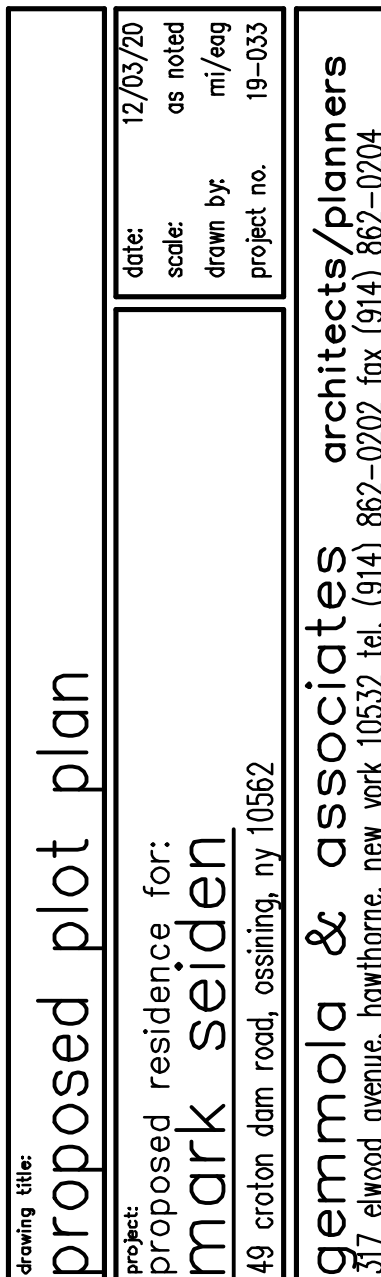
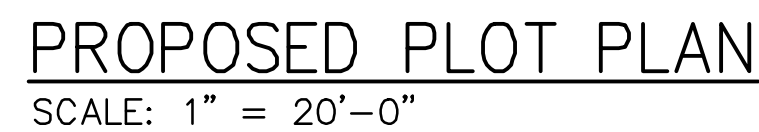


- ALL TREES ARE TO BE REGULATED BY CHAPTER 183 : TREE PROTECTION, OF THE TOWN OF OSSINING CODE.
- ALL INDICATED TREES REMOVED DUE TO STORM DAMAGE.

TOWN OF OSSINING (EXISTING LOT)

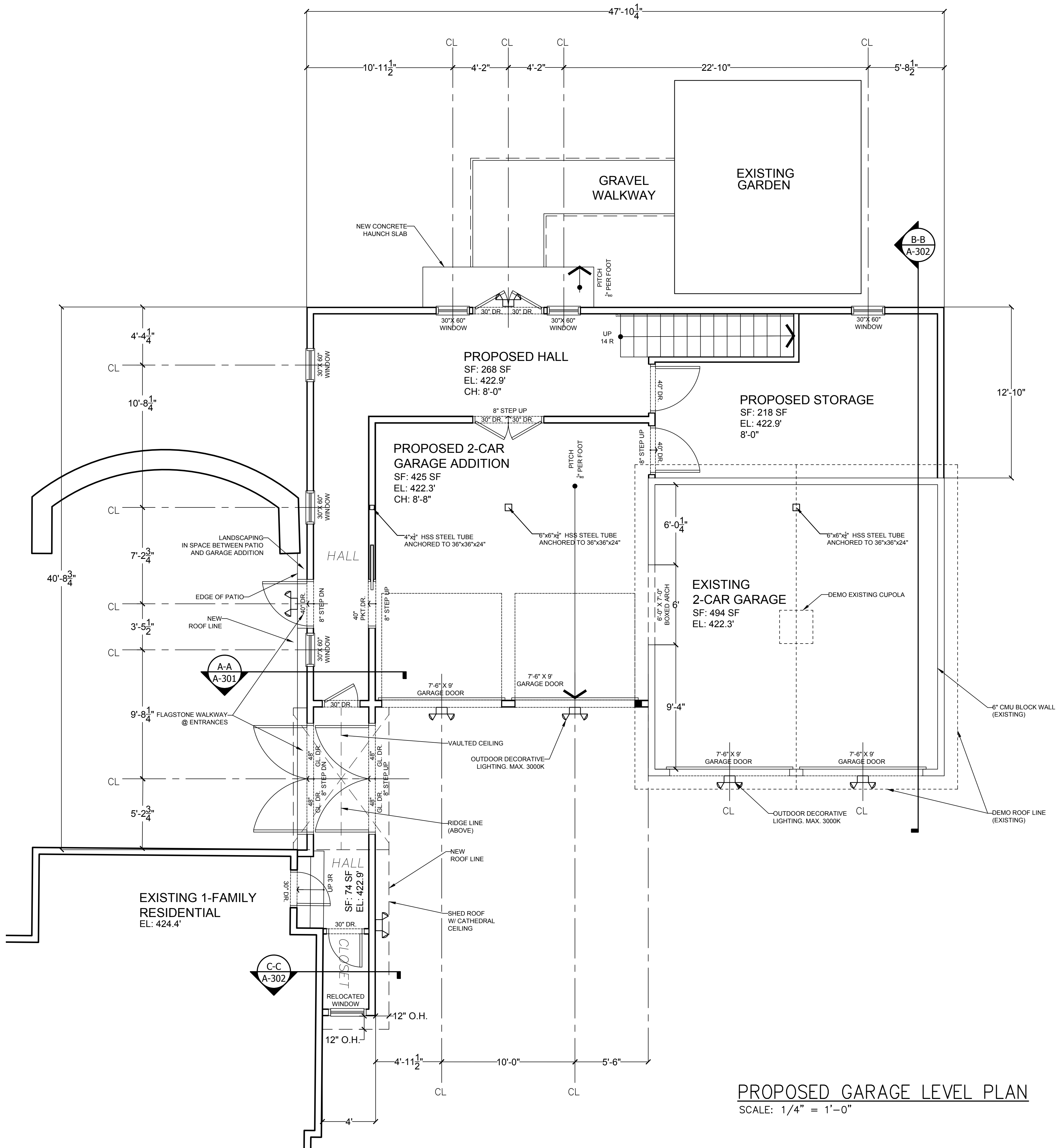
[illegible][illegible]

SY-101



NOTES:

- ALL OUTDOOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES
- THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN
- THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK TILL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED
- THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3000 DEGREES KELVIN

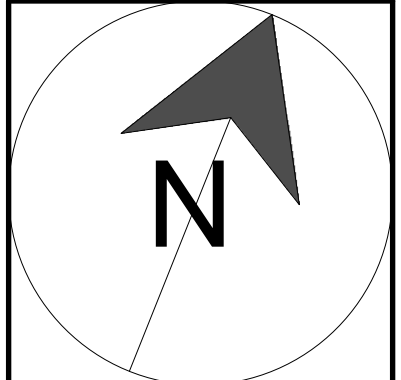


PROPOSED GARAGE LEVEL PLAN
SCALE: 1/4" = 1'-0"

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- The Architect is not responsible for Construction Phase. Administration of the construction of the project is the responsibility of the Owner.
- The information shown on this drawing is purposed to be accurate but not guaranteed. Existing conditions (if applicable) should be verified in the field.

