



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING EDGE
	EXISTING CURB LINE
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING ROCK LEDGE
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN

NOTES

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY FIELD, TOPOGRAPHIC AND UTILITIES SURVEY OF PROPERTY, PREPARED BY JMC, P.L.L.C. DATED 06/30/2021.

2. EXISTING WETLANDS WERE DELINEATED AND FLAGGED BY ECOLOGICAL SOLUTIONS, LLC ON JUNE 11, 2021 AND FIELD SURVEYED ON JUNE 28, 2021.

APPLICANT/OWNER

HUDSON PARK GROUP LLC
100 BROOKFIELD ROAD
FLEETWOOD, NY 10552

ARCHITECT

BCT DESIGN GROUP
100 SOUTH CHESAPEAKE
BALTIMORE, MARYLAND 21201

JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEGFORD ROAD • FARMING, NY 10524
PHONE 914.233.2223 • FAX 914.233.2102
www.jmcpic.com

EXISTING PLAN
CONDITIONS PLAN

RIVER KNOLL
40
TOWN OF OSSING, NEW YORK

Drawn: JE

Scale: 1" = 40'

Date: 09/27/2021

Project No: 15064

100M-REV EXIST

Designing For: C-010

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUE RAIL
- EXISTING FENCE
- EXISTING ROCK LEDGE
- EXISTING PEDESTRIAN CROSSING
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED STORMWATER AREA
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVEMENT
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- EXISTING FEATURE TO BE REMOVED

NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITIES SURVEY OF PROPERTY," PREPARED BY JMC, PLLC, DATED 06/20/2021.
- EXISTING WETLANDS WERE DELINEATED AND FLAGGED BY ECOLOGICAL SOLUTIONS, LLC ON JUNE 11, 2021 AND FIELD SURVEYED ON JUNE 28, 2021.

HUDSON PARK GROUP LLC
100 BROOKFIELD ROAD
FLEETWOOD, NY 10552

BCT DESIGN GROUP
100 SOUTH CHESAPEAKE
BALTIMORE, MARYLAND 21201

JMC

LAYOUT PLAN

RIVER KNOLL
40
TOWN OF OSSING, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

STATE OF NEW YORK
JULY 1, 2021
JULY 1, 2021
JULY 1, 2021

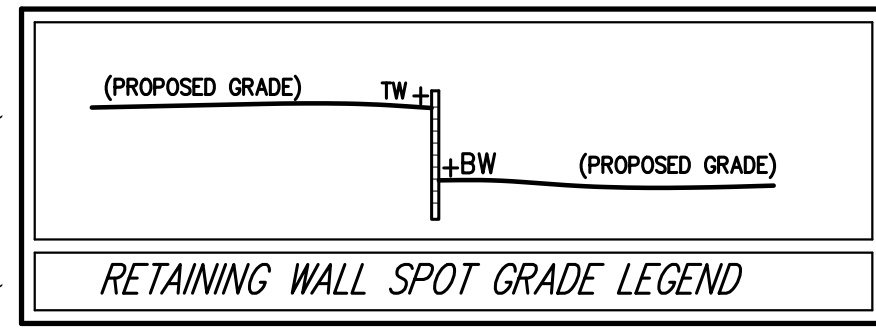
Drawn: **JE** Approved: **AG**
Scale: **1" = 40'**
Date: **08/27/2021**
Project No: **15064**
Sheet: **LAYOUT** of **LAT**
Drawing No: **C-100**



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING GRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE C1 DRAIN INLET
- PROPOSED TYPE C2 DRAIN INLET
- PROPOSED HEADWALL
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED OUTLET CONTROL STRUCTURE
- PROPOSED HYDRANT
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- BORING LOCATION AND DESIGNATION
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED DITCH OR SWALE
- PROPOSED RP-RAP
- EXISTING FEATURE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY, FIELD, TOPOGRAPHIC AND UTILITIES SURVEY OF PROPERTY, PREPARED BY JMC, LLC, DATED 06/20/2021.
 - EXISTING WETLANDS WERE DELINEATED AND FLAGGED BY ECOLOGICAL SOLUTIONS, LLC ON JUNE 11, 2021 AND FIELD SURVEYED ON JUNE 28, 2021.



HUDSON PARK GROUP, LLC
100 NORTH CHARLES STREET
BALTIMORE, MARYLAND 21201

BCT DESIGN GROUP
100 NORTH CHARLES STREET
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GRADING PLAN
RIVER KNOLL
40
TOWN OF OSSING, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209.9 SUBSECTION 2.

Drawn: **JE** Approved: **AG**
Scale: **1" = 40'**
Date: **09/27/2021**
Project No: **15064**
Sheet No: **000-00** OF **000-01**
Drawing No: **C-200**



LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED DROP CURB AND RAMP
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE C DRAIN INLET
- PROPOSED TYPE D DRAIN INLET
- PROPOSED TRENCH DRAIN
- PROPOSED HEADWALL
- PROPOSED WATER QUALITY STRUCTURE
- PROPOSED OUTLET CONTROL STRUCTURE
- PROPOSED HYDRANT
- PROPOSED STORM DRAIN LINE & SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC/TELEPHONE/CABLE
- PROPOSED GAS VALVE
- PROPOSED WATER VALVE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)

NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITIES SURVEY OF PROPERTY," PREPARED BY JMC, PLAC. DATED 06/26/2021.
- EXISTING WETLANDS WERE DELINEATED AND FLAGGED BY ECOLOGICAL SOLUTIONS, LLC ON JUNE 11, 2021 AND FIELD SURVEYED ON JUNE 28, 2021.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2948. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3202.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC) SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3202.
- UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE (PVC) WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM C-900.
- ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

