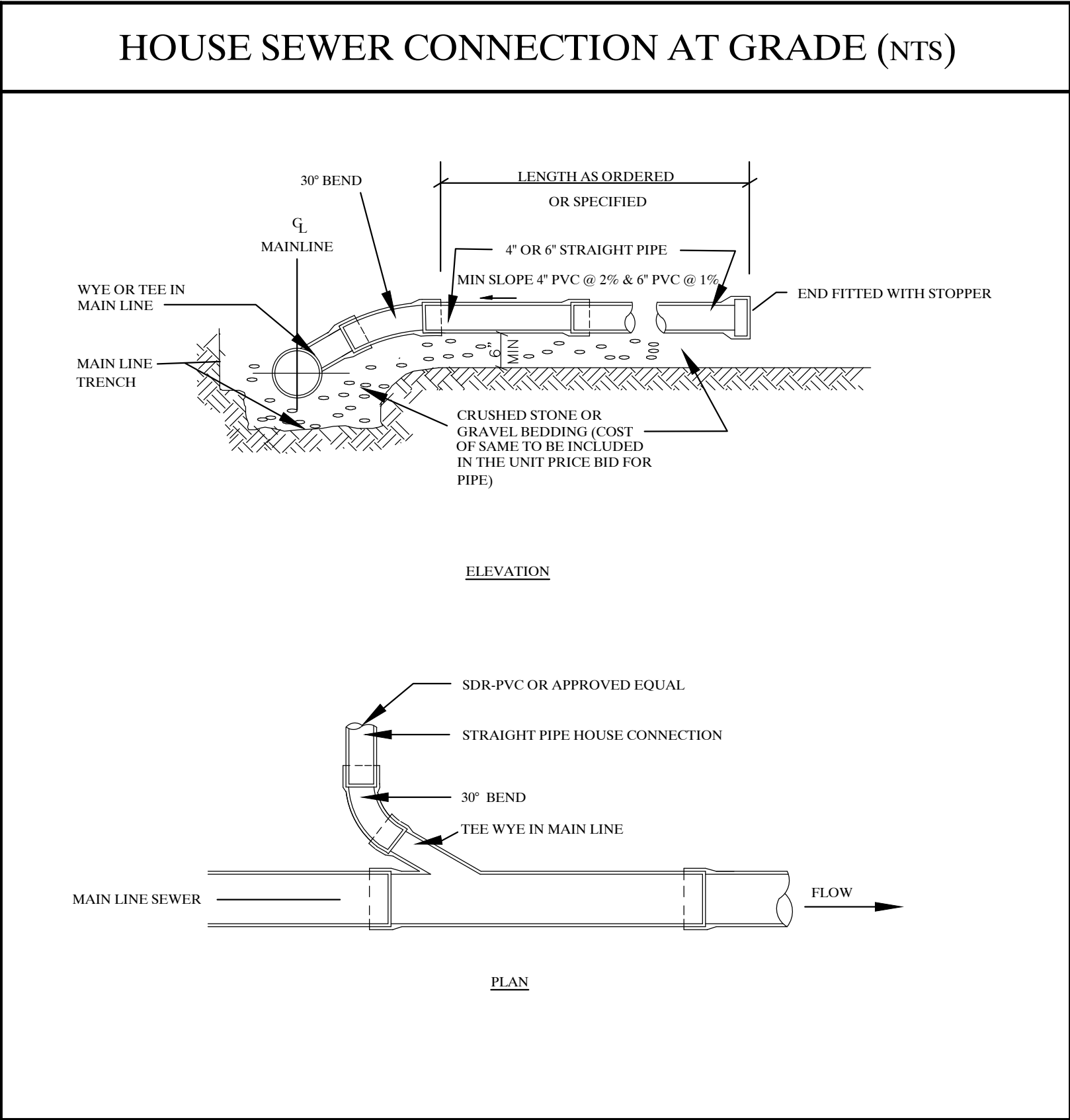
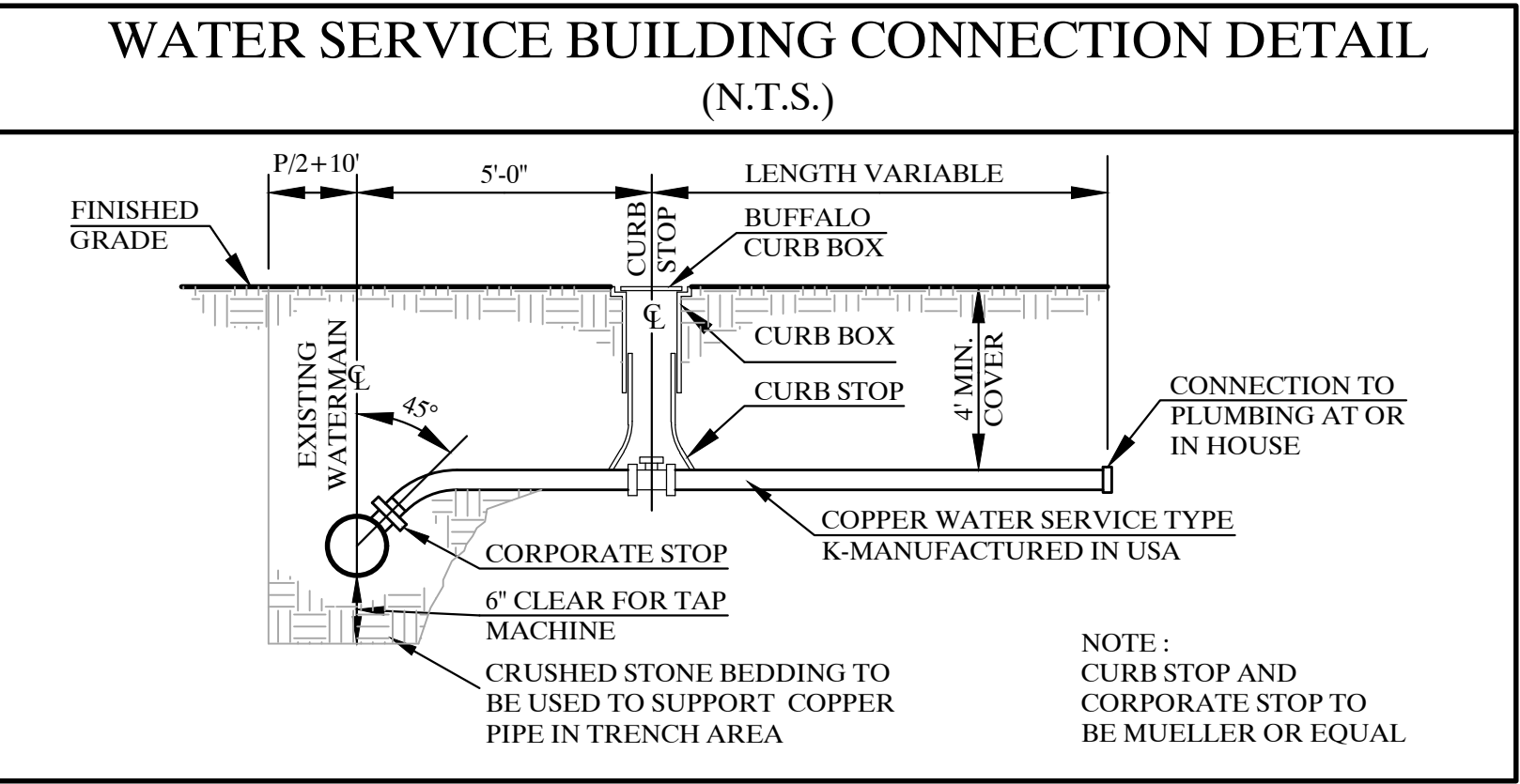
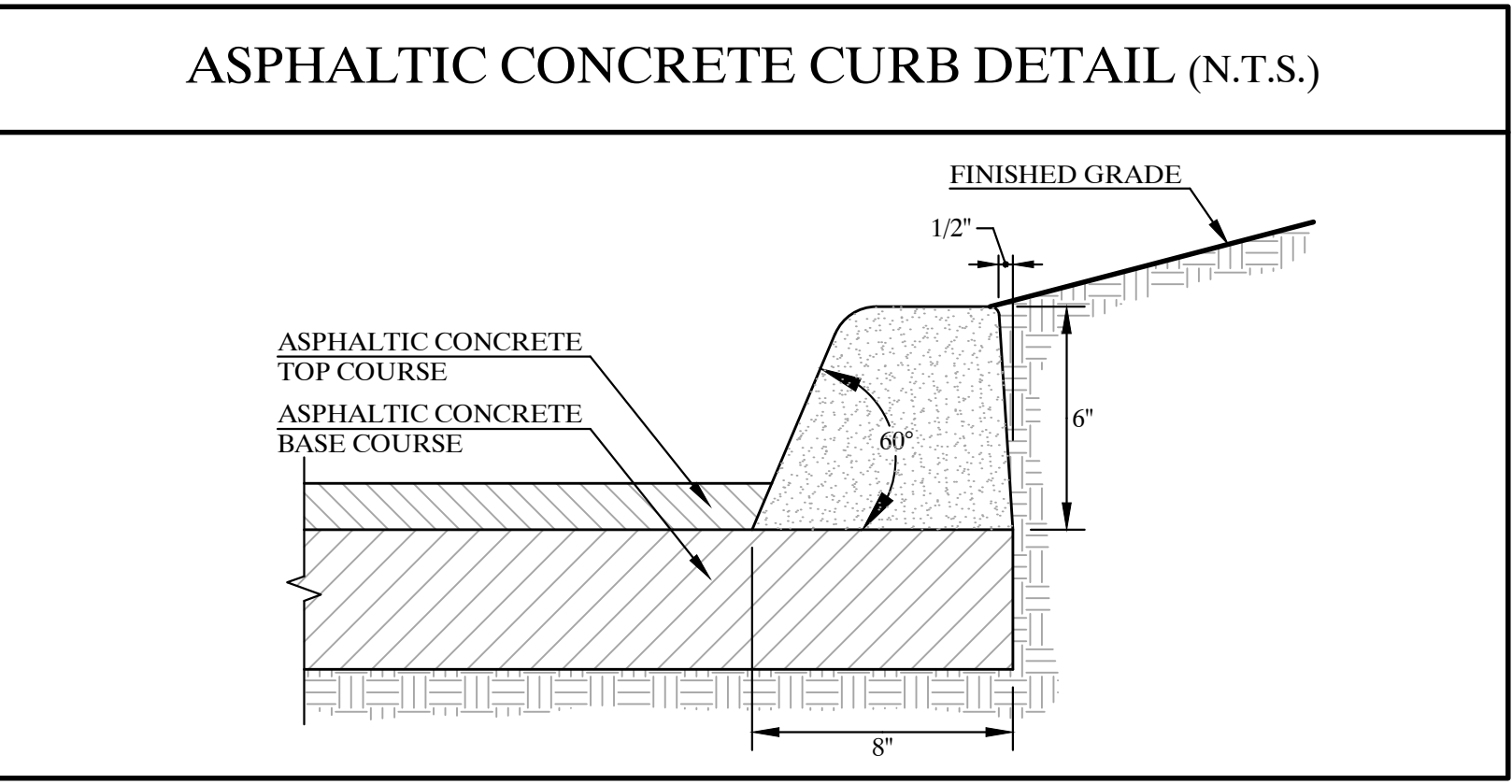