SPECIAL NOTES

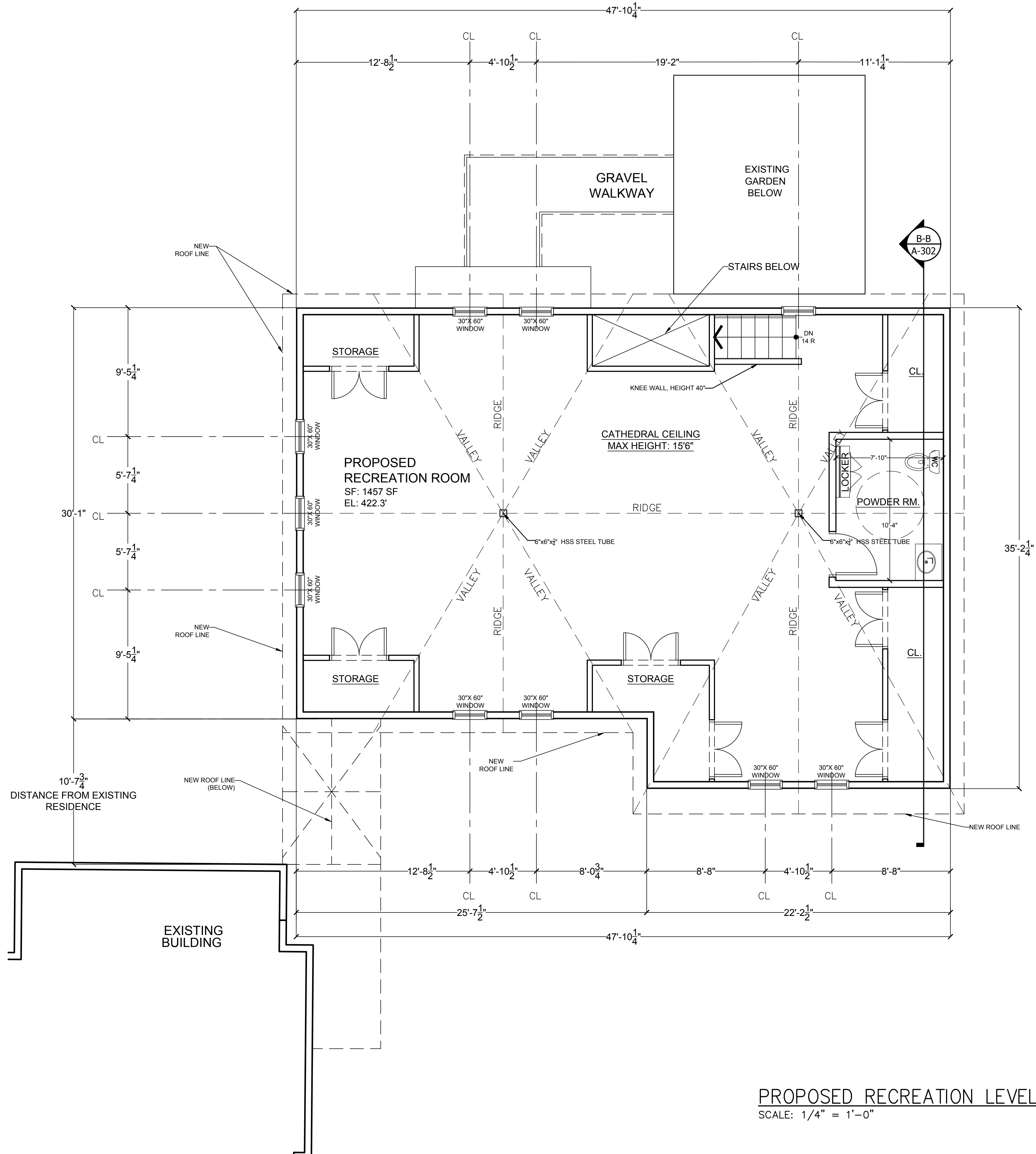
Rev. No.	By	Date	Description
6	MI	12/07/20	general revisions
5	MI	11/08/20	general revisions
4	MI	10/29/20	general revisions
3	MI	10/29/20	general revisions
2	MI	07/14/20	general revisions
1	MI	07/10/20	revisions made as per meeting with owner



drawing title:	proposed garage plan
date:	12/03/20
scale:	as noted
drawn by:	mi/agg
project no.:	19-033
proposed residence for:	mark seiden
project:	149 craton dam road, cossing, ny 10562
architects/planners:	gemmola & associates
address:	377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

A-101

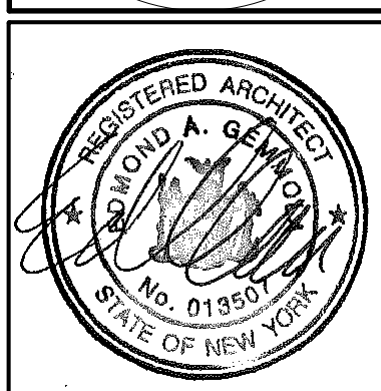
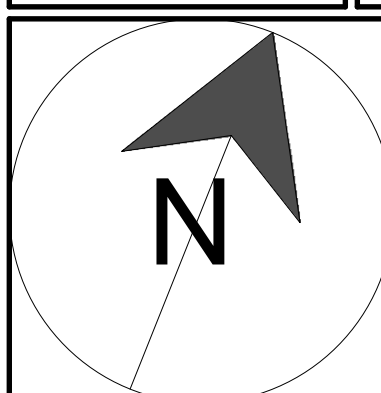


PROPOSED RECREATION LEVEL PLAN
SCALE: 1/4" = 1'-0"

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- The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to disclose/verify the scope of this work with the Owner.
- The Architect is not responsible for Construction Phase. Administration of the construction is the responsibility of the Owner.
- Existing conditions (if applicable) should be verified in the field.

SPECIAL NOTES

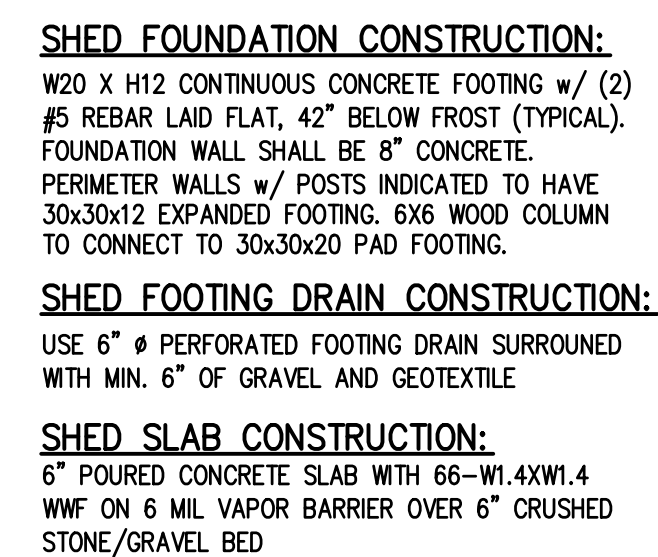
REV. NO.	BY	DATE	DESCRIPTION
6	ML	12/01/20	general revision
5	ML	11/18/20	general revision
4	ML	10/20/20	general revision
3	ML	10/29/20	general revision
2	ML	07/14/20	general revision
1	ML	07/10/20	revisions made as per meeting with owner



drawing title:	proposed recreation room plan
project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
date:	12/03/20
scale:	as noted
drawn by:	ml/rog
project no.:	19-033
architects/planners:	gemmola & associates 371 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

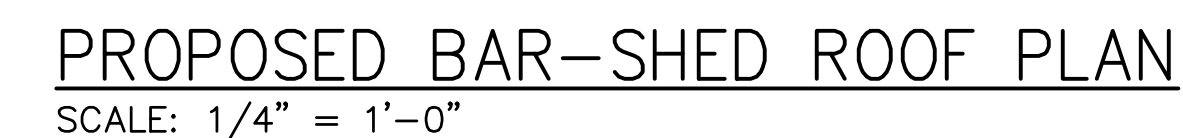
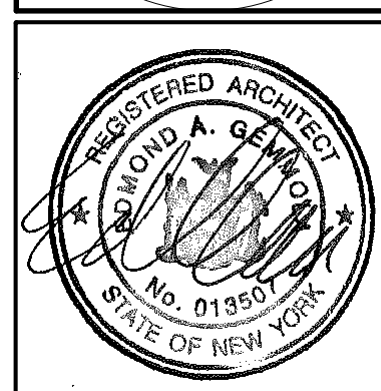
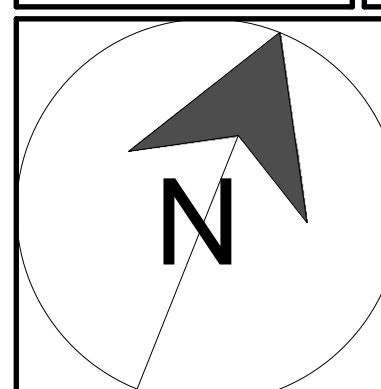
A-102

RESIDENCE
EXISTING

PROPOSED BAR-SHED STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"



no.	box	date	revision
7	M	12/03/20	general revision
6	M	12/01/20	general revision
5	M	11/18/20	general revision
4	M	10/30/20	general revision
3	M	10/29/20	general revision
2	M	07/14/20	general revision
1	M	07/10/20	revisions made as per meeting with owner



