

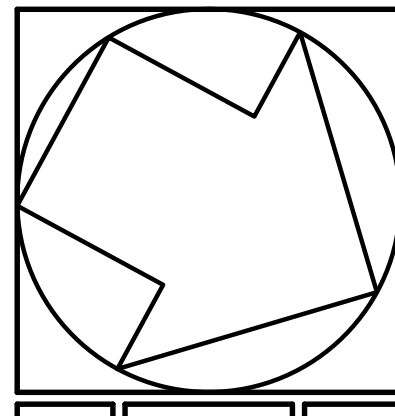
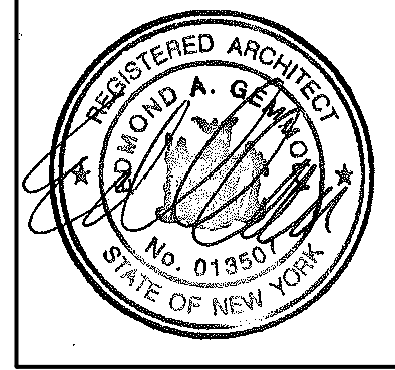
VEHICLE CHART (FRONT)	
VEHICLE IDENTIFICATION:	VEHICLE SIZE:
① INTERNATIONAL TRUCK 4700 DT466	96"W x 294" LONG
② GMC C550/4x4 DURAMAX DIESEL	96"W x 258" LONG
③ GMC BOX TRUCK	96"W x 283" LONG
④ FORK LIFT NEW HOLLAND LX885 TURBO	72"W x 162" LONG
⑤ JOHN DEERE MODEL 200+ BRUSH BANDIT	72"W x 200" LONG

VEHICLE CHART (REAR)	
VEHICLE IDENTIFICATION:	VEHICLE SIZE:
Ⓐ CHEVY VORTEX PICK-UP TRUCK	80"W x 240" LONG
Ⓑ ENCLOSED TRAILER	84"W x 244" LONG
Ⓒ SMALL ENCLOSED TRAILER	68"W x 96" LONG
Ⓓ STUMP GRINDER ON FLATBED OPEN TRAILER	104"W x 228" LONG
Ⓕ FLATBED OPEN TRAILER	100"W x 263" LONG
Ⓖ FLATBED OPEN TRAILER	83"W x 127" LONG
Ⓗ RAM 2500 PICK-UP TRUCK	78"W x 240" LONG
Ⓘ GMC 3500 DUALIE PICK-UP TRUCK	78"W x 238" LONG (EMPLOYEE)
Ⓝ SUV	68"W x 180" LONG (EMPLOYEE)
Ⓚ SUV	68"W x 180" LONG (EMPLOYEE)

ZONING TABULATION			
TAX IDENTIFICATION:	MAP 80.18	BLOCK 2	LOT 22
ZONE:	NC-NEIGHBORHOOD COMMERCIAL DISTRICT		
MIN. REQUIREMENTS	REQUIRED	EXISTING COMMERCIAL	EXISTING RESIDENTIAL
LOT AREA:	5,000 SF	19,843 SF	19,843 SF
LOT WIDTH: (FEET)	50'	±187.0'	±187.0'
LOT DEPTH: (FEET)	50'	60.53'	60.53'
FRONT YARD:	30'	43.3'	1.0'
SIDE YARD:	N/A	N/A	N/A
SIDE YARD ALONG ANY RESIDENCE DISTRICT BOUNDARY	30'	3.6'	N/A
REAR YARD:	N/A	N/A	N/A
REAR YARD ALONG ANY RESIDENCE DISTRICT BOUNDARY	30'	2.5'	±22.0'
MAXIMUM PERMITTED BUILDING HEIGHT			
STORIES:	2	1	2 / 1/2
FEET:	35'	35'	35'
AGGREGATE FLOOR AREA ON ANY LOT (S.F.)	12,000 S.F.	±2,830 S.F.	±2,863 S.F.
BUILDING COVERAGE:	30%	±24.28%	±24.28%
PARKING:			
1 PER 200 SF OF GROSS FLOOR AREA	2,830 + 200 = 14.15	15	5
2 PER DWELLING UNIT	4	4	5