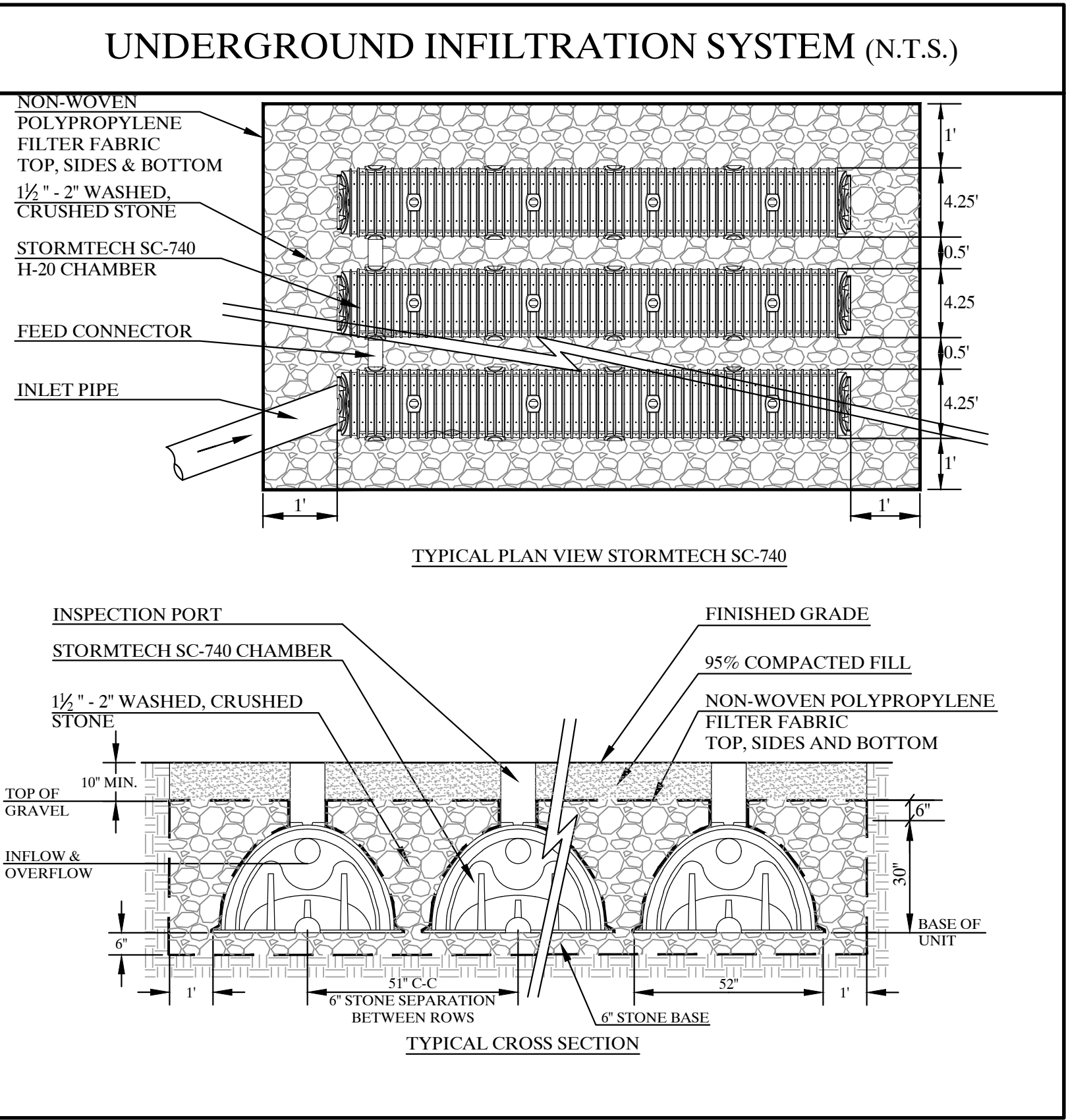
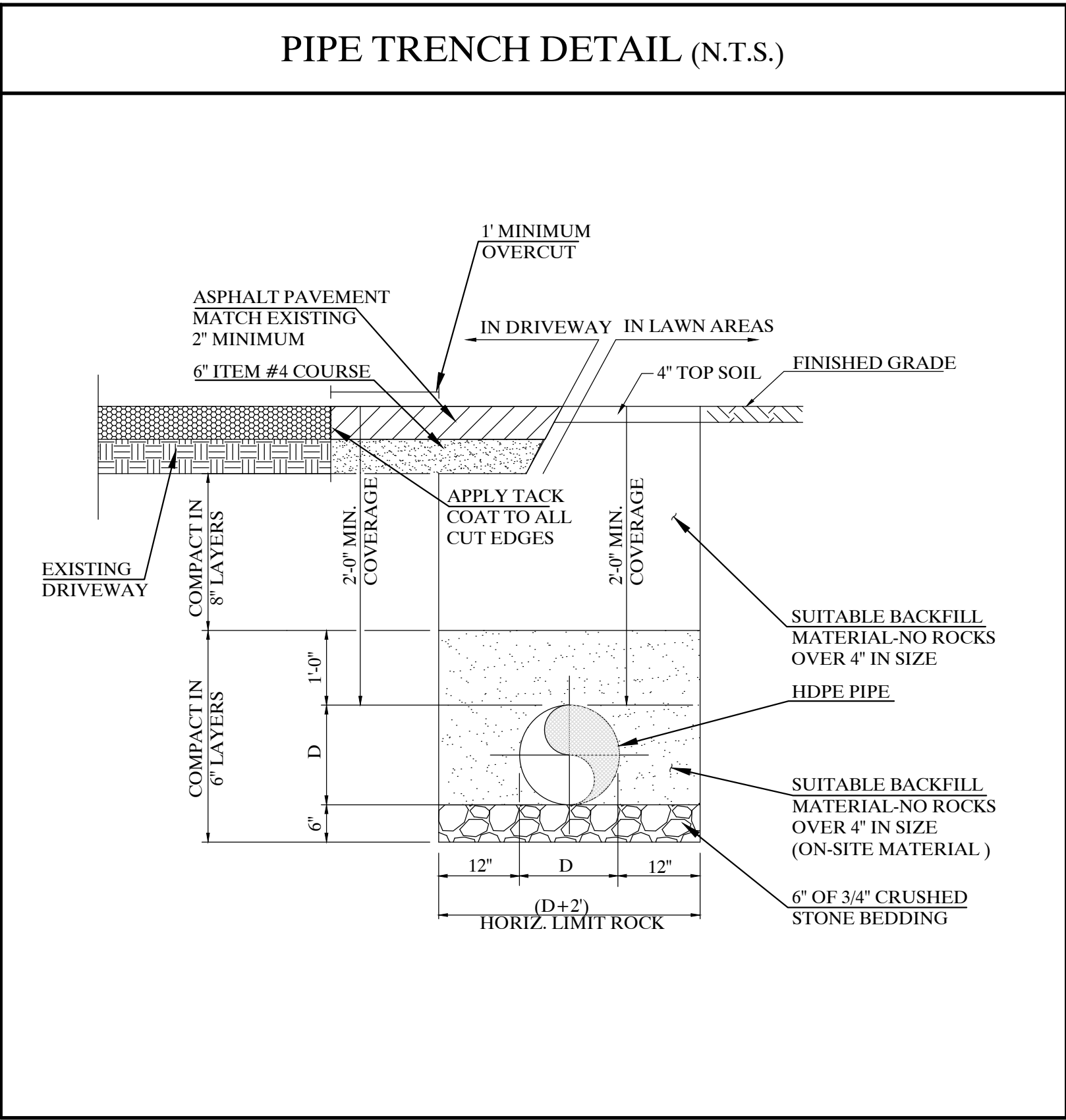
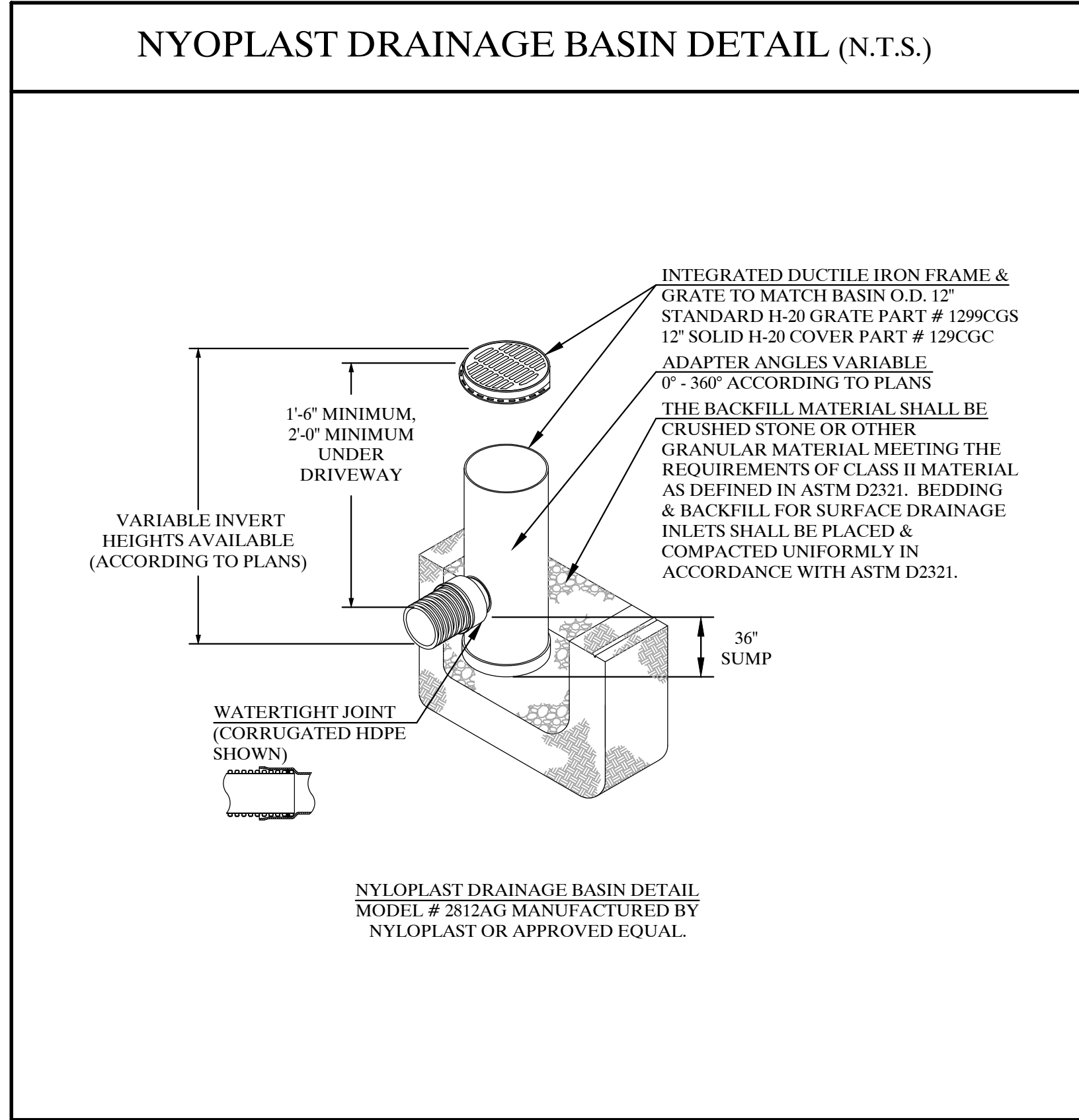