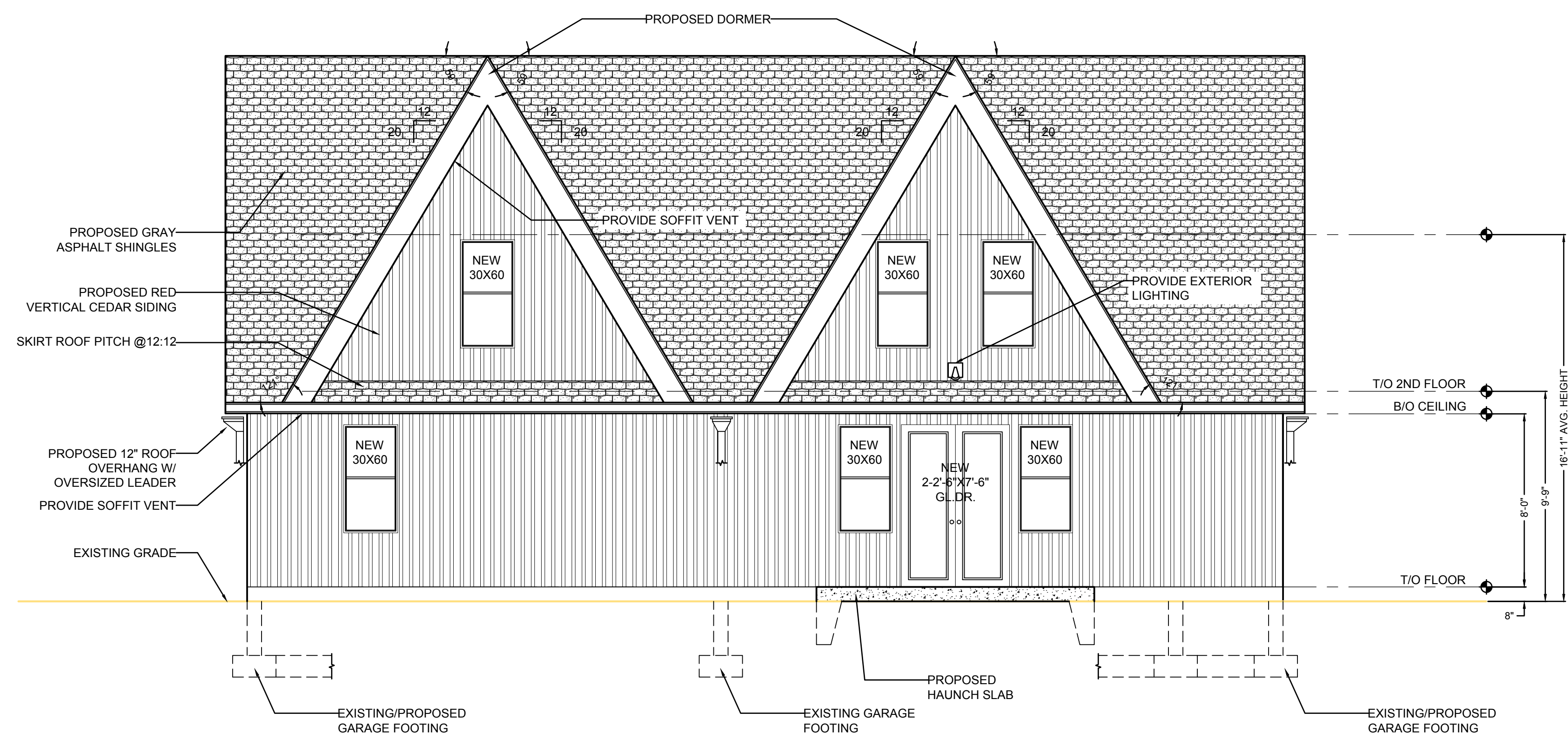
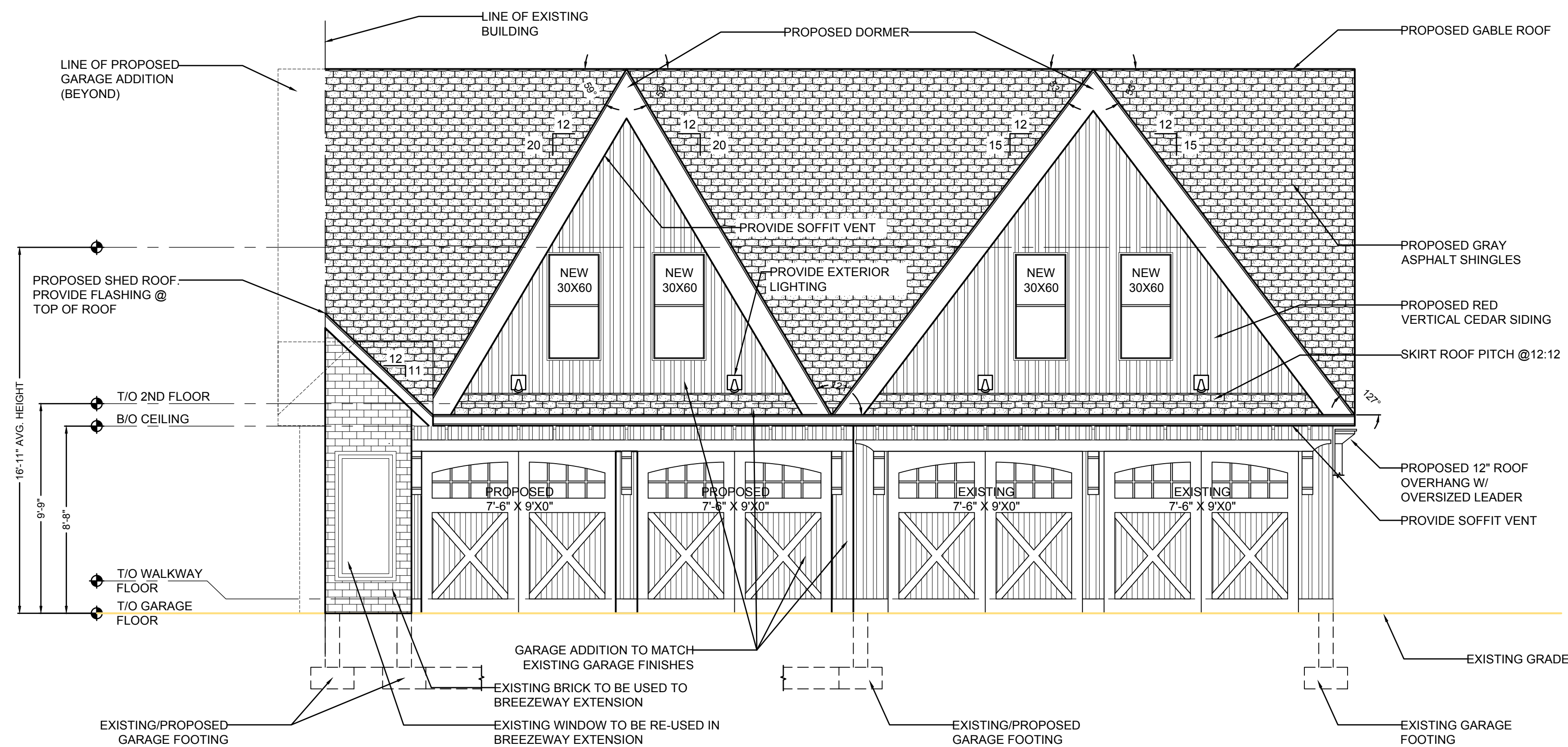
drawing title:
proposed outdoor bar-shed plans

project:	proposed residence for: mark seiden	date:	12/03/20
	49 croton dam road, ossining, ny 10562	scale:	as noted
		drawn by:	mi/eg
		project no.	19-033

gemmola & associates architects/planners
317 elmwood avenue hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

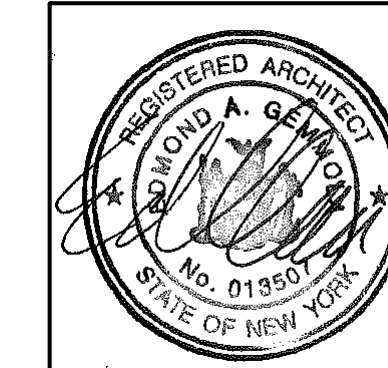
drawing no.