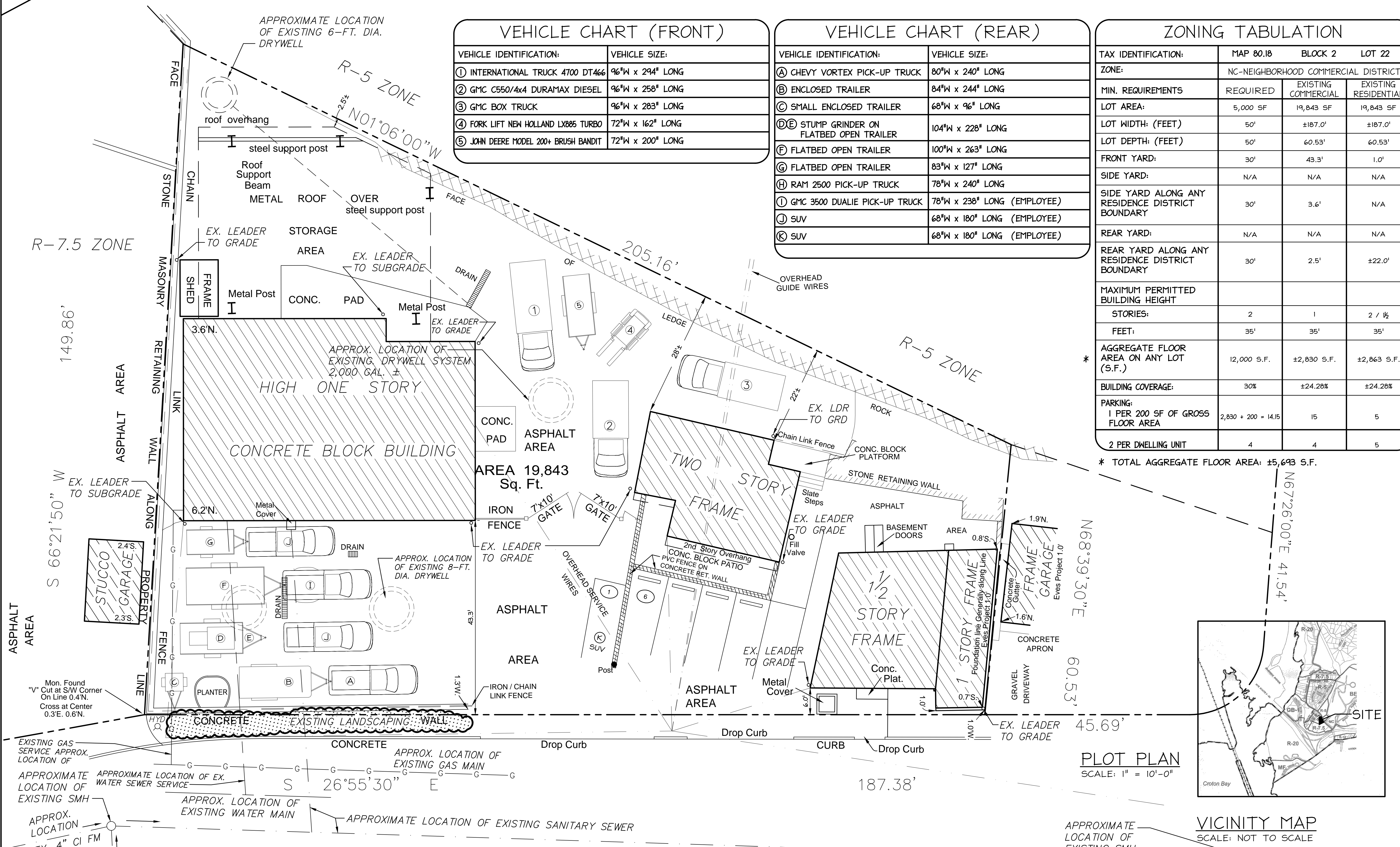
These plans were prepared by the Architect/Planner for the project and are for the construction of the building only. No other use of the plans is intended. The Architect/Planner is not responsible for the accuracy of the information shown on these plans. The Architect/Planner is not responsible for the accuracy of the information shown on these plans. The Architect/Planner is not responsible for the accuracy of the information shown on these plans. The Architect/Planner is not responsible for the accuracy of the information shown on these plans.

