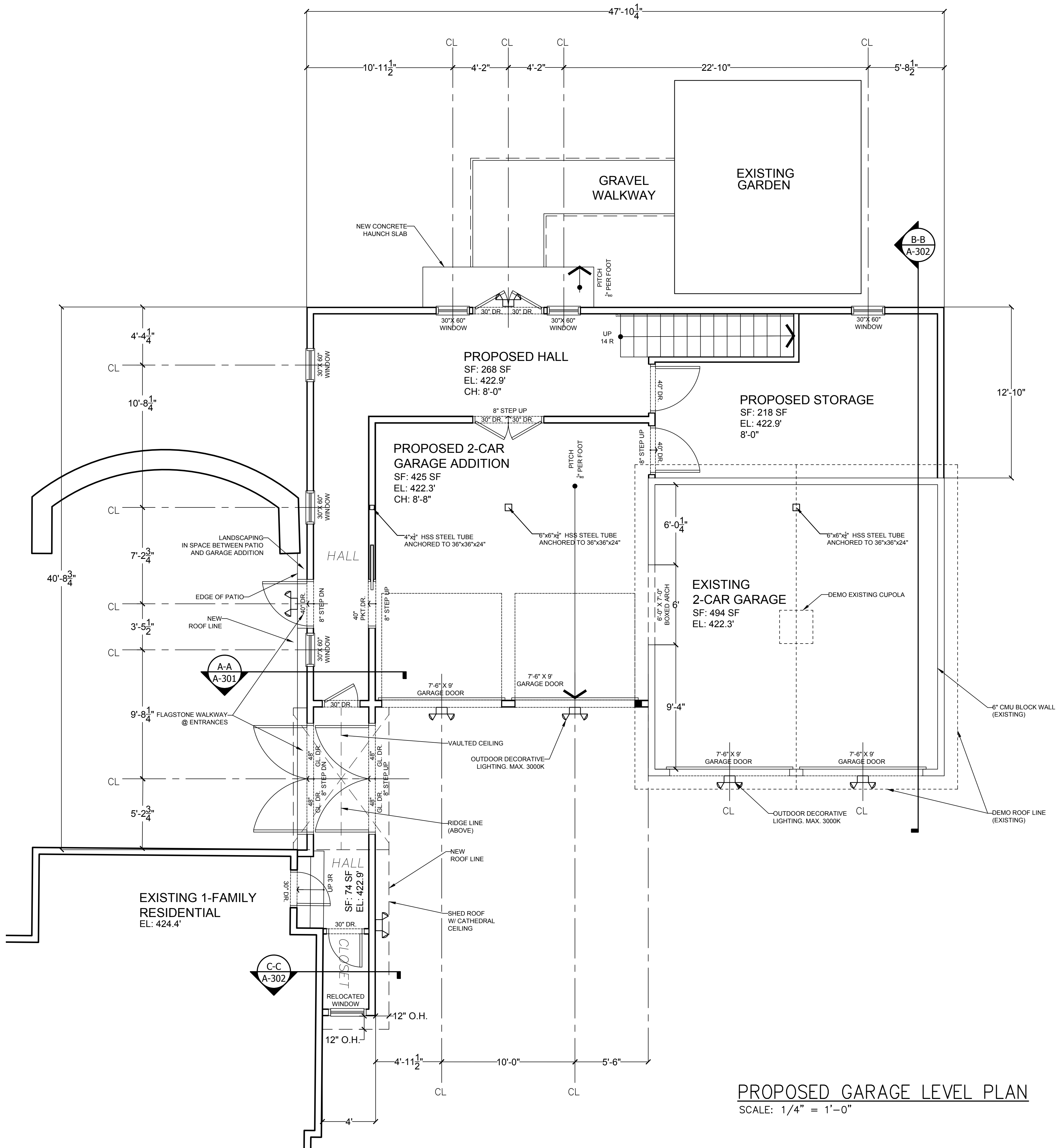




NOTES:

- ALL OUTDOOR LIGHTING SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES
- THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN
- THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK TILL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED
- THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3000 DEGREES KELVIN

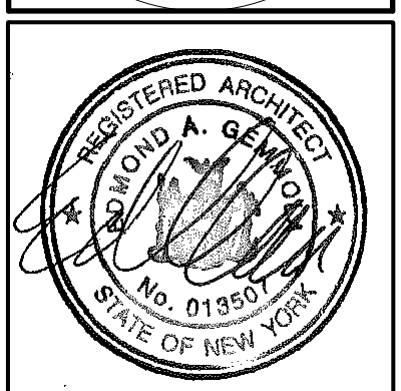
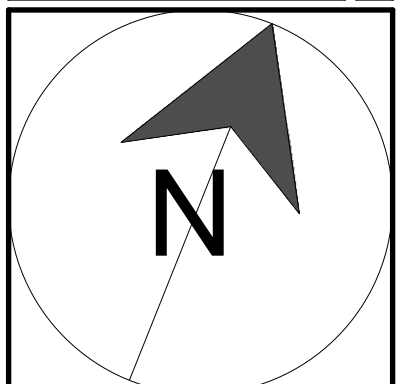


PROPOSED GARAGE LEVEL PLAN  
SCALE: 1/4" = 1'-0"

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SPECIAL NOTES

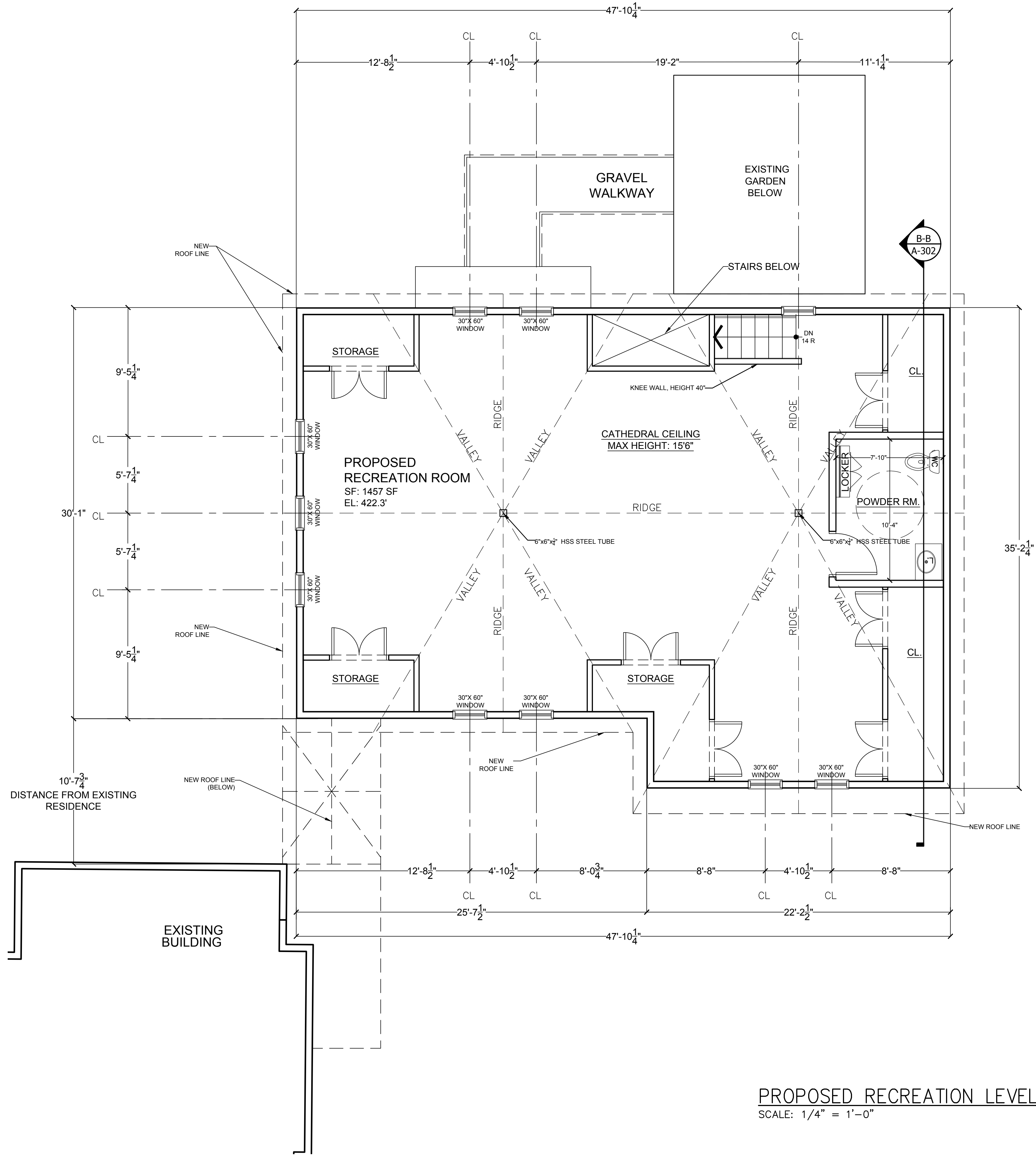
Rev. No.	By	Date	Description
6	MI	12/07/20	general revisions
5	MI	11/08/20	general revisions
4	MI	10/20/20	general revisions
3	MI	10/20/20	general revisions
2	MI	07/14/20	general revisions
1	MI	07/10/20	revisions made as per meeting with owner



drawing title:	proposed garage plan
date:	12/07/20
scale:	as noted
drawn by:	mi/ag
project no.:	19-033
proposed residence for:	mark seiden
project:	149 craton dam road, cossing, ny 10562
architects/planners:	gemmola & associates
new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