A-103

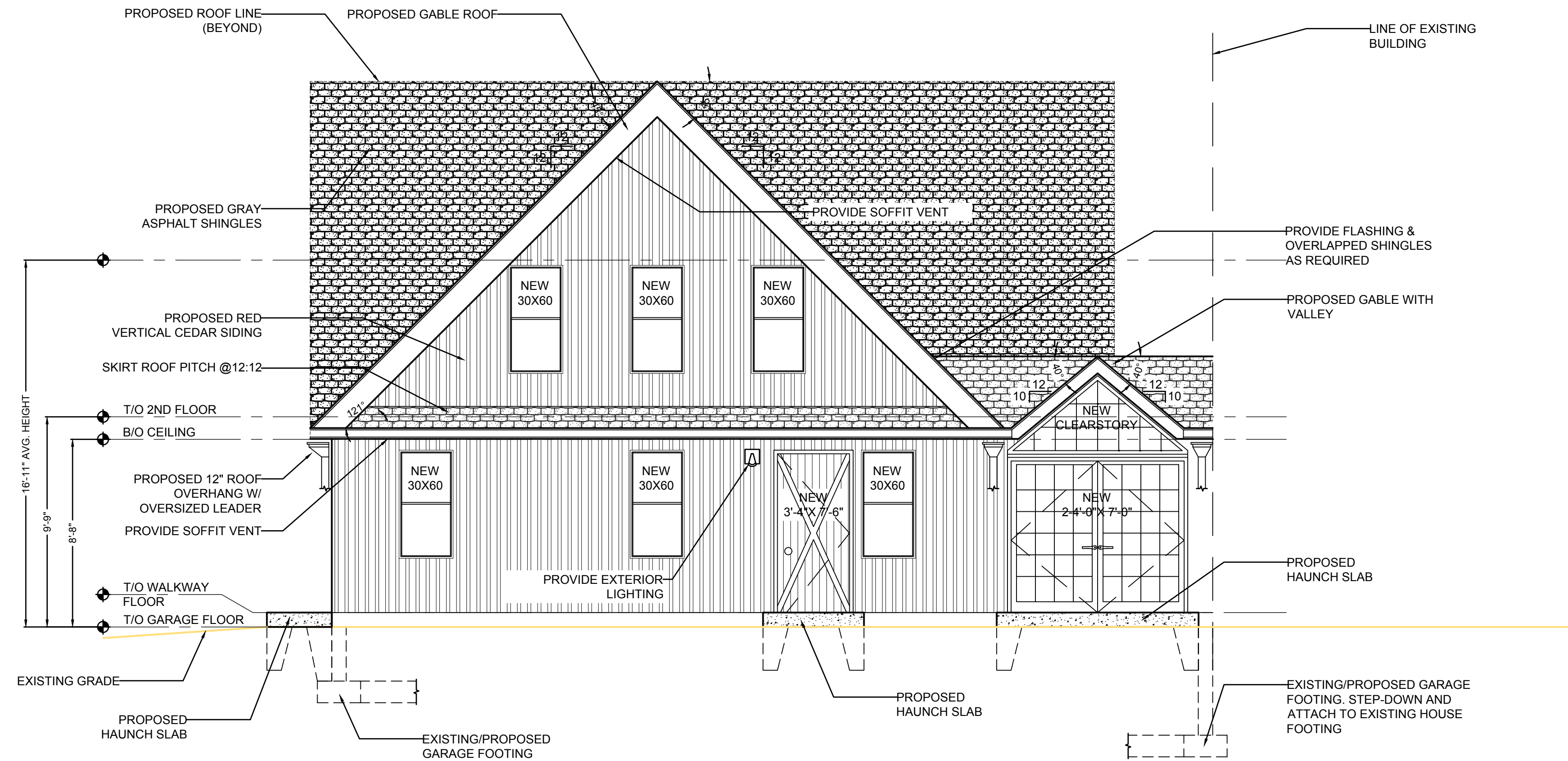


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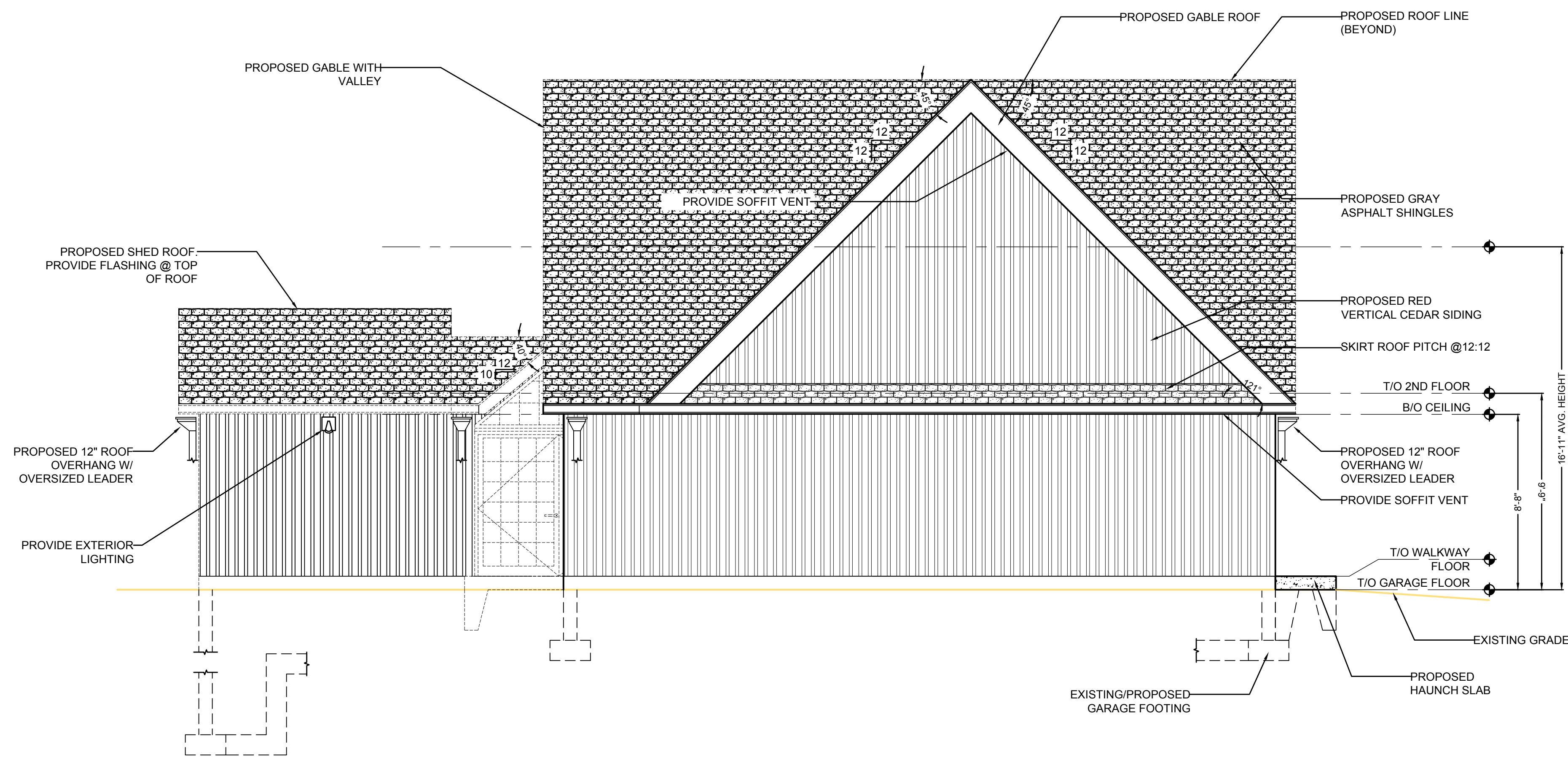
SPECIAL NOTES		
6	MI	12/01/20
5	MI	11/18/20
4	MI	10/29/20
3	MI	10/29/20
2	MI	07/14/20
1	MI	07/10/20



drawing title: proposed elevations		date: 12/03/20 scale: as noted drawn by: ml/earg project no. 19-033	
project: proposed residence for: mark seiden 49 crotan dam road, ossining, ny 10562			
architects/planners: gemma & associates			



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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The Architect is not responsible for Construction Phase. Administration of the construction of the project is the responsibility of the Owner.
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SPECIAL NOTES