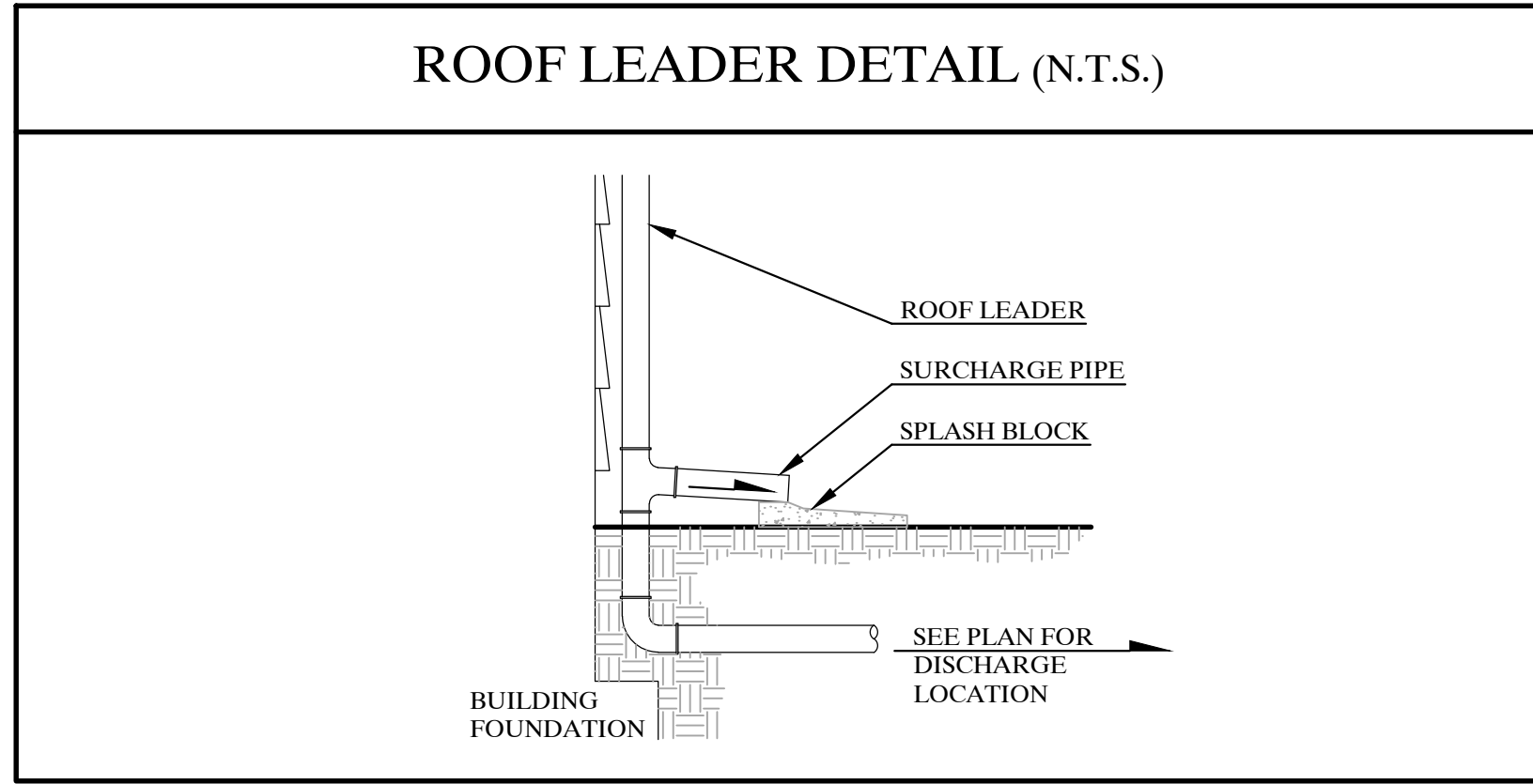
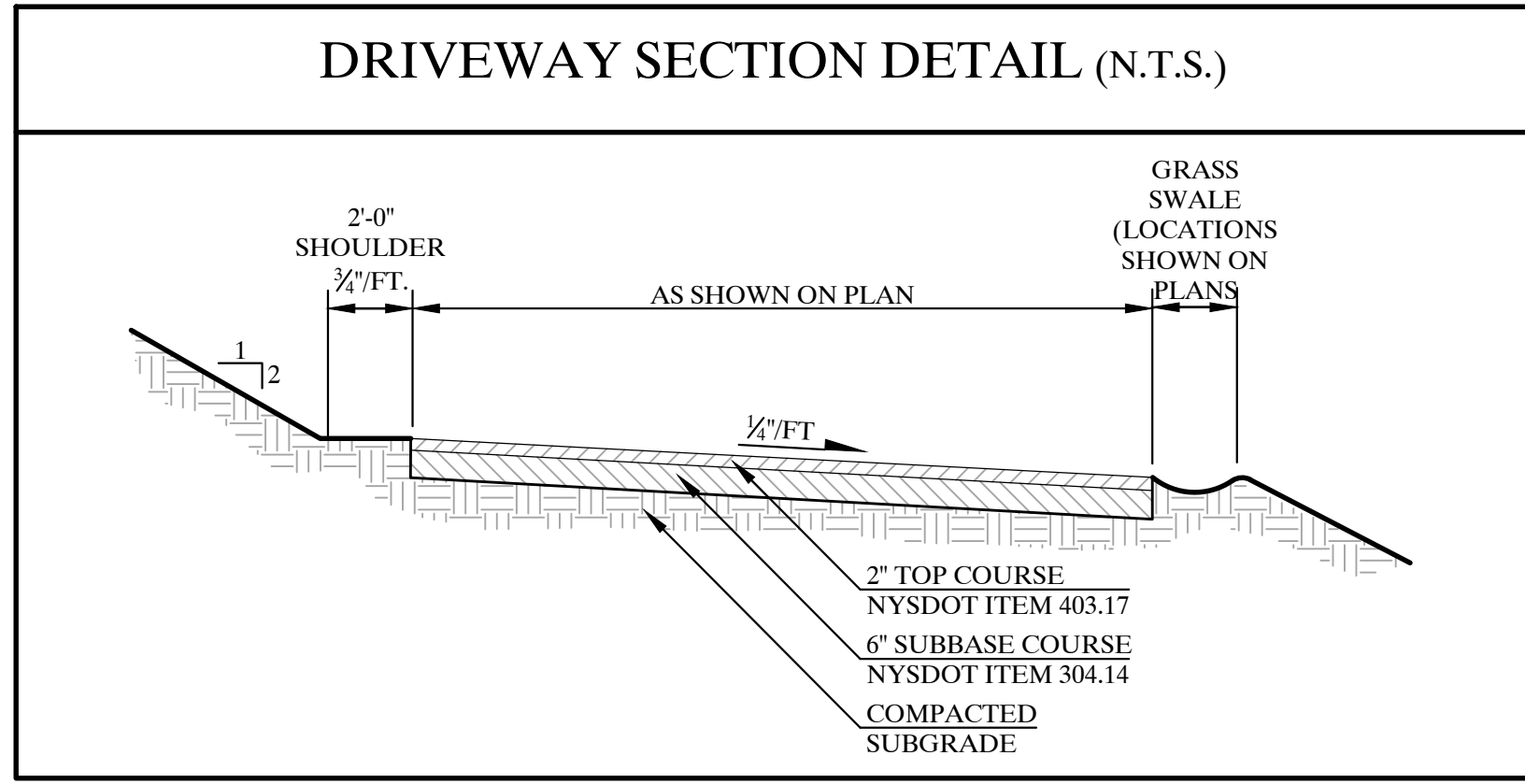
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GRADING, DRAINAGE, EROSION
CONTROL AND SCREENING PLAN
SUBDIVISION FOR
JOANNE SCHNEIDER