A-101

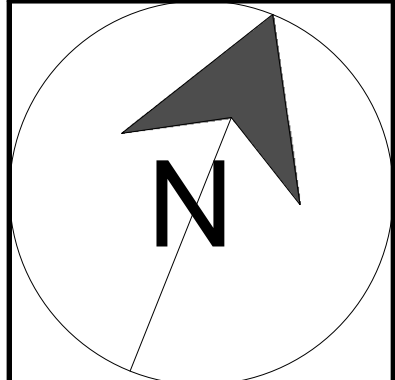


PROPOSED RECREATION LEVEL PLAN  
SCALE: 1/4" = 1'-0"

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- The contractor is to disclose/verify the scope of this work with the Owner.
- The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to disclose/verify the scope of this work with the Owner.
- The Architect is not responsible for Construction Phase. Administration of the construction is the responsibility of the Owner.
- Existing conditions (if applicable) should be verified in the field.

SPECIAL NOTES

REV. NO.	BY	DATE	DESCRIPTION
6	ML	12/01/20	general revision
5	ML	11/18/20	general revision
4	ML	10/20/20	general revision
3	ML	10/29/20	general revision
2	ML	07/14/20	general revision
1	ML	07/10/20	revisions made as per meeting with owner

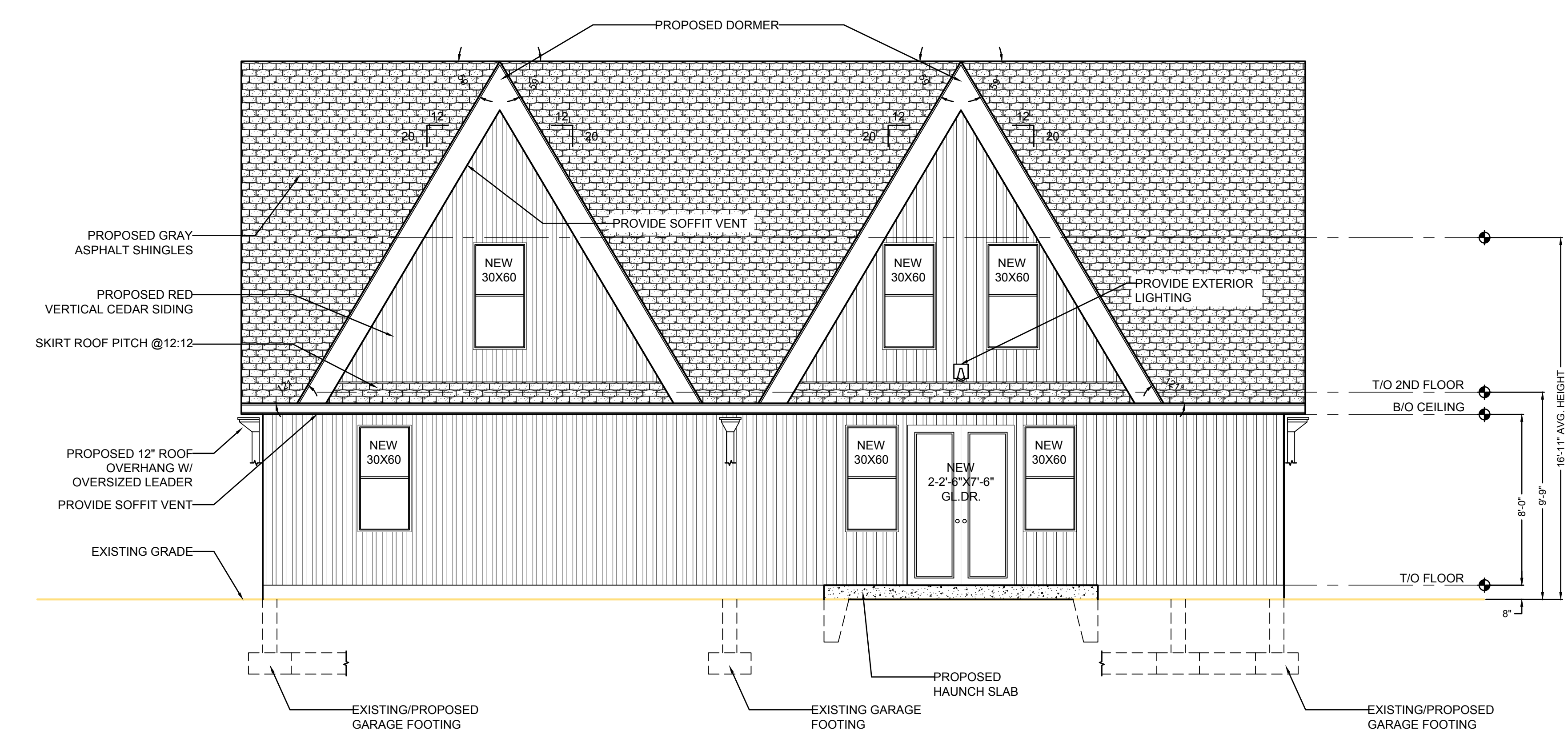
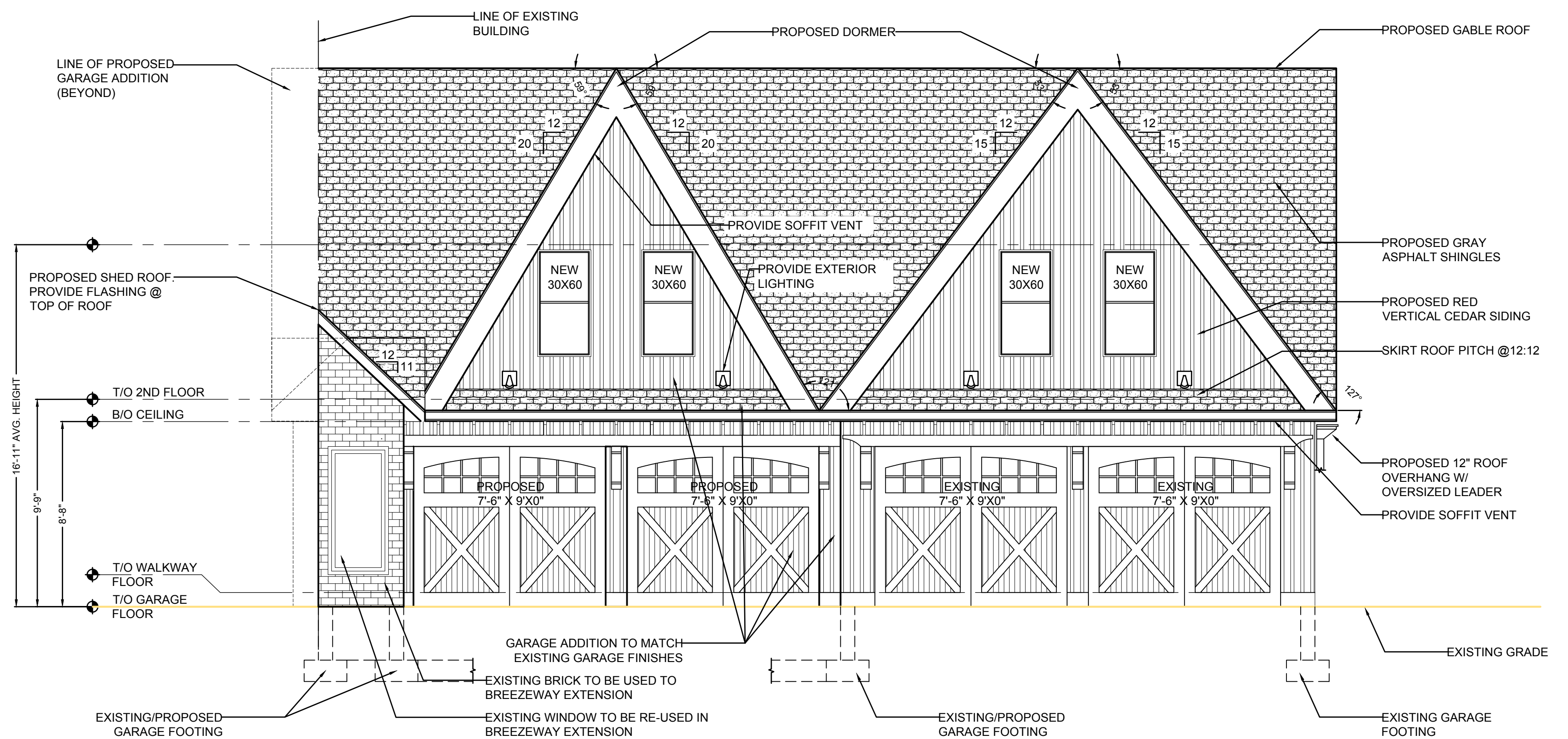


drawing title:	proposed recreation room plan
project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
date:	12/01/20
scale:	as noted
drawn by:	ml/rog
project no.:	19-033
gemmola & associates architects/planners	371 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