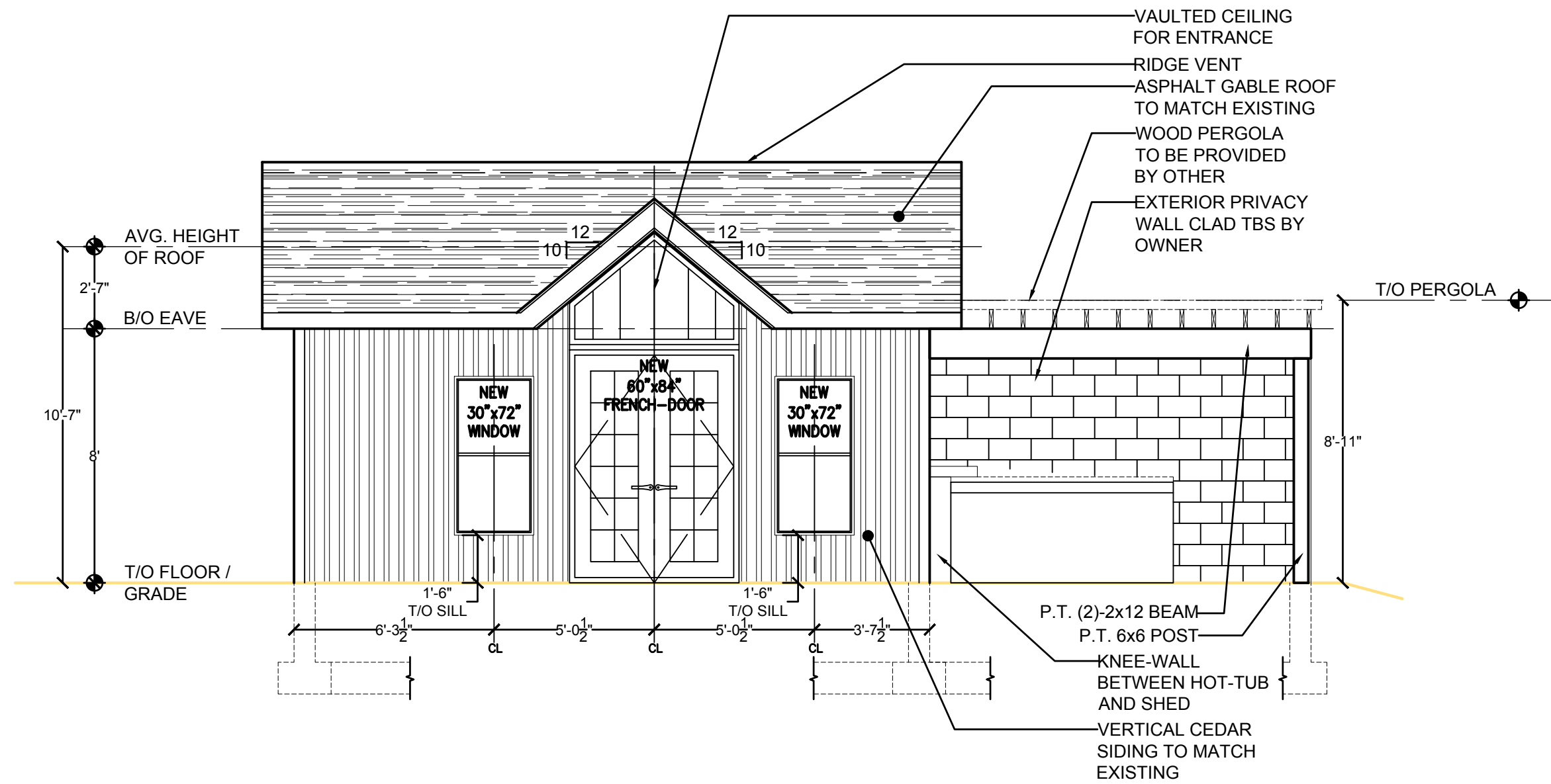
Rev. No.	By	Date	Description
6	ML	12/01/20	general revision
5	ML	11/18/20	general revision
4	ML	10/20/20	general revision
3	ML	10/29/20	general revision
2	ML	07/14/20	general revision
1	ML	07/10/20	revisions made as per meeting with owner



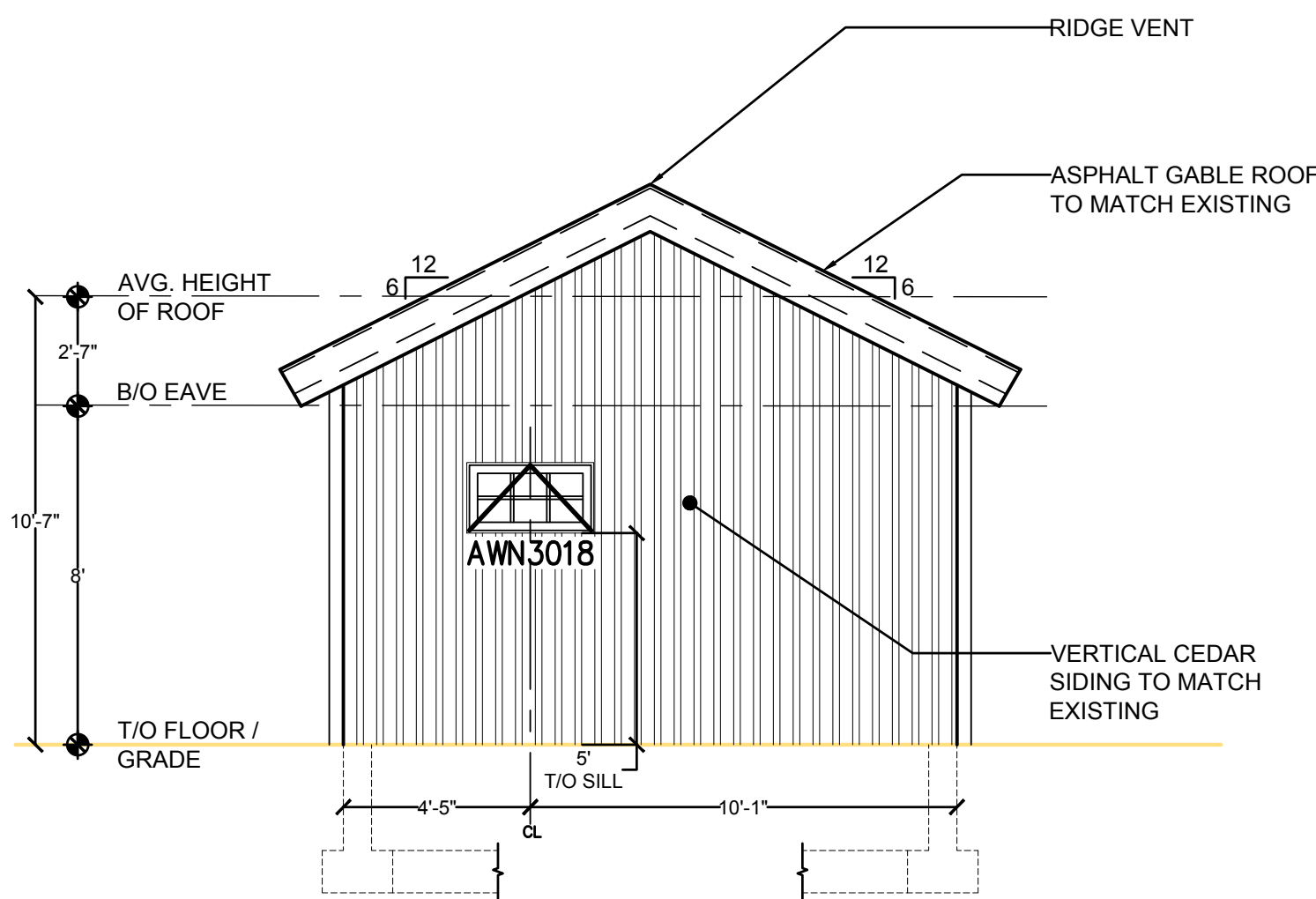
drawing title: **proposed elevations**
 project: **proposed residence for: mark seiden**
 49 croton dam road, cossing, ny 10562
 date: 12/03/20
 scale: as noted
 drawn by: ml/agg
 project no. 19-033
 gemmola & associates architects/planners
 377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