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SITE DETAILS
SUBDIVISION FOR
JOANNE SCHNEIDER

TOWN OF OSSINGWESTCHESTER COUNTY, NEW YORK

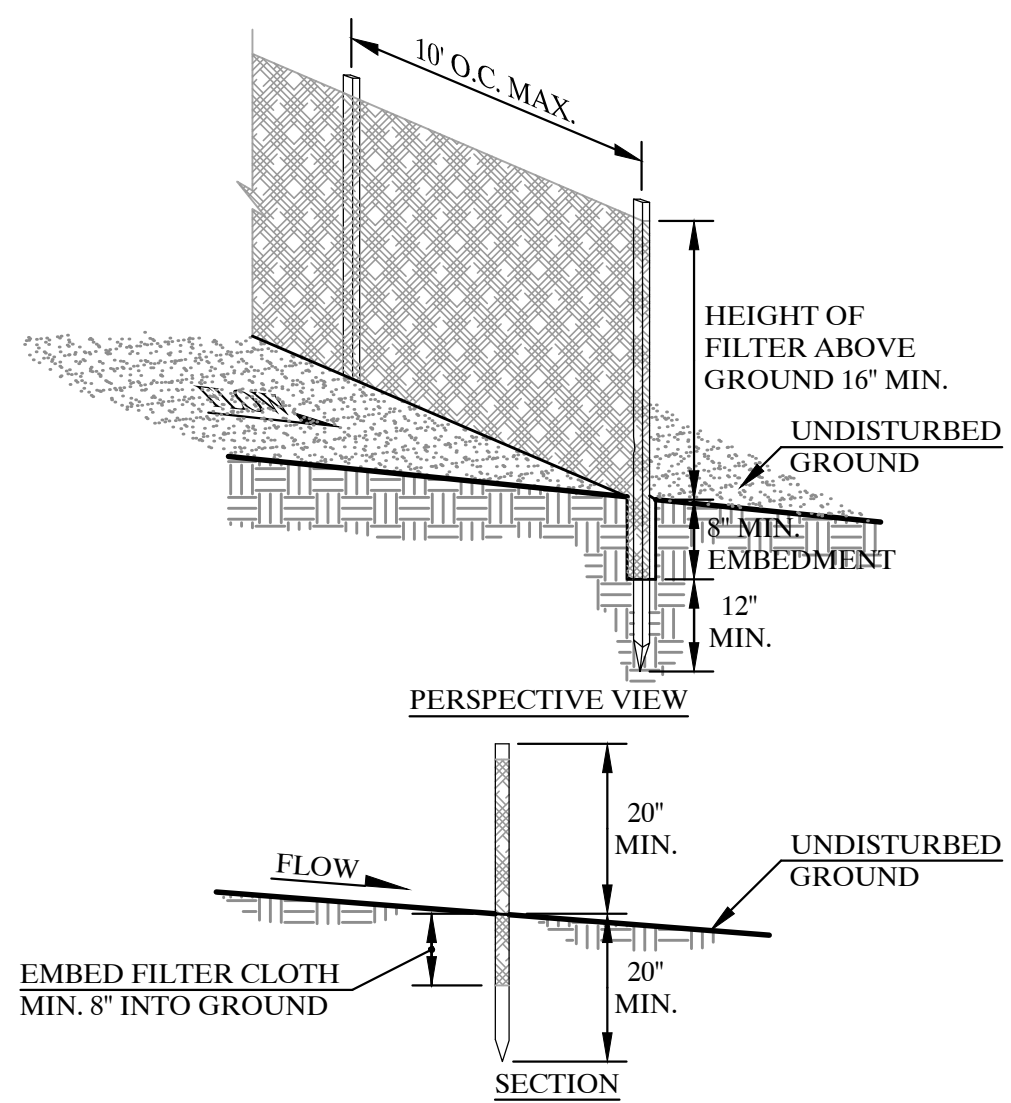
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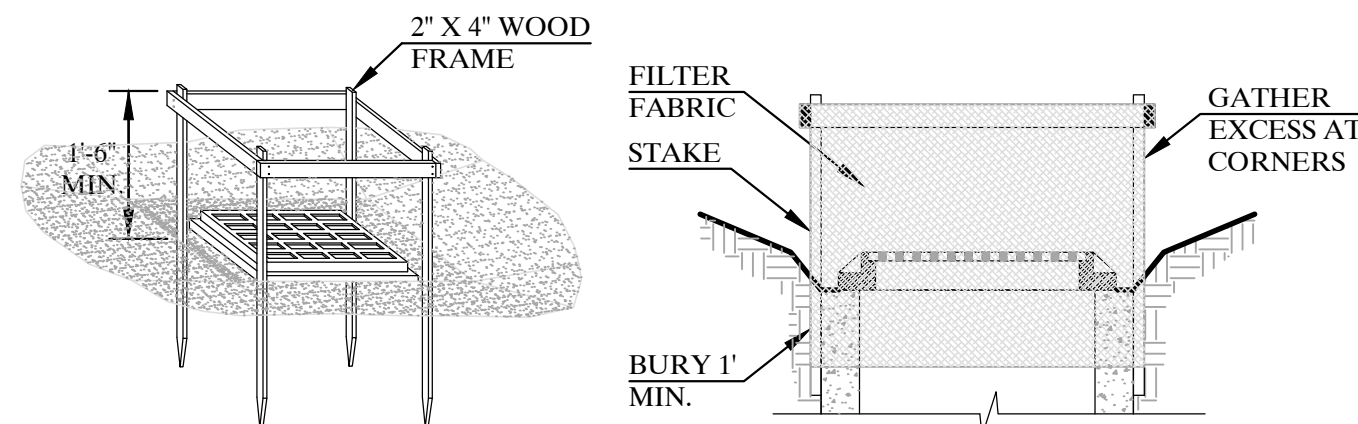
SILT FENCE DETAIL (N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

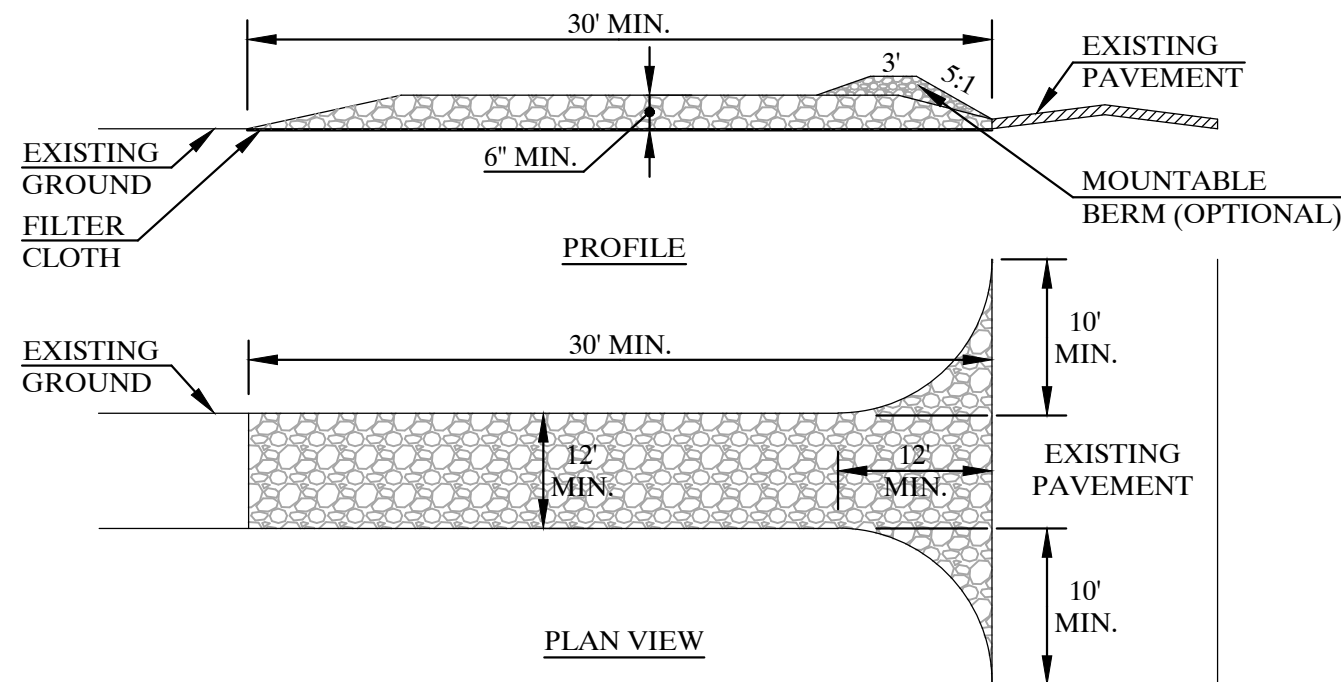
FILTER FABRIC DROP INLET PROTECTION DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
 - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA = 1 ACRE

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



- CONSTRUCTION SPECIFICATIONS
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - 30' MINIMUM
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

EROSION AND SEDIMENT CONTROL PLAN

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- New York Standards and Specifications for Erosion and Sediment Control, latest edition
- New York State SPDES General Permit for Stormwater Runoff from Construction Activity (GP-0-15-002)
- Town Code of Ossining Chapter 168 "Stormwater Management and Erosion and Sediment Control"

The primary aim of the soil erosion and sediment control plan is to reduce soil erosion from areas stripped of vegetation during and after construction and to prevent silt from reaching the drainage structures, infiltration systems and downstream properties. The infiltration systems will not be put into service until the contributing drainage areas to the system have been stabilized. As outlined in the construction sequencing notes below and on the Sediment & Erosion Control Plan, the Sediment & Erosion Control Plan is an integral component of the construction phasing and sequencing and will be implemented to control sediment and re-establish vegetation as soon as practicable. The plan will be implemented prior to the commencement of any earthmoving activities.

The proposed soil erosion and sediment control devices include the planned erosion control practices outlined below. Maintenance procedures for each erosion control practice are also provided herein. The owner or operator must ensure that all erosion and sediment control practices identified herein are maintained in effective operating condition at all times.

STABILIZED CONSTRUCTION ENTRANCE

A stabilized construction entrance shall be installed at the project entrance as indicated on the plans. The purpose of the stabilized construction entrance is to prevent vehicles leaving the site from tracking sediment, mud or any other construction-related materials from the site onto the driveway and ultimately Hawkes Ave.

Maintenance/Inspection

The Contractor shall maintain the construction entrance in a manner which prevents or significantly reduces the tracking of sediment/soil onto the driveway and ultimately Hawkes Ave. The Contractor shall inspect the construction entrance daily and after each rain event for displacement or loss of aggregate. The Contractor shall top-dress the construction entrance when displacement/loss of aggregate occurs, or if the aggregate becomes clogged or silted to the extent that the entrance can no longer perform its intended function. The Contractor shall inspect the vicinity of the construction entrance several times a day and immediately remove any sediment dropped or washed onto the driveway and/or Hawkes Ave.

SILT FENCE

Silt fence (geotextile filter cloth) shall be placed in locations depicted on the approved plans. The purpose of the silt fence is to reduce the velocity of sediment-laden stormwater from small drainage areas and to intercept the transported sediment load. In general, silt fence shall be used at the perimeter of disturbed areas, toe of slopes or immediately within slopes where obvious channel concentration of stormwater is not present. Silt fence shall always be installed parallel to the contours in order to prevent concentrated flows from developing along the silt fence.