A-102



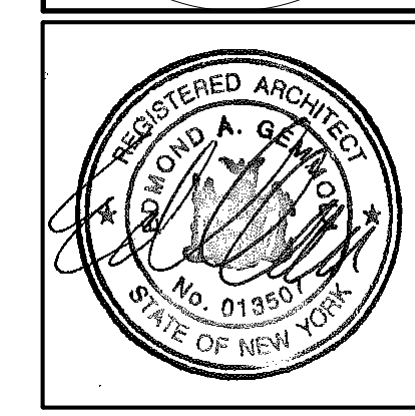
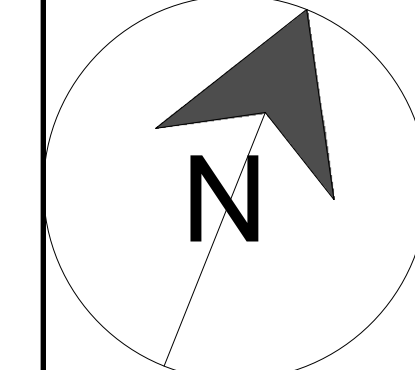


PROPOSED RECREATION LEVEL PLAN  
SCALE: 1/4" = 1'-0"

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SPECIAL NOTES

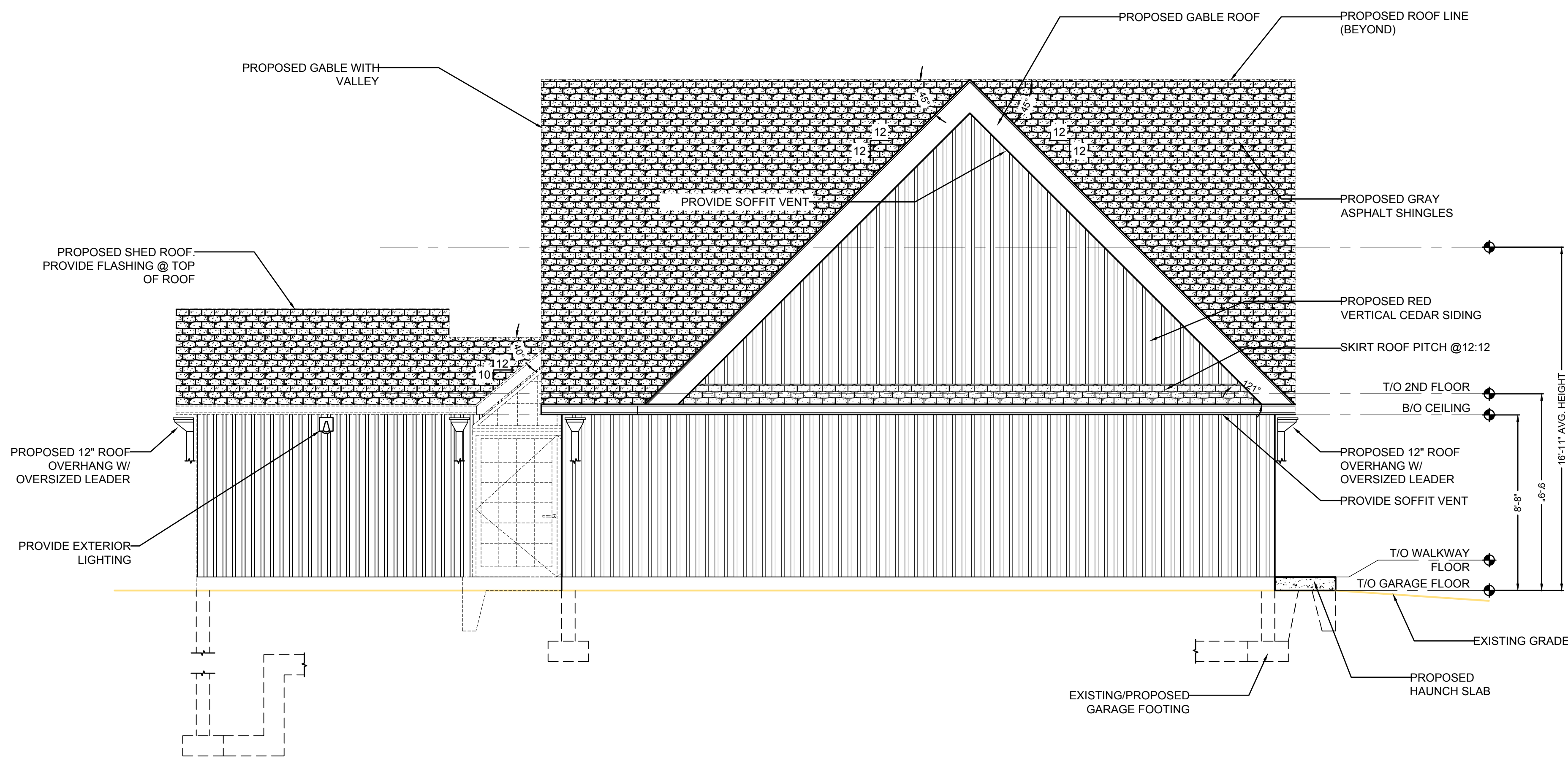
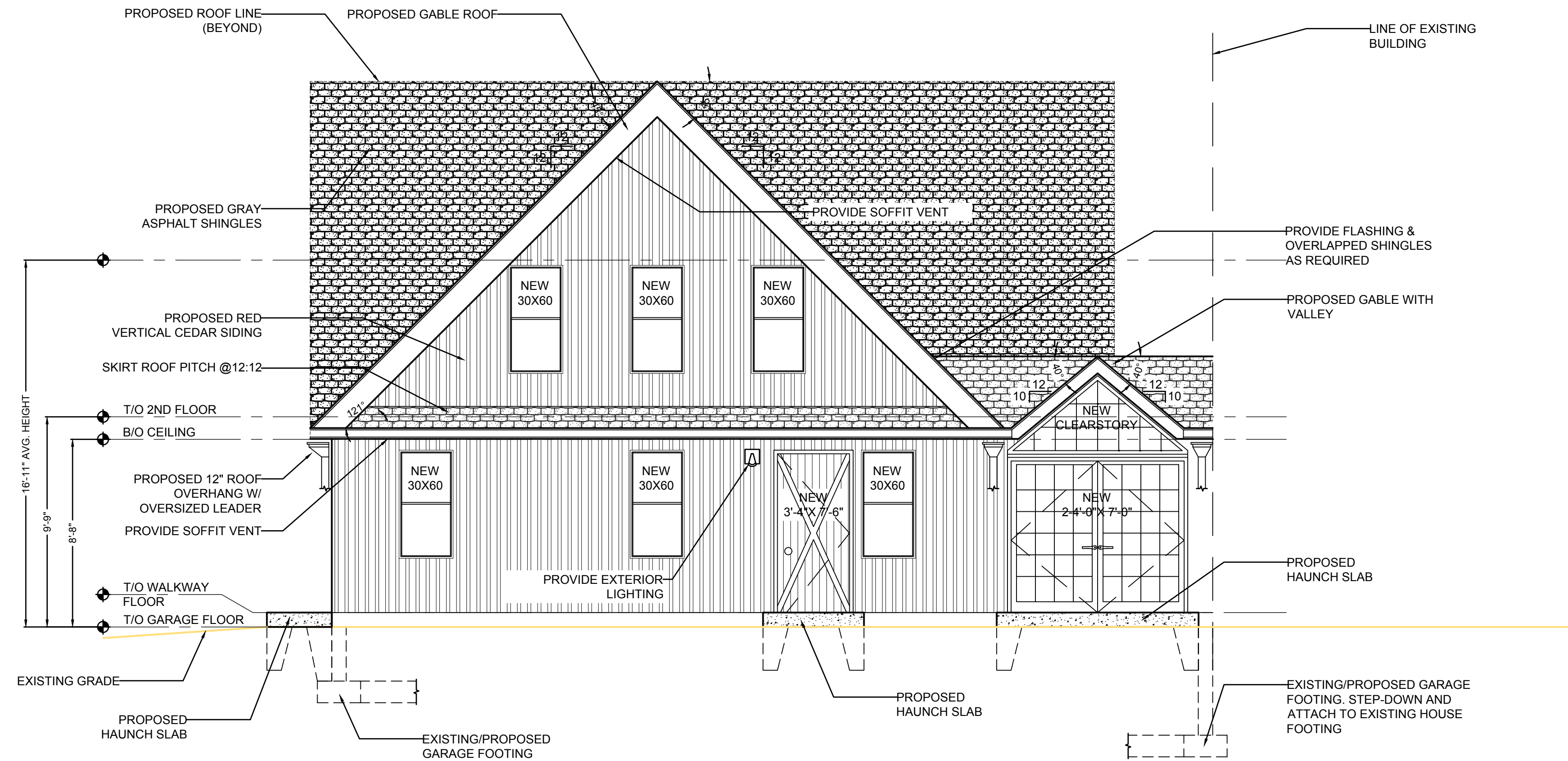
Rev. No.	By	Date	Description
6	ML	12/01/20	general revision
5	ML	11/18/20	general revision
4	ML	10/29/20	general revision
3	ML	10/29/20	general revision
2	ML	07/14/20	general revision
1	ML	07/10/20	revisions made as per meeting with owner