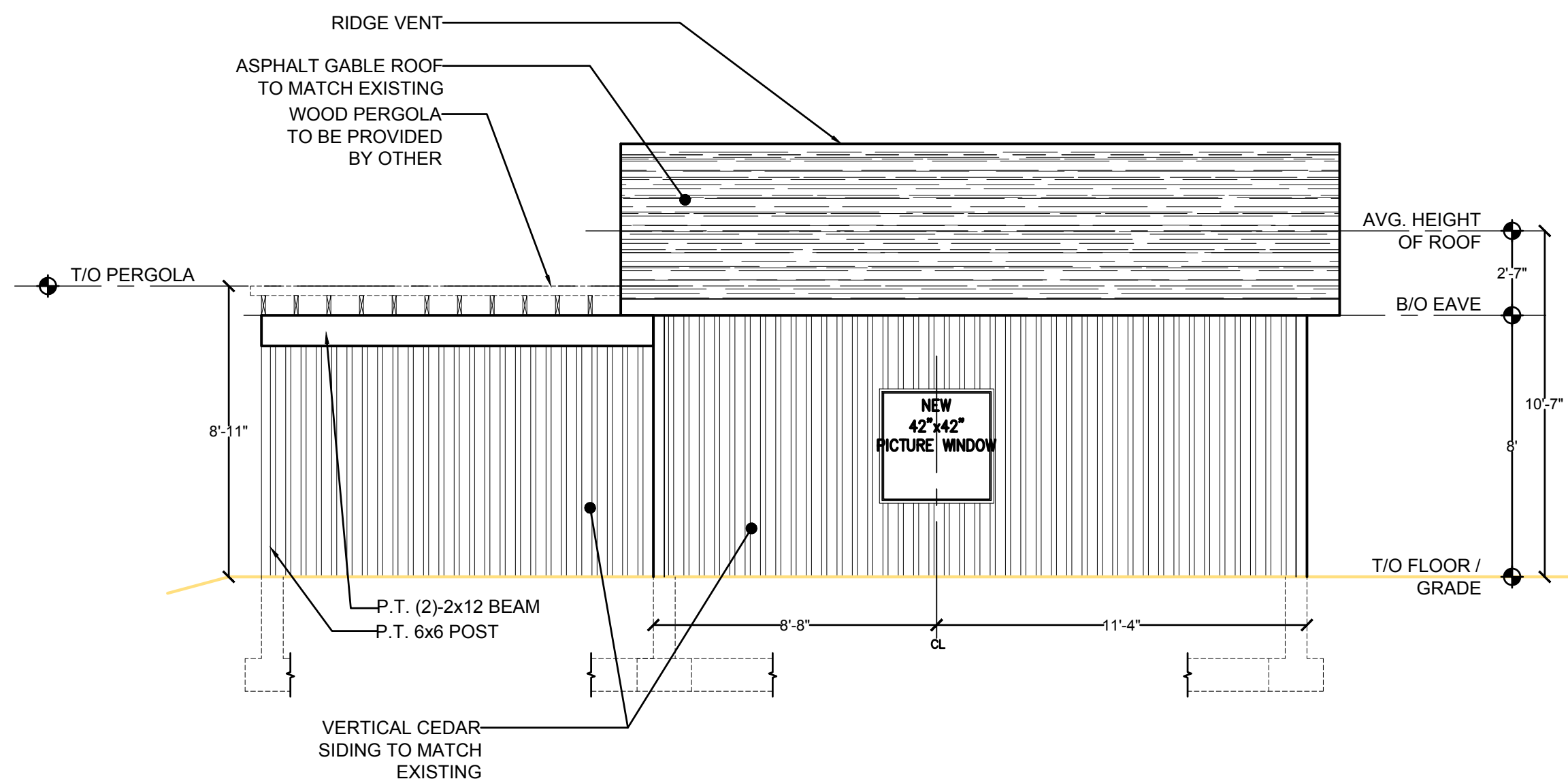
A-202



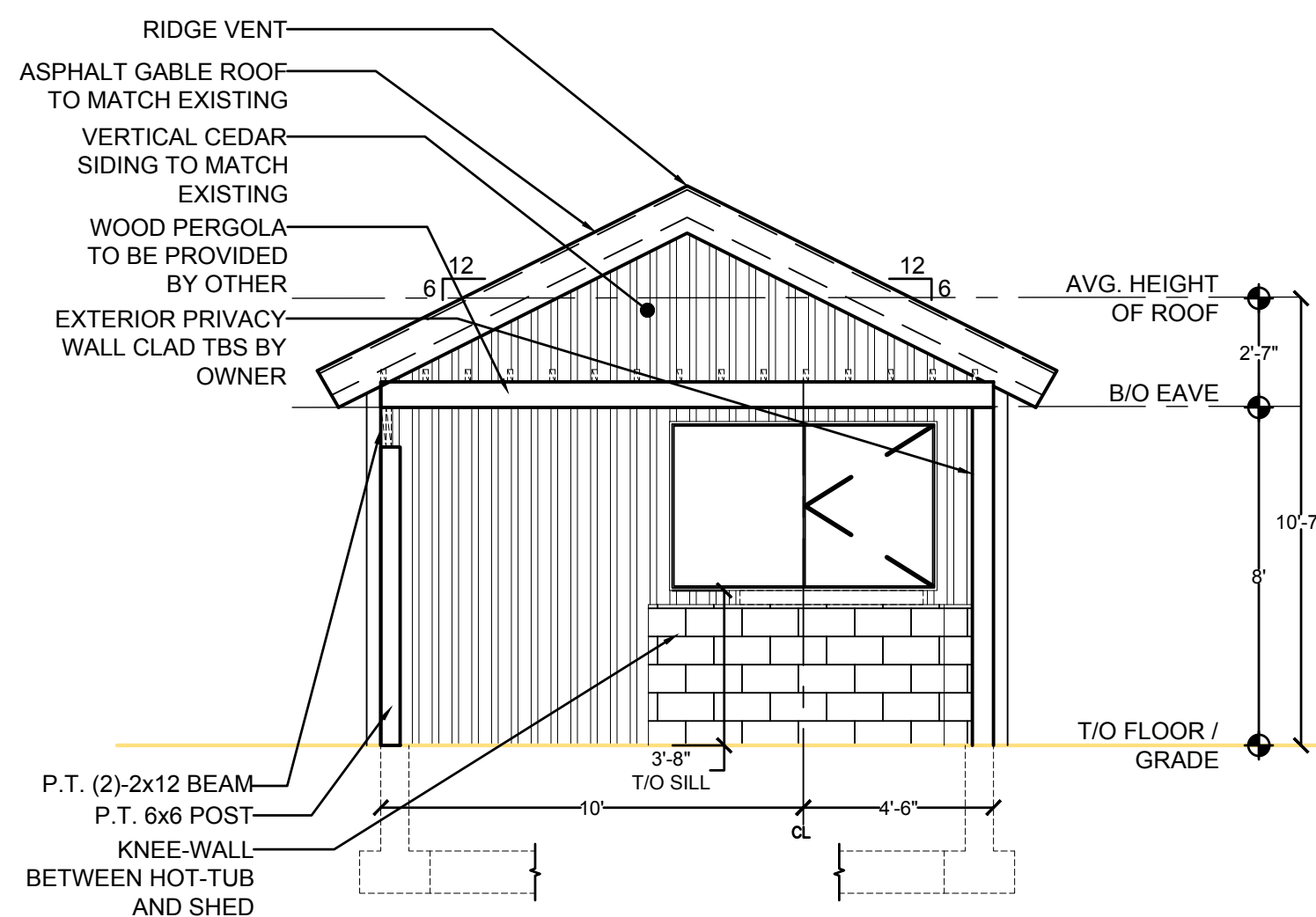
PROPOSED FRONT ELEVATION-1
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION-3
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION-2
SCALE: 1/4" = 1'-0"

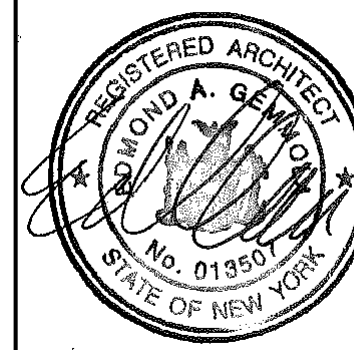


PROPOSED RIGHT ELEVATION-4
SCALE: 1/4" = 1'-0"

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The Architect is not responsible for Construction Phase. Administration of the construction is the responsibility of the Owner.
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SPECIAL NOTES

Rev. No.	By	Date	Description
7	MI	12/03/20	general revision
6	MI	12/01/20	general revision
5	MI	11/18/20	general revision
4	MI	10/29/20	general revision
3	MI	10/29/20	general revision
2	MI	07/14/20	general revision
1	MI	07/10/20	revisions made as per meeting with owner