Maintenance/Inspection

Silt fencing shall be inspected at a minimum of every seven (7) days. Inspections shall include ensuring that the fence material is tightly secured to the wood posts. In addition, overlapping filter fabric shall be secure and the fabric shall be maintained a minimum of eight (8) inches below grade. In the event that any "bulges" develop in the fence, that section of fence shall be replaced immediately with a new fence section. Any visible sediment build-up against the fence shall be removed and deposited on-site a minimum of 100 feet from any wetland.

INLET PROTECTION

After the project's drain inlets have been installed and the site is completely constructed and stabilized, these drain inlets will receive stormwater from the driveway and overland watersheds. The inlet protection barrier will allow stormwater to be filtered prior to reaching the inlet grate.

Maintenance/Inspection

Inlet protection devices shall be inspected at a minimum of every seven (7) days. Care shall be taken to ensure that all inlet protection devices are properly located and secure and do not become displaced. Any accumulated sediments shall be removed from the device and deposited not less than 100 feet from a wetland.

SOIL/MATERIAL STOCKPILING

All soil/material stripped from the construction area during grubbing and grading shall be stockpiled in locations illustrated on the approved plans, or in practical locations on-site.

Maintenance/Inspection

All stockpiles shall be inspected (for signs of erosion or problems with seed establishment) at a minimum of once every seven (7) days. Soil stockpiles shall be protected from erosion by vegetating the stockpile with a rapidly-germinating grass seed and surrounded with either silt fence or staked weed-free haybales. In the non-growing season, the stockpiles shall be protected by a tarpaulin covering the entire stockpile.

SURFACE STABILIZATION

All disturbed areas will be protected from erosion with the use of vegetative measures (e.g., grass seed mix, sod) hydromulch, weed-free hay or Curlex Excelsior Erosion Control Blankets.

Erosion control barriers consisting of silt fencing shall be placed around exposed areas during construction. Any areas stripped of vegetation during construction will be vegetated and/or mulched to prevent erosion of the exposed soils. In site areas where significant erosion potential exists (steep slopes/slopes exceeding 2:1) and/or where specifically directed, Curlex Excelsior Erosion Control Blankets (Manufactured by American Excelsior or approved equal) shall be installed. Mulch is also used alone for temporary stabilization in non-growing months.

Materials that may be used for mulching include weed-free straw/hay/salt hay, wood fiber, synthetic soil stabilizers, mulch netting, erosion control blankets or sod. A permanent vegetative cover will be established upon completion of construction of those areas which have been brought to finish grade and to remain undisturbed.

GENERAL LAND GRADING

The applicant or their representatives shall be on-site at all times when construction or grading activity takes place and shall inspect and document the effectiveness of all sediment and erosion control practices.

The intent of the erosion controls is to control all disturbed areas, such that soils are protected from erosion by temporary methods and, ultimately by permanent vegetation. All cut and fill slopes shall be kept to a maximum slope of 2:1. In the event that a slope must exceed a 2:1 slope, it shall be stabilized with stone rip-rap. On fill slopes, all material will be placed in layers not to exceed 9 inches in depth and adequately compacted. Where practicable, diversion swales shall be constructed on the top of all fill embankments to divert any overland flows away from the fill slope.

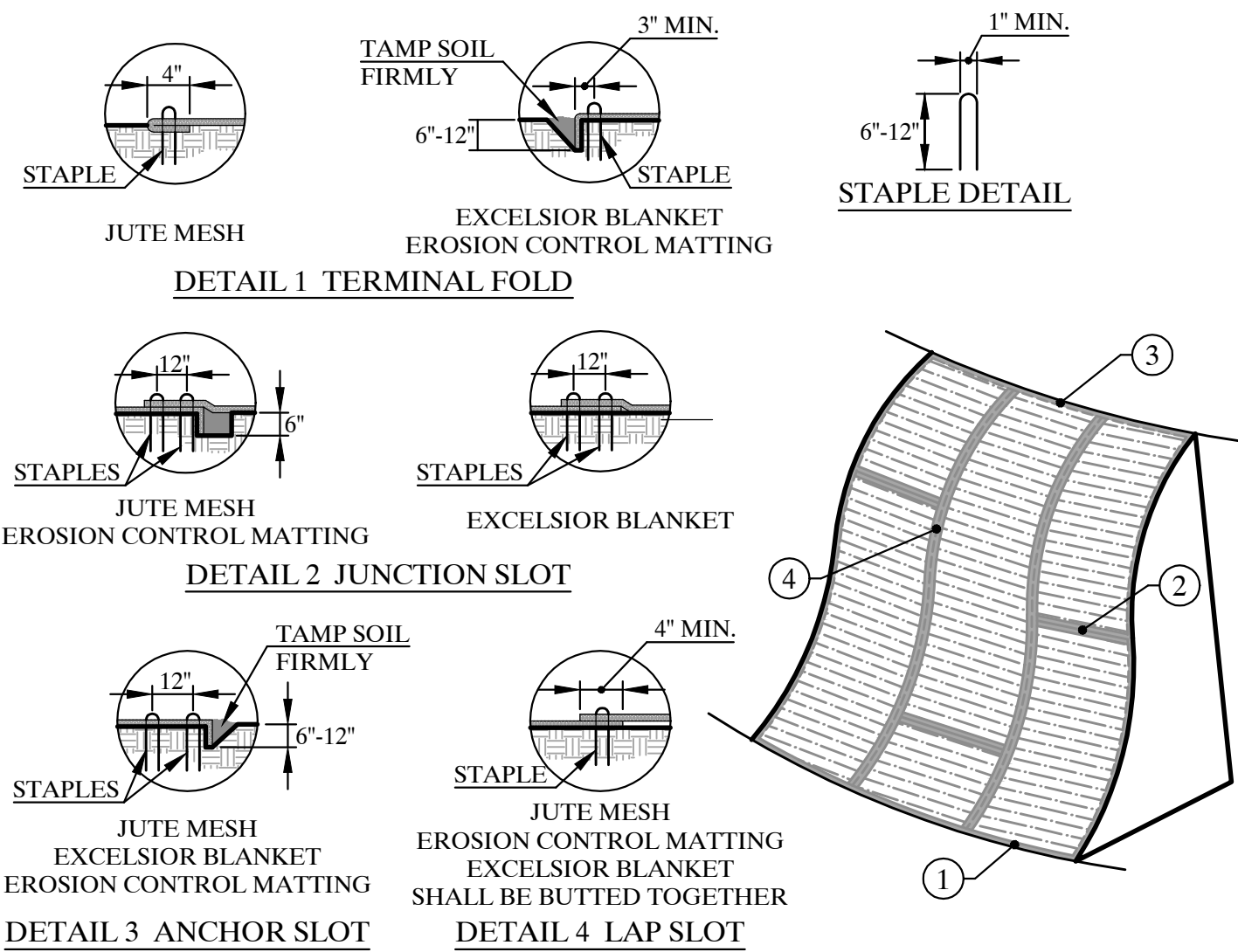
DUST CONTROL

Where vegetative or mulch cover is not practicable in disturbed areas of the site, dust shall be controlled by the use of water sprinkling. The surface shall be sprayed until wet. Dust control shall continue until such time as the entire site is adequately stabilized with permanent vegetative cover.

POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES

Pollution prevention practices for preventing litter, construction chemicals (if applicable) and construction debris from becoming a pollutant source in stormwater discharge includes daily pickup of construction debris, inspection, designated storage areas, and physical controls such as silt fencing and inlet protection. Inspections will also be conducted to ensure that dust control measures are utilized as necessary. During construction, maintenance, construction and waste materials will be stored within suitable areas/dumpsters, as appropriate, to minimize the exposure of the materials to stormwater and spill prevention. All maintenance and construction waste will be disposed of in a safe manner in accordance with all applicable regulations.