drawing title: proposed elevations  
project: proposed residence for: mark seiden  
149 croton dam road, cossing, ny 10562  
gemmola & associates architects/planners  
377 elwood avenue, hawthorne, new york 10532 tel: (914) 862-0202 fax: (914) 862-0204  
date: 12/01/20  
scale: as noted  
drawn by: ml/agg  
project no: 19-033

drawing no. A-201



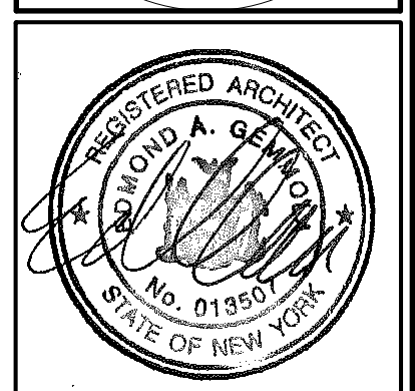
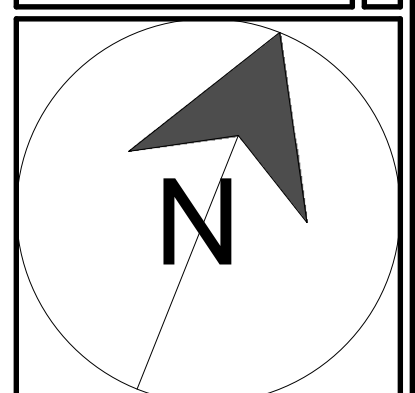


**PROPOSED RECREATION LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

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The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.  
The Architect is not responsible for Construction Phase. Administration of the construction of the project is the responsibility of the Owner.  
The information shown on this drawing is purposed to be accurate but not guaranteed.  
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**SPECIAL NOTES**

Rev. No.	By	Date	Description
6	MI	12/01/20	general revision
5	MI	11/18/20	general revision
4	MI	10/20/20	general revision
3	MI	10/29/20	general revision
2	MI	07/14/20	general revision
1	MI	07/10/20	revisions made as per meeting with owner



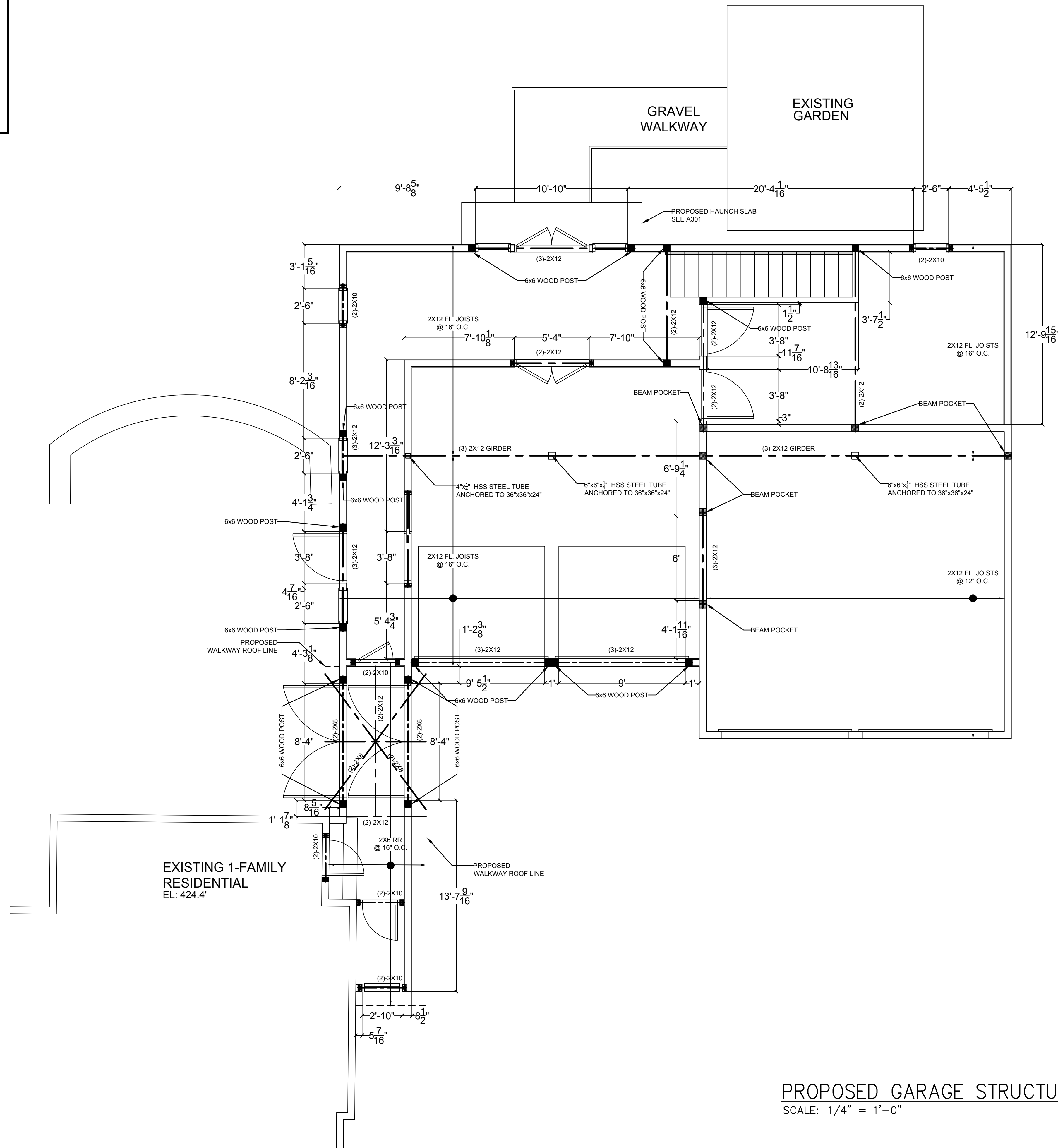
drawing title:	proposed elevations
project:	proposed residence for: mark seiden 49 croton dam road, cossing, ny 10562
date:	12/01/20
scale:	as noted
drawn by:	mi/agg
project no.:	19-033
gemmola & associates architects/planners	
377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

drawing no.

**A-202**

NOTES!

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @  
JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON  
STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW  
FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF  
STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



PROPOSED GARAGE STRUCTURAL PLAN  
SCALE: 1/4" = 1'-0"

and are for the construction of test building only whose name appears on the plans.

These plans are the property of Owner and Associates Architects/Pioneers. Any use, reproduction, distribution, or disclosure of these plans without the written consent of Associates Architects/Pioneers is prohibited. Any use or reproduction without proper Associates Architects/Pioneers is prohibited.

The Contractor shall not perform or attempt to perform any work without proper systems. The Contractor documents do not include/within the scope of HVAC/Control/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.

The Architect is not responsible for Construction Phase. Implementation of the construction contract is the responsibility of the Owner.

Associates Architects/Pioneers is not responsible for the construction of the building.

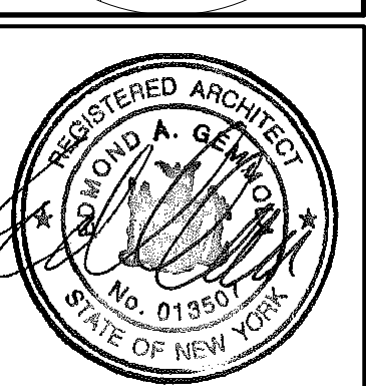
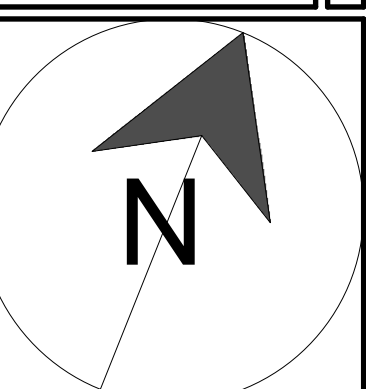
Existing conditions (if applicable) shall be verified in the field.