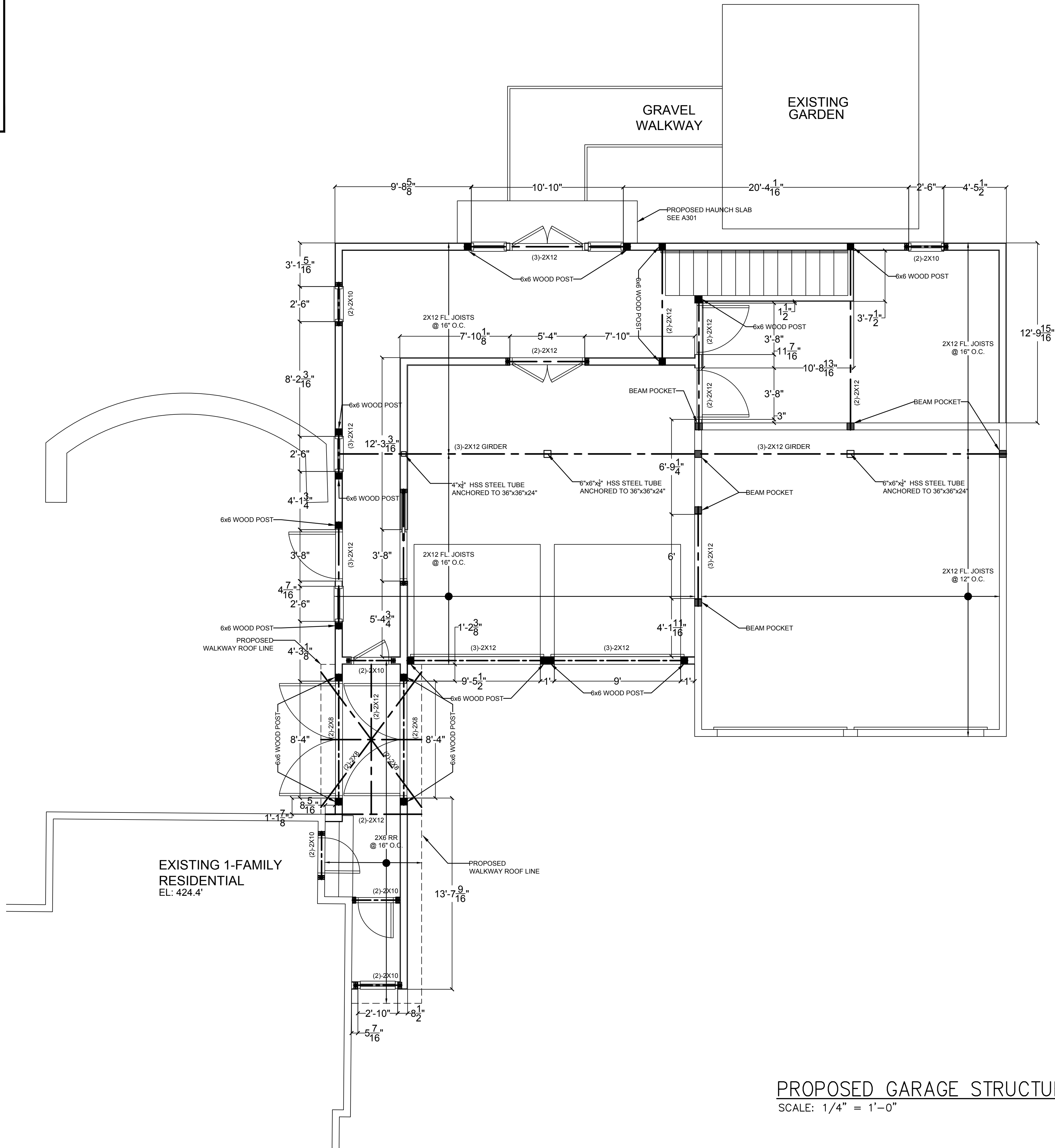
drawing title:	proposed elevations
project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
date:	12/03/20
scale:	as noted
drawn by:	mi/rog
project no.:	19-033
architects/planners:	gemma & associates
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

A-203

NOTES!

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



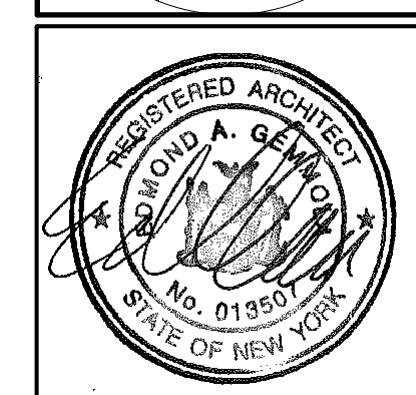
- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



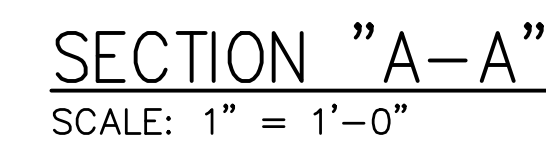
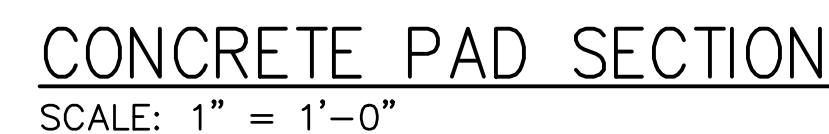
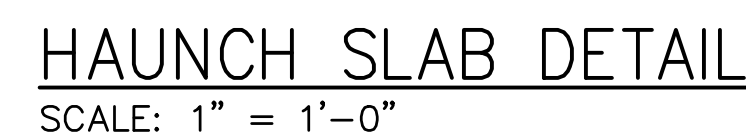
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- The Architect is not responsible for the construction of the building by the Owner, Architect or Associates in whole or part without the written authorization of Gemmaio & Associates.
- The Architect is not responsible for the construction of the building by the Owner, Architect or Associates in whole or part without the written authorization of Gemmaio & Associates.
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- The Architect is not responsible for the construction of the building by the Owner, Architect or Associates in whole or part without the written authorization of Gemmaio & Associates.
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- Do not make drawings.

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rev. no.	by	date	description
1	MI	07/10/20	revisions made as per meeting with owner
2	MI	07/14/20	general revisions
3	MI	10/23/20	general revisions
4	MI	10/29/20	general revisions
5	MI	11/18/20	general revisions
6	MI	12/01/20	general revisions

drawing no.

S-102



- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @
JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON
STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW
FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF
STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED

and are for the construction of that building only whose name appears on the plans.

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The architect is not responsible for Construction Phase. Administration of the construction is the responsibility of the contractor.

The information shown in this drawing is purported to be accurate but not guaranteed.

Existing conditions (if applicable) should be verified in the field.

- Do not scale drawings.

SPECIAL NOTES

4	MI	12/01/20	general revisions
3	MI	11/18/20	general revisions
2	MI	10/30/20	general revisions
1	MI	10/29/20	general revisions



proposed garage/recreation sections

project:	proposed residence for:	
date:	12/03/20	as noted
scale:		

mark seldom

49 croton dam road, ossining, ny 10562	project no. 19-033
--	--------------------

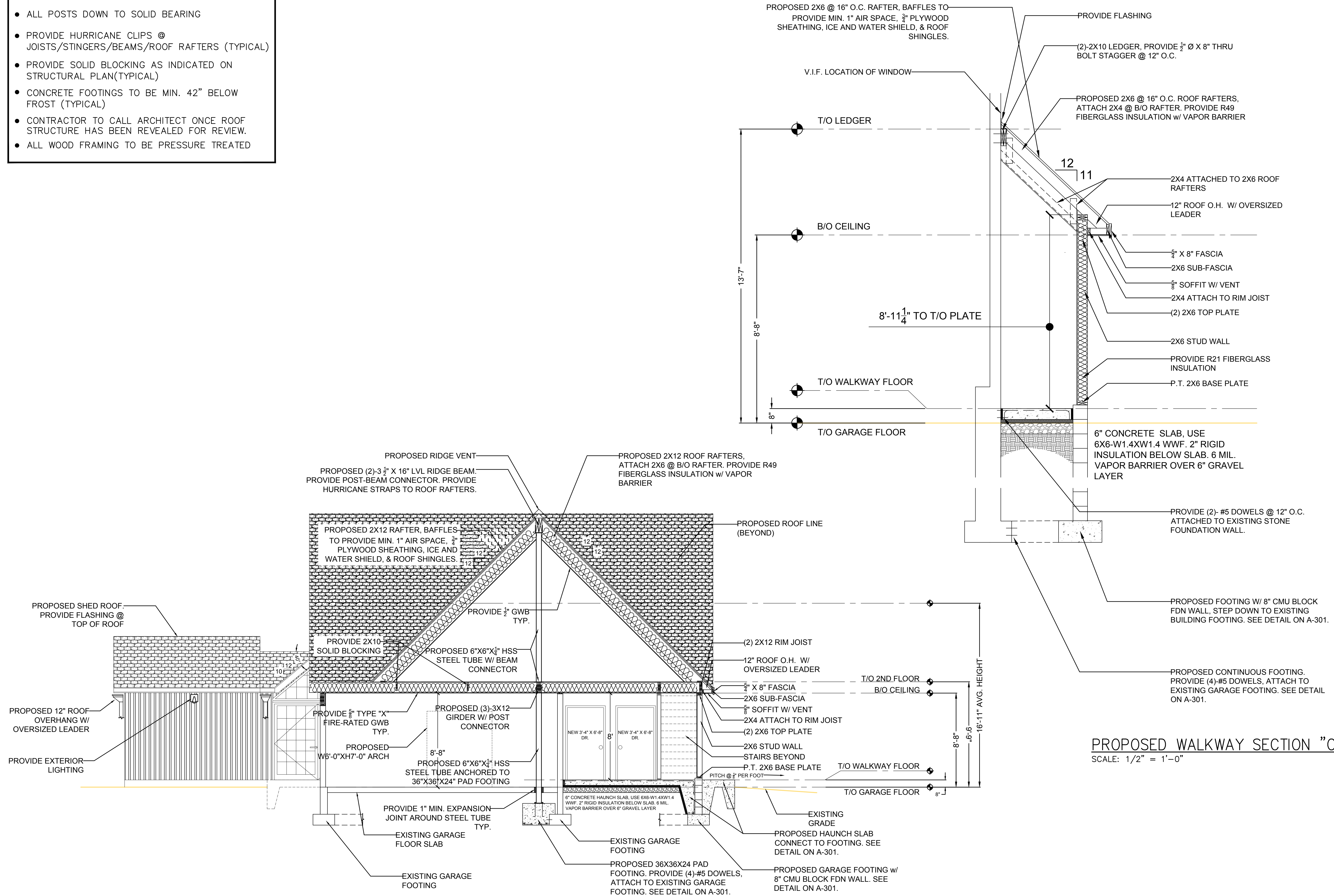
gemma & associates
317 ellwood avenue
hawthorne new york 10532 tel. (914) 862-0202 fax (914) 862-0204
architects/planners

drawing no.