SPECIAL NOTES	
3	06/03/15 revised per staff comments
2	05/27/15 issue to planning board
1	04/02/14 general revisions
rev. no.	date description

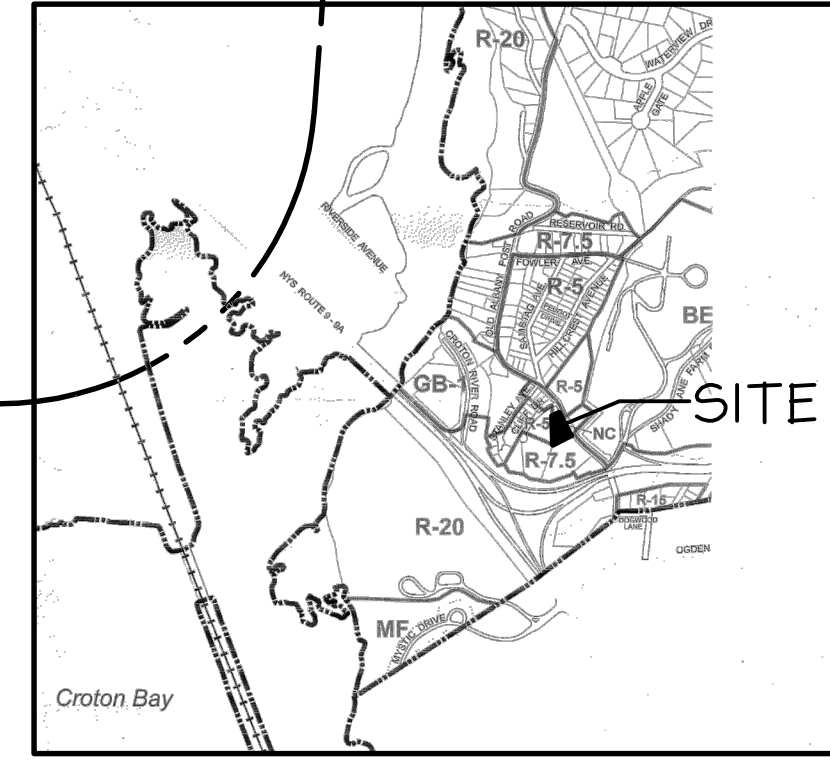


drawing title:	plot plan
project:	ms iron works inc.
client:	19-23 old albany post road, (quaker bridge road), town of osising, new york
architect/planner:	gemma & associates architects/planners
address:	377 elwood avenue, hawthorne, new york 10532 tel: (914) 862-0202 fax: (914) 862-0204
date:	07/17/15
scale:	as noted
drawn by:	eam/gra
project no.:	13-035

drawing no. SY-101



PLOT PLAN
SCALE: 1" = 10'-0"



VICINITY MAP
SCALE: NOT TO SCALE

NOTES:
1) ALL SURVEY INFORMATION SHOWN ON THIS PLOT PLAN HAS BEEN TAKEN FROM A SURVEY MAP PREPARED BY "LINK SURVEYING P.C." DATED JULY 6, 2013. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
2) ALL UTILITIES SERVICING THE SUBJECT PROPERTY ARE EXISTING.

OLD ALBANY POST ROAD
(QUAKER BRIDGE ROAD)