Do not scale drawings.

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## SPECIAL NOTES

rev. no.	by	date	description
6	MI	12/01/20	general revisions
5	MI	11/18/20	general revisions
4	MI	10/30/20	general revisions
3	MI	10/29/20	general revisions
2	MI	07/14/20	general revisions
1	MI	07/10/20	revisions made as per meeting with owner



proposed garage level structure	date: 12/07/20 scale: as noted drawn by: ml/sag project no.: 19-033
project: proposed residence for: <b>mark seiden</b> 49 croton dam road, ossining, ny 10662 gemmella & associates architects 317 alwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204	

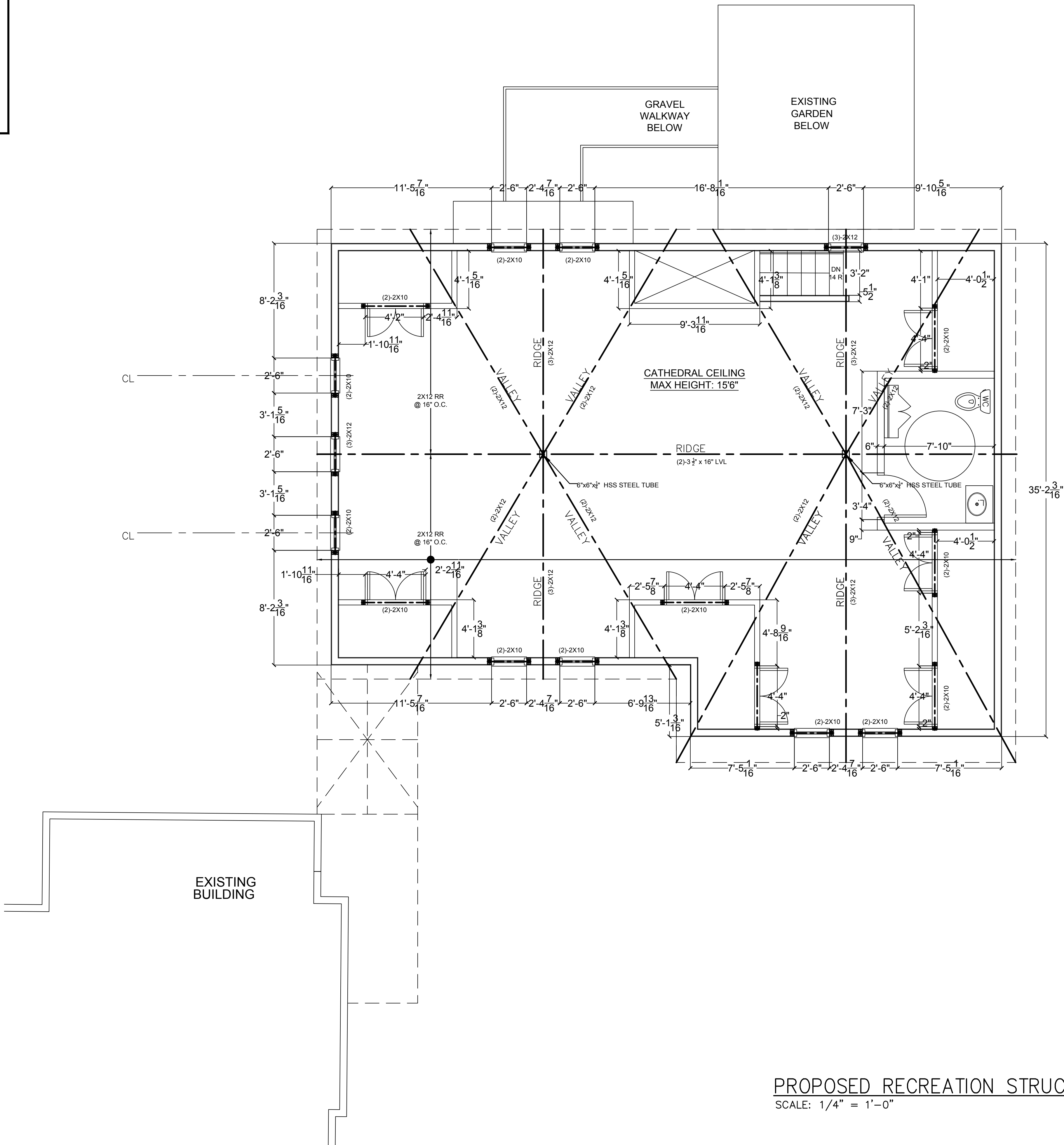
drawing no.

S-101



NOTES!

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED

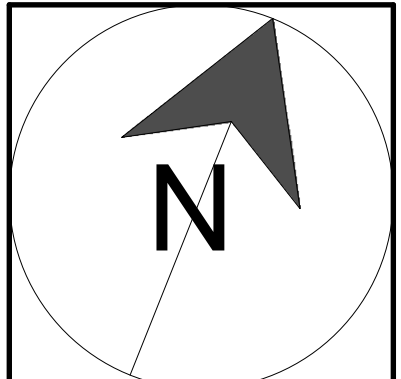


PROPOSED RECREATION STRUCTURAL PLAN  
SCALE: 1/4" = 1'-0"

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SPECIAL NOTES

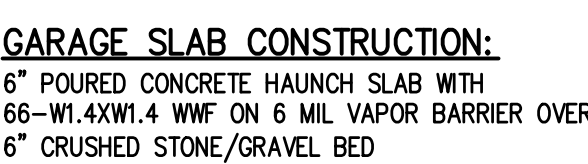
Rev. No.	By	Date	Description
6	MI	12/07/20	General revisions
5	MI	11/18/20	General revisions
4	MI	10/29/20	General revisions
3	MI	10/29/20	General revisions
2	MI	07/14/20	General revisions
1	MI	07/10/20	Revisions made as per meeting with owner



Drawing title:	proposed recreation level structure
Project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
Date:	12/07/20
Scale:	as noted
Drawn by:	mi/rog
Project no.:	19-033
Architect:	germola & associates architects/planners 377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

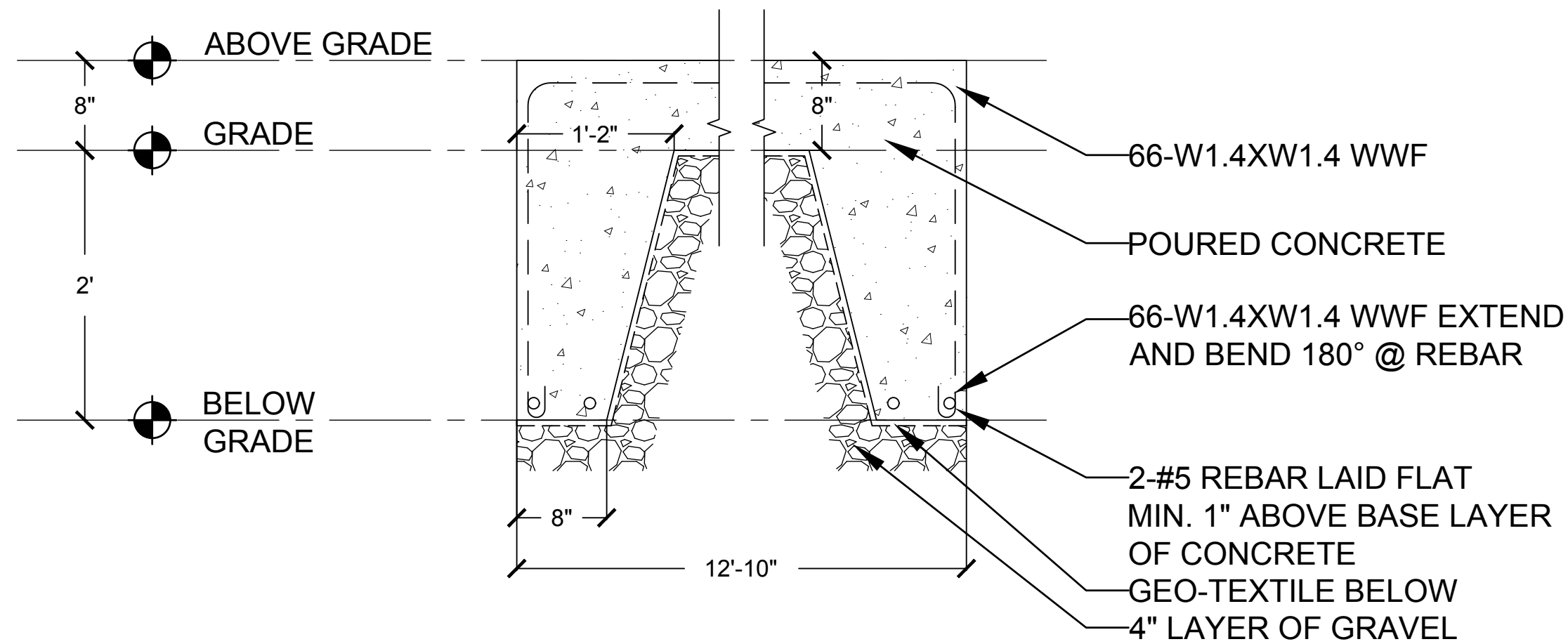
drawing no.