A-301

NOTES!

- ALL POSTS DOWN TO SOLID BEARING
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- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



PROPOSED GARAGE SECTION "B-B"

SCALE: 1/4" = 1'-0"

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SPECIAL NOTES

REV.	NO.	BY	DATE	DESCRIPTION
3	1	MI	12/01/20	general revisions
2	2	MI	10/30/20	general revisions
1	1	MI	10/29/20	general revisions



proposed garage/recreation sections

date: 12/03/20
scale: as noted
drawn by: mi/agg
project no: 19-033

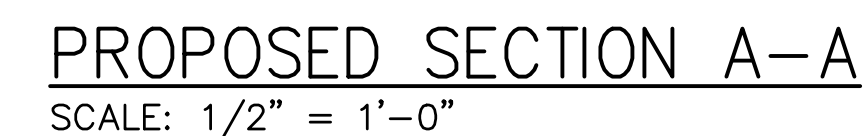
proposed residence for:
mark seiden
49 croton dam road, Ossining, NY 10562

gennola & associates architects/planners
317 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

A-302

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @
JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON
STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW
FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF
STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



4	Mt	12/03/20	general revisions
3	Mt	12/01/20	general revisions
2	Mt	10/30/20	general revisions
1	Mt	10/29/20	general revisions
rev. no.	by	date	description



proposed bar-shed sections	12/03/20
project: proposed residence for: mark seiden	date: scale: car noted drawn by ml/eng project no.
49 croton dam road, Ossining, ny 10562	19-033

gemmella & associates architects/planners
37 alwood avenue, howthorne, new york 10537 tel. (914) 862-0202 fax (914) 862-0204

Drawing no.

A-303

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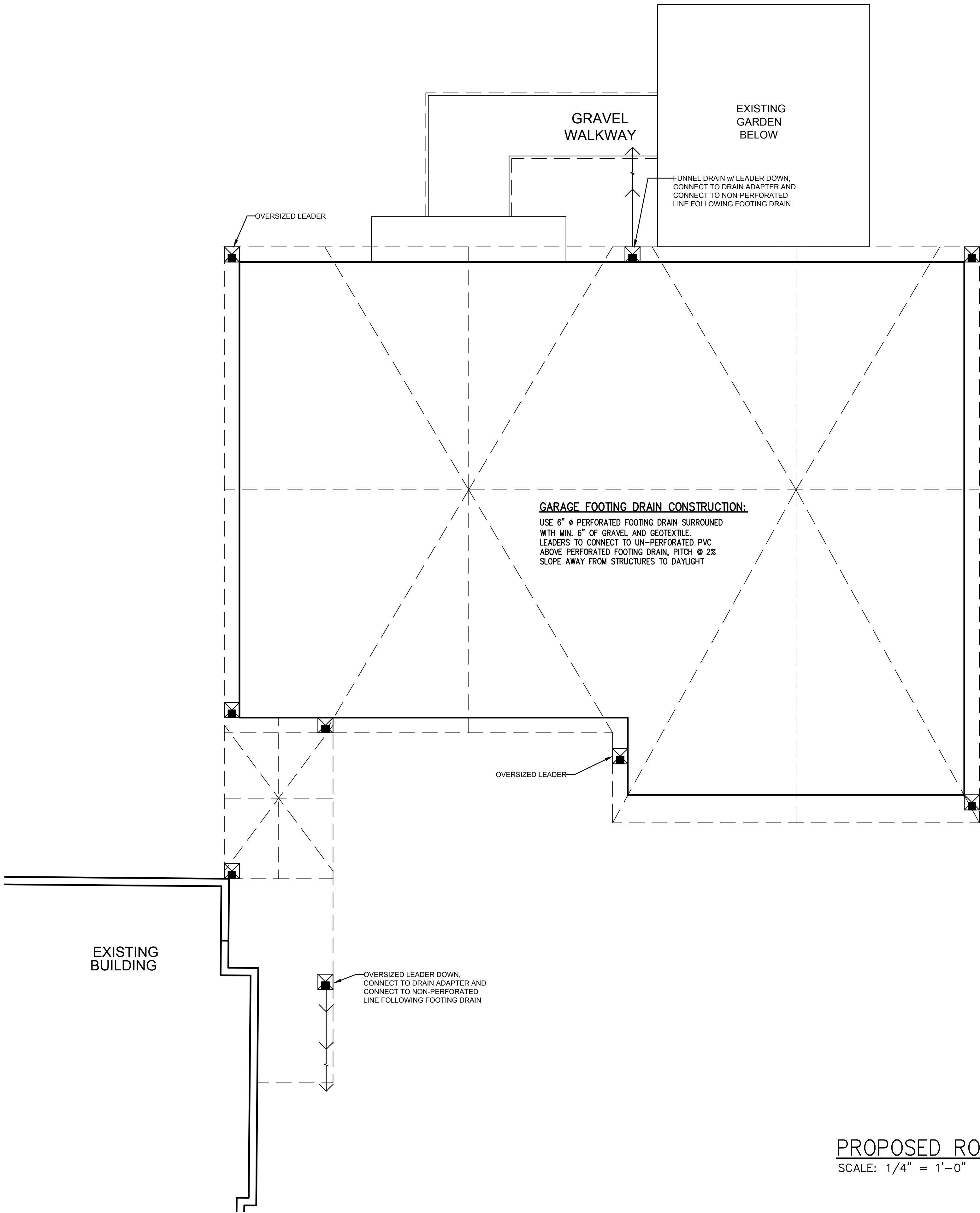
• The Architect is not responsible for Construction Phase. Administration of the construction documents is the responsibility of the Architect.

• The information shown in this drawing is purported to be accurate, but not guaranteed.

• Existing conditions (if applicable) should be verified in the field.

• Do not scale drawings.

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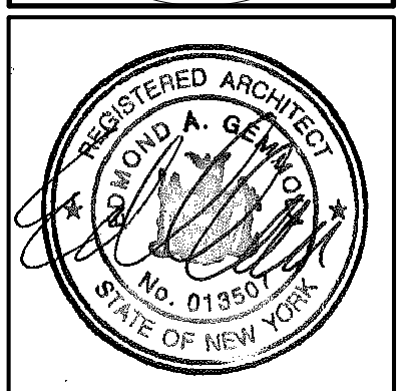
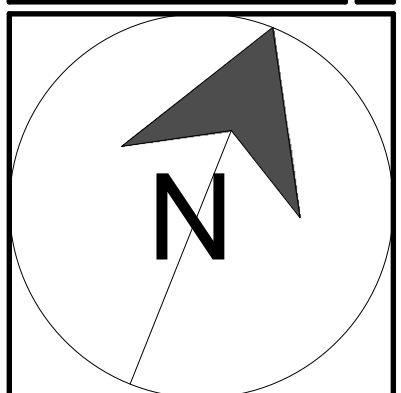


PROPOSED ROOF PLAN
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- The Architect is not responsible for Construction Phase. Administration of the construction shall be the responsibility of the Owner.
- Existing conditions (if applicable) should be verified in the field.
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SPECIAL NOTES

REV. NO.	BY	DATE	DESCRIPTION
1	ML	11/01/20	general revisions



drawing title: **proposed garage/recreation roof plan**

project:	date:	scale:
proposed residence for:	12/03/20	as noted
mark seiden	drawn by:	ml/rog
149 croton dam road, ossining, ny 10562	project no.	19-033

germola & associates architects/planners
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **R-101**