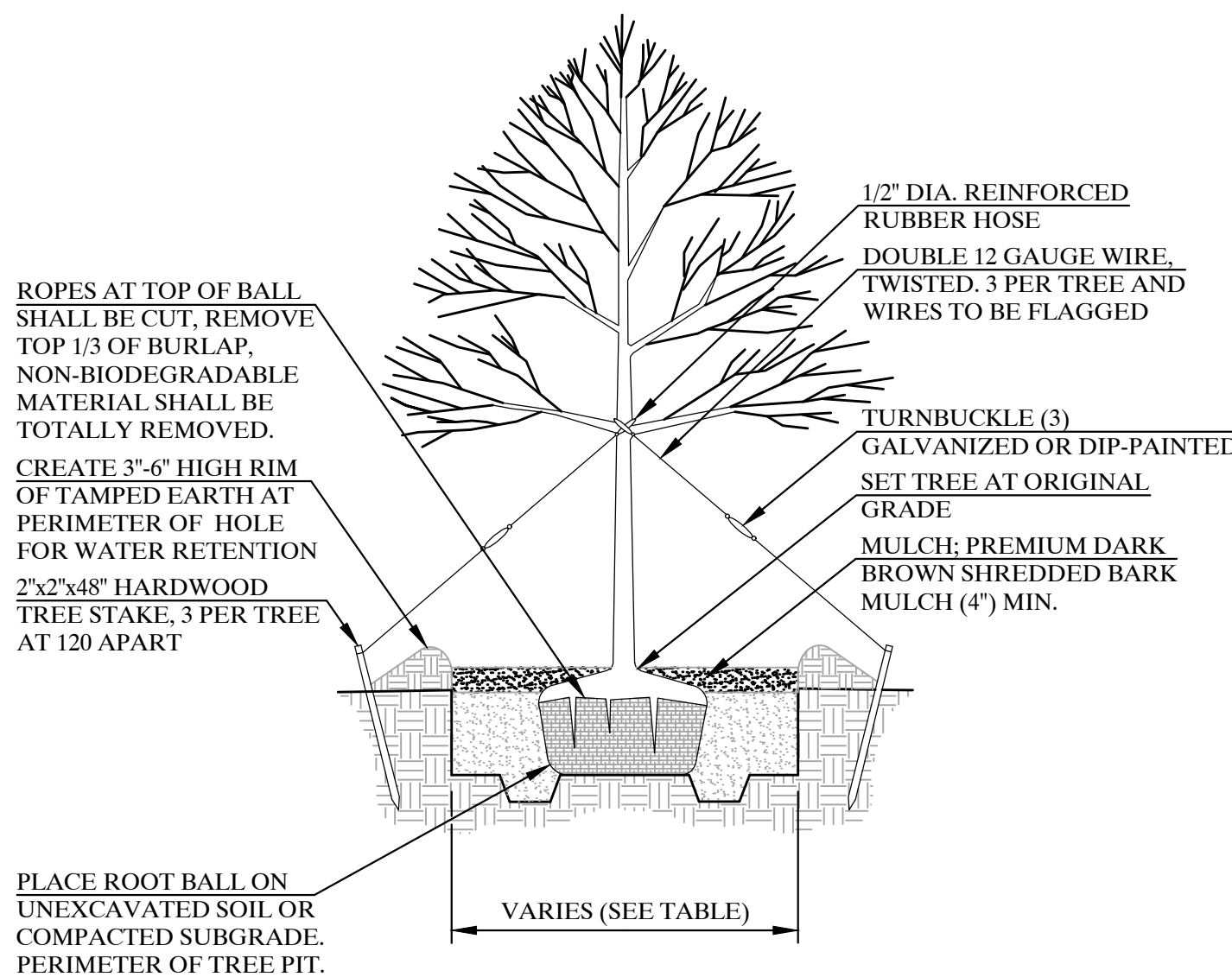
EROSION CONTROL BLANKET DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

- APPLY TO SLOPES GREATER THAN 3H:1V OR WHERE NECESSARY TO AID IN ESTABLISHING VEGETATION.
- APPLY FERTILIZER, LIME AND SEED PRIOR TO PLACING MATTING.
- STAPLES ARE TO BE PLACED ALTERNATELY, IN COLUMNS APPROXIMATELY 2' APART AND IN ROWS APPROXIMATELY 3' APART. APPROXIMATELY 175 STAPLES ARE REQUIRED PER 4' X 225' ROLL OF MATERIAL. AND 125 STAPLES ARE REQUIRED PER 4' X 150' ROLL OF MATERIAL.
- DISTURBED AREAS SHALL BE SMOOTHLY GRADDED. EROSION CONTROL MATERIAL SHALL BE PLACED LOOSELY OVER GROUND SURFACE. DO NOT STRETCH.
- ALL TERMINAL ENDS AND TRANSVERSE LAPS SHALL BE STAPLED AT APPROXIMATELY 12" INTERVALS.

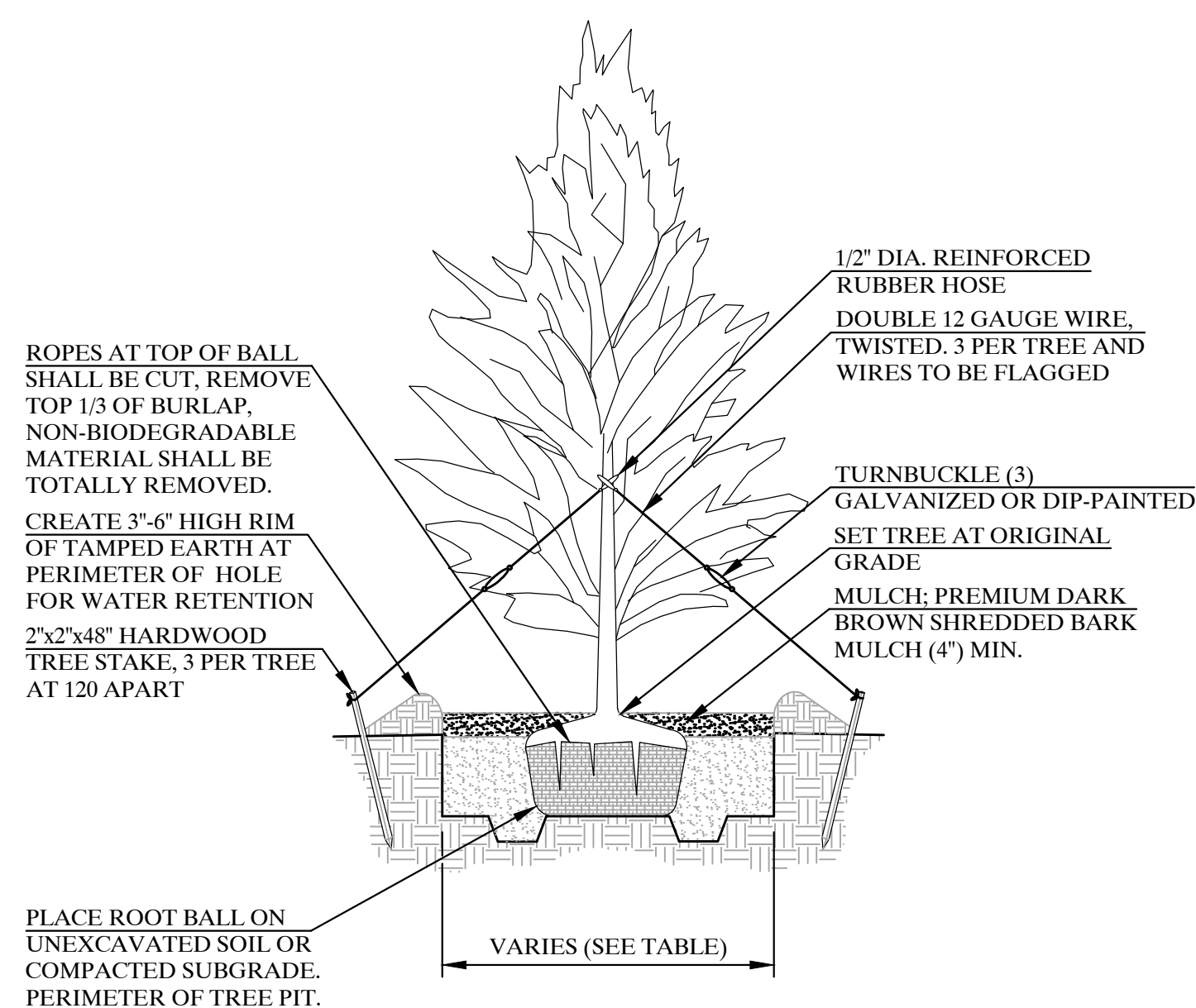
DECIDUOUS TREE PLANTING DETAIL (N.T.S.)