S-102

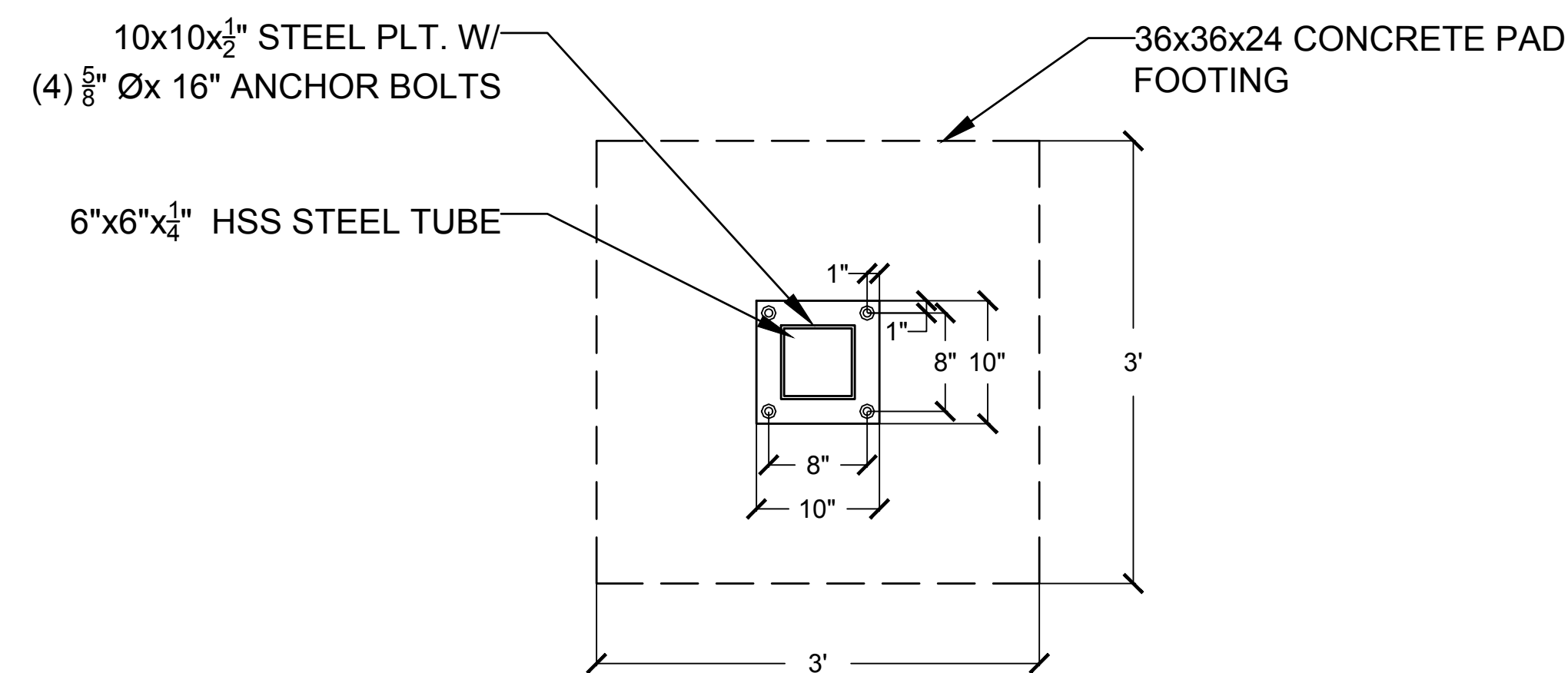


F-101

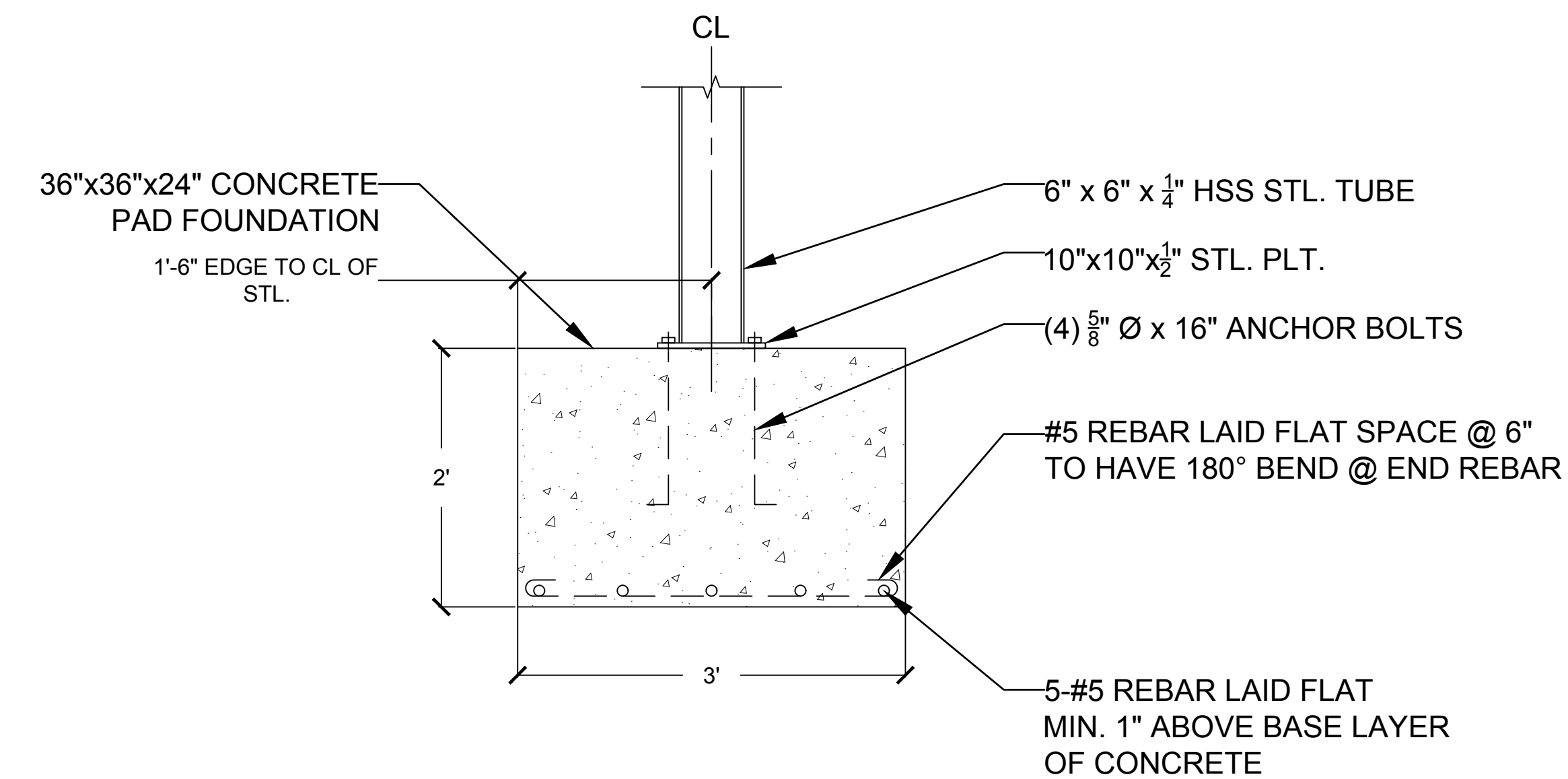




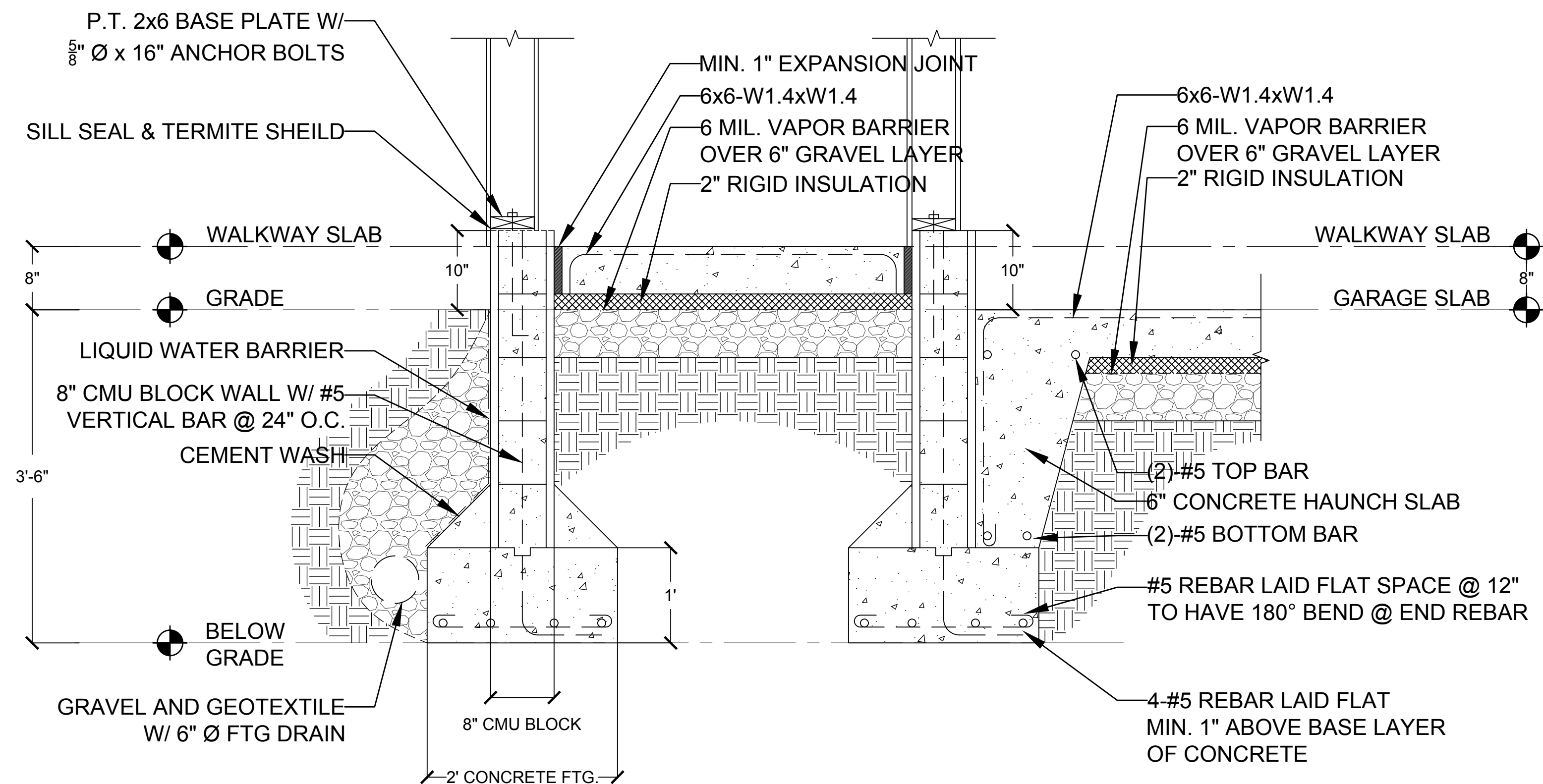
HAUNCH SLAB DETAIL  
SCALE: 1" = 1'-0"



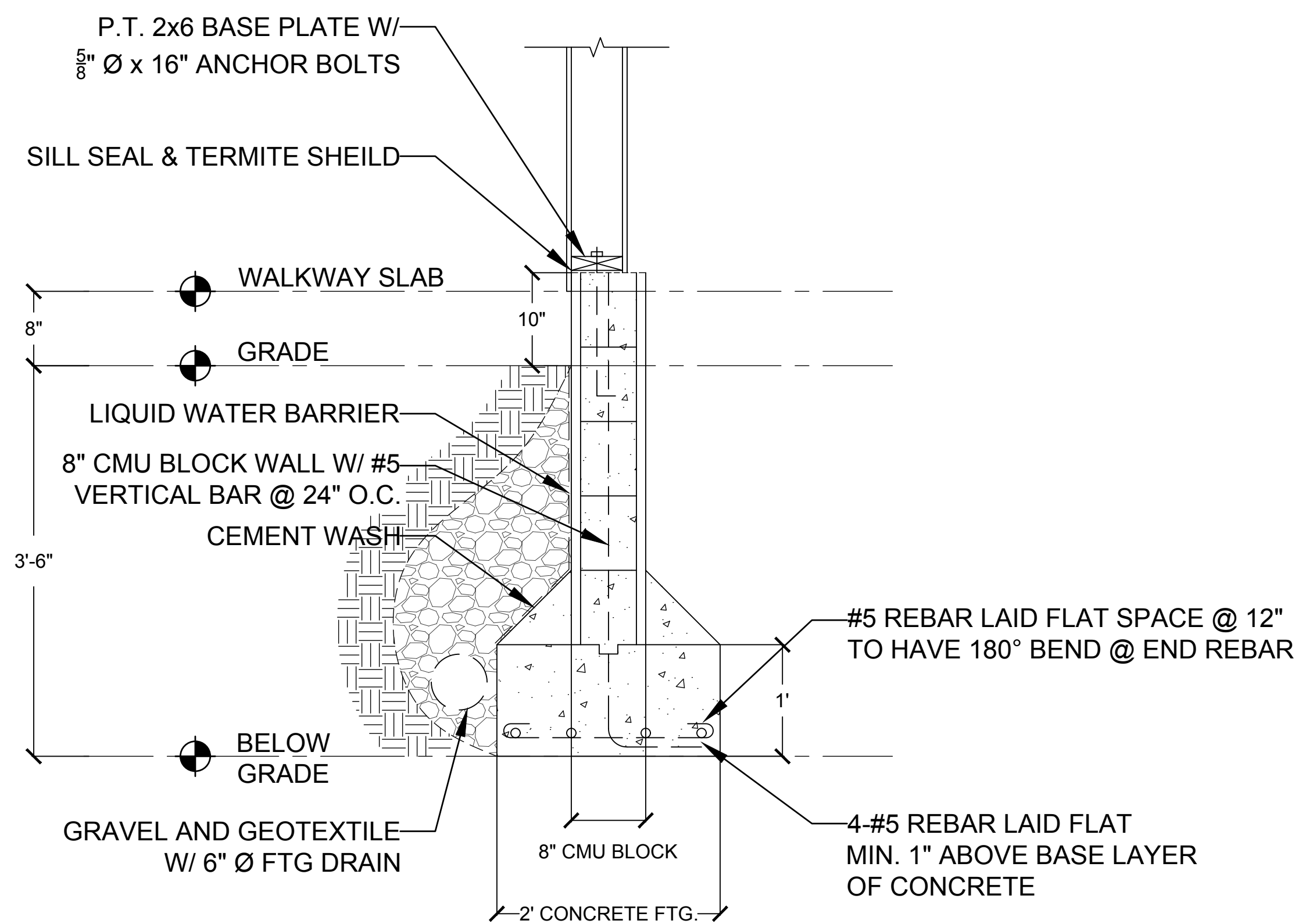
CONCRETE PAD PLAN VIEW  
SCALE: 1" = 1'-0"



CONCRETE PAD SECTION  
SCALE: 1" = 1'-0"



SECTION "A-A"  
SCALE: 1" = 1'-0"



FOOTING AND CMU FOUNDATION DETAIL  
SCALE: 1" = 1'-0"

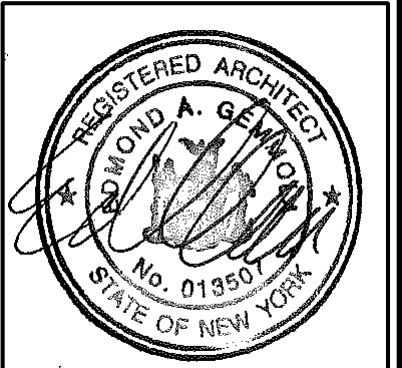
NOTES:

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED

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SPECIAL NOTES

Rev. No.	By	Date	Description
4	MI	12/01/20	general revisions
3	MI	11/18/20	general revisions
2	MI	10/29/20	general revisions
1	MI	10/29/20	general revisions



drawing title:	proposed garage/recreation sections
project:	proposed residence for: mark seiden 49 croton dam road, cossing, ny 10562
date:	12/01/20
scale:	as noted
drawn by:	mi/aag
project no.:	19-033
architects/planners:	gerniola & associates 317 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

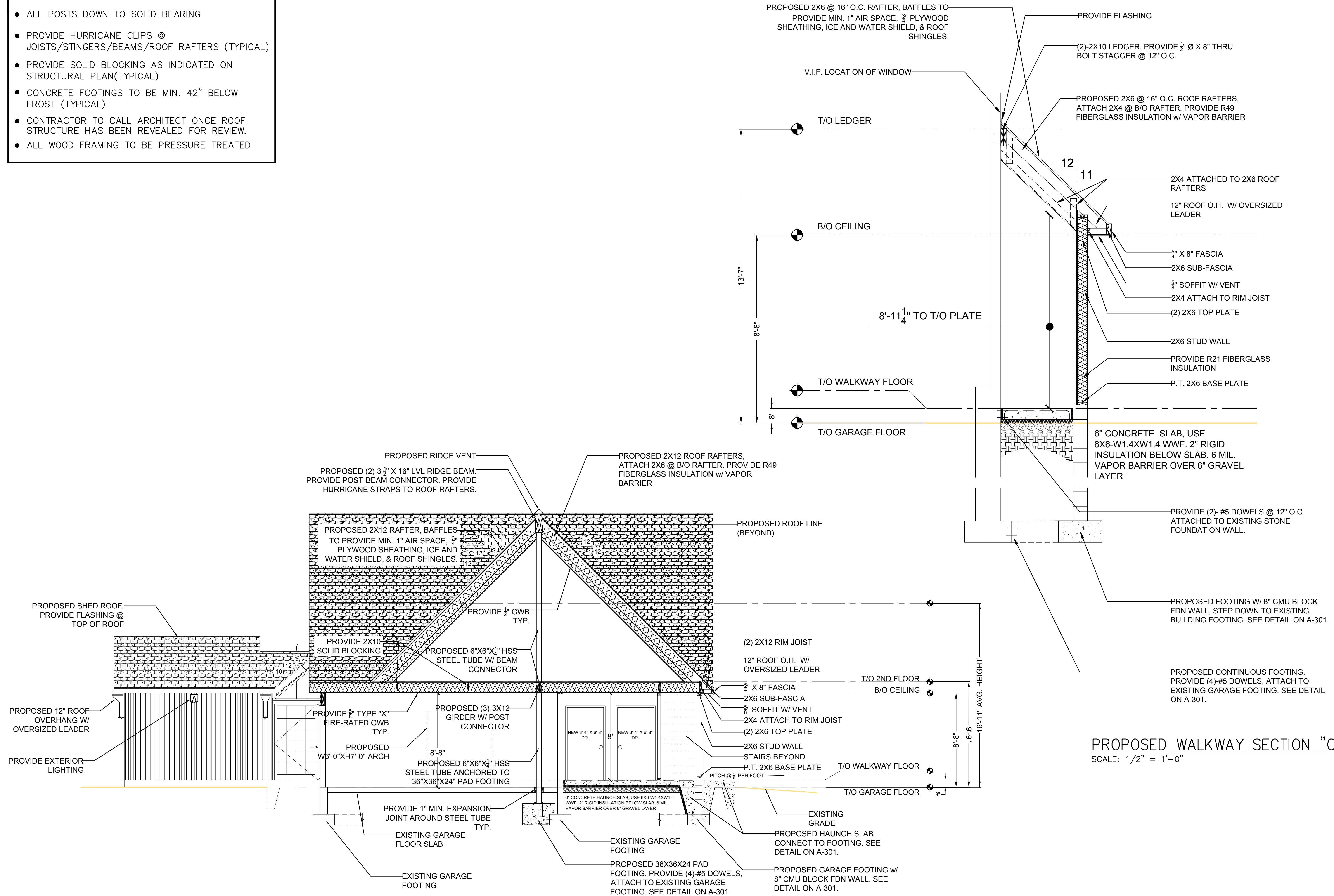
drawing no.

A-301



NOTES!

- ALL POSTS DOWN TO SOLID BEARING
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PROPOSED GARAGE SECTION "B-B"  
SCALE: 1/4" = 1'-0"

PROPOSED WALKWAY SECTION "C-C"  
SCALE: 1/2" = 1'-0"

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Scale drawings.  
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SPECIAL NOTES

Rev.	No.	By	Date	Description
3	1	ML	12/01/20	general revisions
2	1	ML	10/30/20	general revisions
1	1	ML	10/29/20	general revisions

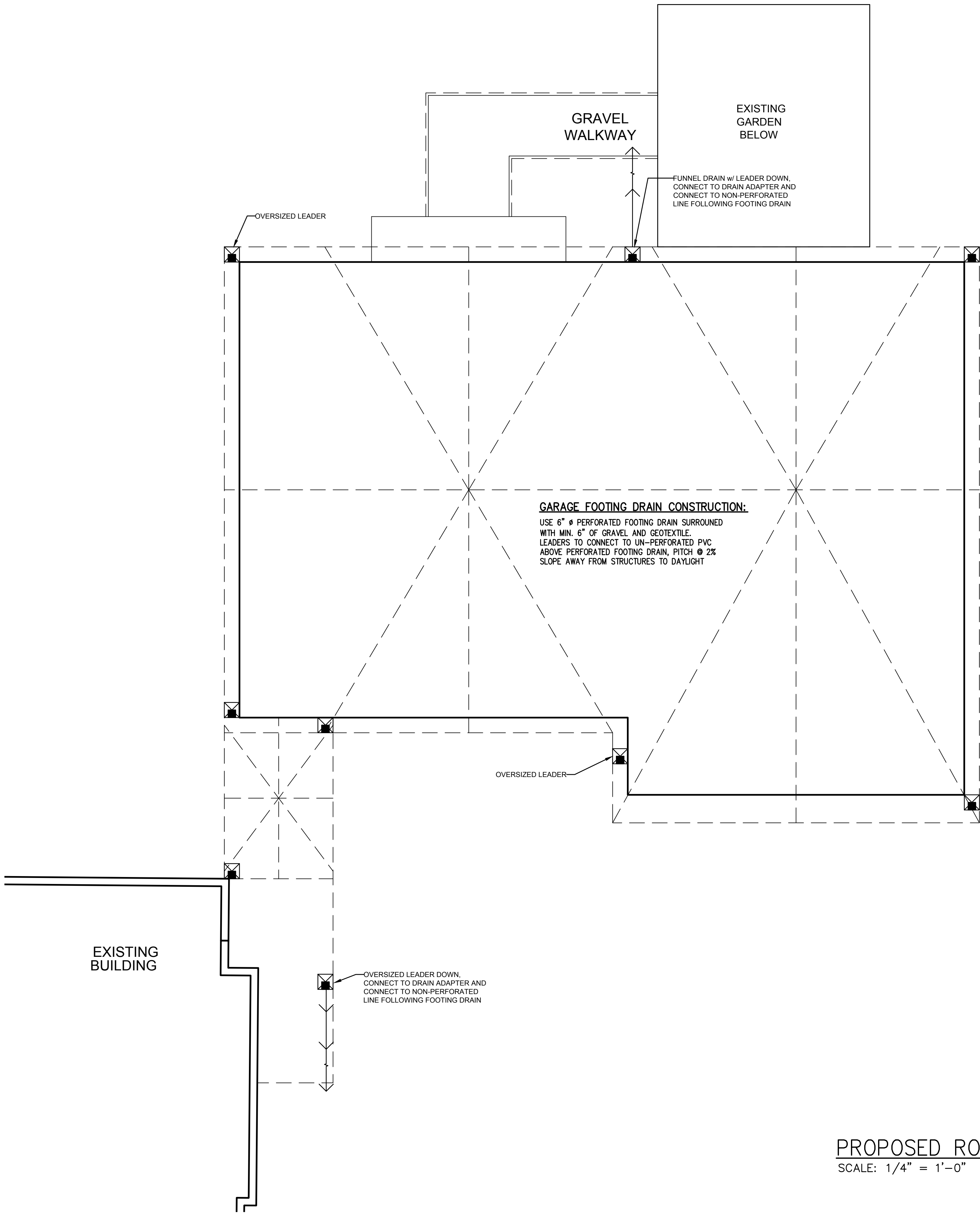


drawing title:	proposed garage/recreation sections
project:	proposed residence for: mark seiden
date:	12/01/20
scale:	as noted
drawn by:	ml/aag
project no.:	19-033
architects/planners:	germola & associates
address:	49 croton dam road, Ossining, NY 10562
phone:	(914) 862-0202 fax (914) 862-0204

drawing no.

A-302



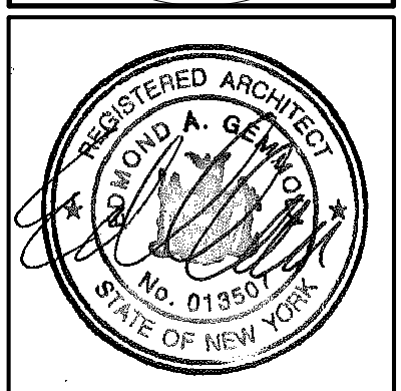
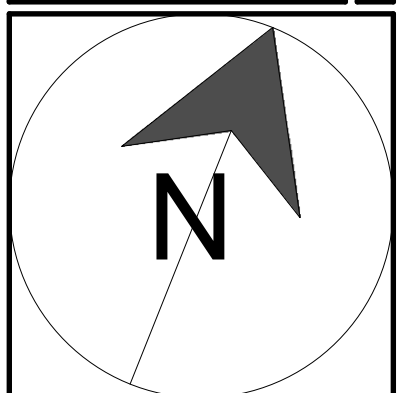


PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

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SPECIAL NOTES

REV. NO.	BY	DATE	DESCRIPTION
1	ML	11/01/20	general revisions



drawing title:	proposed garage/recreation roof plan
project:	proposed residence for: mark seiden 149 croton dam road, cossing, ny 10562
date:	12/01/20
scale:	as noted
drawn by:	ml/rog
project no.	19-033
firm:	germola & associates architects/planners 377 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

R-101