NOTE: PLANTED TREES SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4Ø	2X BALL Ø
4'-5'Ø	1 3/4X BALL Ø
GREATER THAN 5Ø	1 1/2X BALL Ø

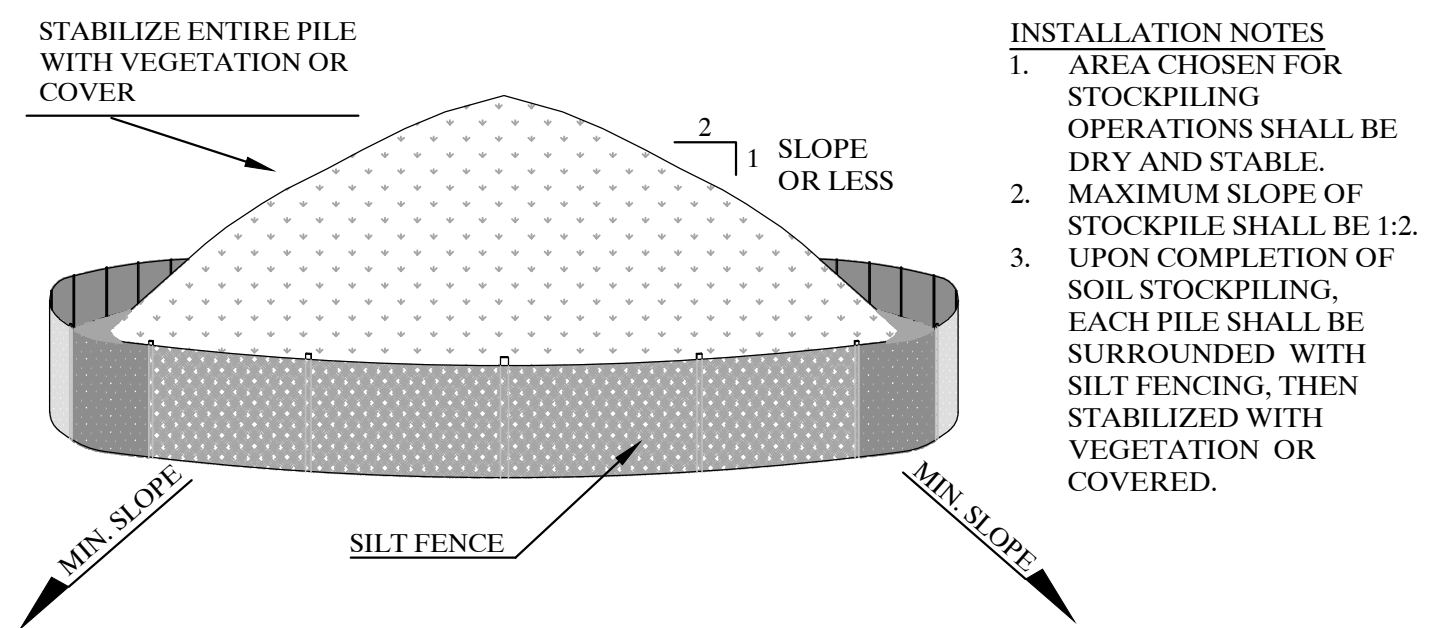
EVERGREEN TREE PLANTING DETAIL (N.T.S.)



NOTE: PLANTED TREES SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

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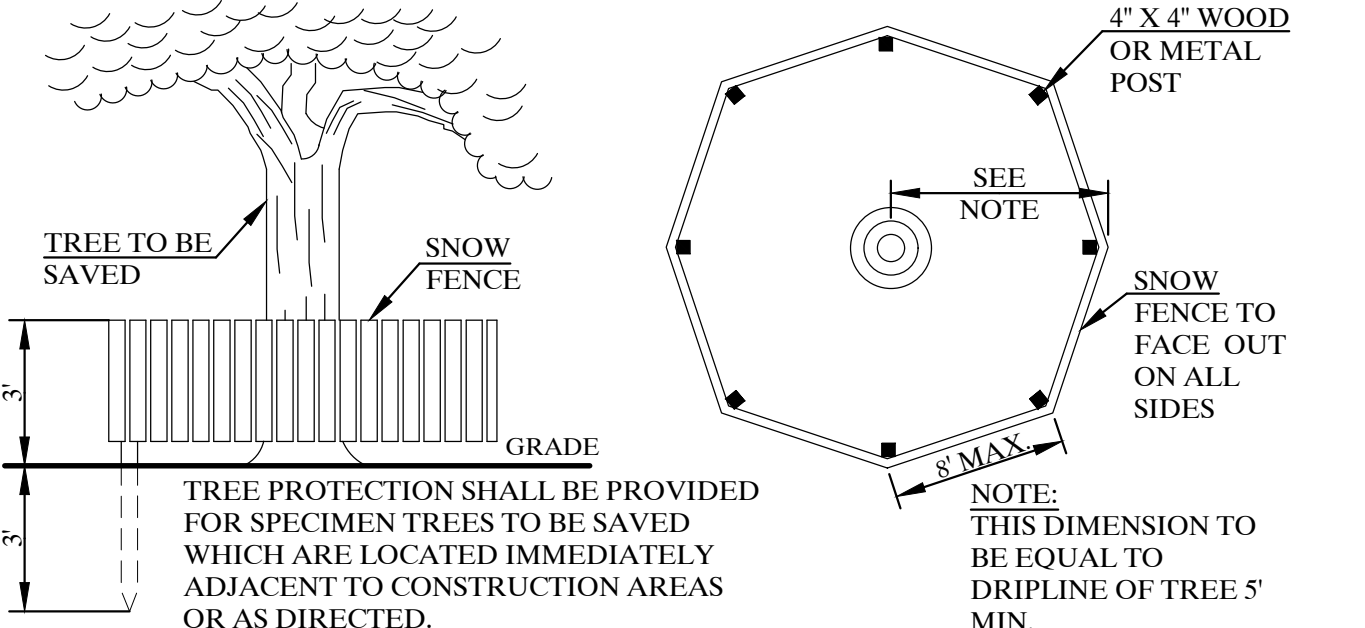
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TREE PROTECTION DETAIL (N.T.S.)



GENERAL LANDSCAPE NOTES:

- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL PROTECT FROM DAMAGE TO ALL EXISTING PAVEMENTS, UTILITIES, STRUCTURES, ETC. AND SHALL REPAIR AND/OR REPLACE ANY SUCH DAMAGE AT HIS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE A FOUR (4) INCH MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN/SOD AREAS AND A 12" MINIMUM DEPTH OF TOPSOIL FOR ALL PLANTING BEDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS. A MINIMUM OF 50% OF PLANTS PROVIDED SHALL BE THE LARGER END OF THE SIZE RANGE.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS AND BE NURSERY-GROWN.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE BALLED AND WRAPPED AS SPECIFIED. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- A MINIMUM OF FOUR (4) INCHES (DEPTH) OF PREMIUM DARK BROWN BARK MULCH SHALL BE PLACED AROUND ROOT BALLS OF TREES/SHRUBS. THE MULCH AREA SHALL BE AT LEAST TWO TIMES THE DIAMETER OF THE PLANT CONTAINER OR ROOT BALL.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
- ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDECIDUANT WITHIN 24 HOURS AFTER PLANTING. IN ADDITION, ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDECIDUANT AT THE BEGINNING OF THEIR FIRST WINTER.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.

KELLARD SESSIONS
CONSULTING

ENGINEERING,
LANDSCAPE
ARCHITECTURE
&
PLANNING, P.C.

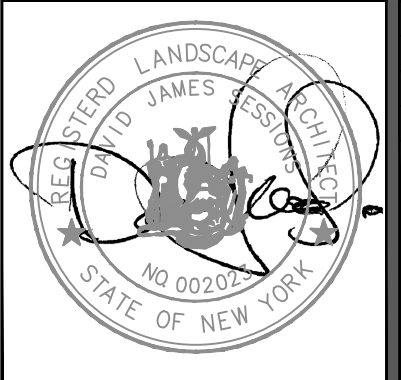
500 MAIN STREET
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WWW.KELSES.COM

EROSION & SEDIMENT CONTROL DETAILS/NOTES SUBDIVISION FOR JOANNE SCHNEIDER

TOWN OF OSSINING

WESTCHESTER COUNTY, NEW YORK



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PROJECT I.D.:

SND100

DATE:

MAY 9, 2016

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND/OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 720(2) OF THE NEW YORK STATE EDUCATION LAW