HUDSON PARK GROUP LLC
100 BROOKLYN ROAD
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BCT DESIGN GROUP
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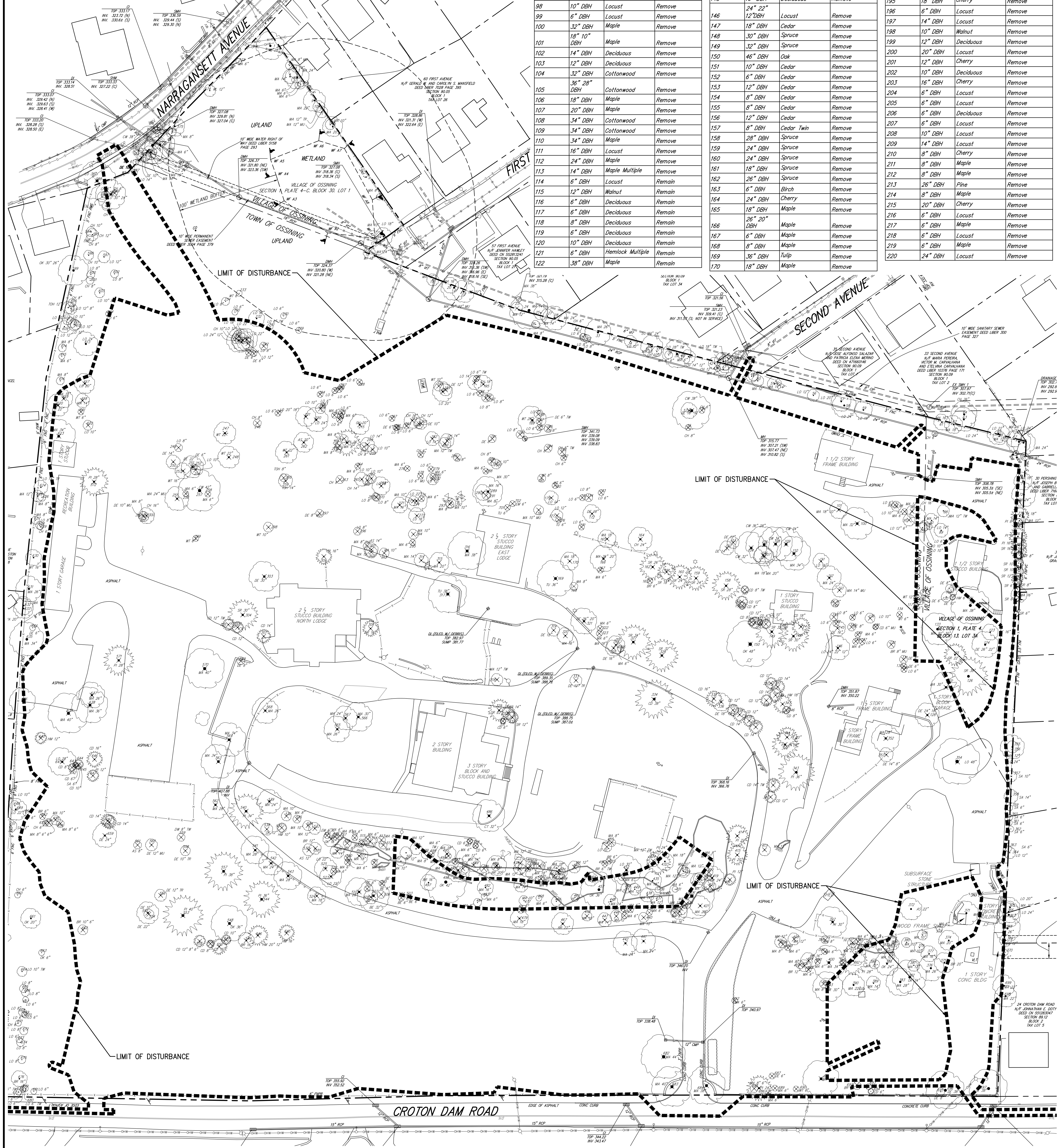
UTILITIES PLAN
RIVER KNOLL
40 CROTON DAM ROAD
TOWN OF OSSING, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: **JE** Approved: **AG**
Scale: 1" = 40'
Date: 09/27/2021
Project No: 15064
100-HL UTL VIL.kor
Drawing No: **C-300**

TREE PRESERVATION PLAN

Tree Number	Size	Common Name	Remove/Remain
1	28" DBH	Willow	Remain
2	8" DBH	Maple	Remain
3	14" DBH	Maple	Remain
4	14" DBH	Maple	Remain
5	24" DBH	Maple	Remain
6	6" DBH	Maple	Remain
7	6" DBH	Maple	Remain
8	6" DBH	Maple	Remain
9	22" DBH	Maple	Remain
10	12" DBH	Maple	Remain
11	12" DBH	Maple	Remain
12	10" DBH	Maple	Remain
13	20" DBH	Maple	Remain
14	6" DBH	Maple	Remain
15	18" DBH	Locust	Remain
16	10" DBH	Maple	Remain
17	24" DBH	Maple	Remain
18	12" DBH	Walnut	Remain
19	12" DBH	Maple	Remain
20	16" DBH	Maple	Remain
21	26" DBH	Maple Multiple	Remain
22	22" DBH	Deciduous	Remain
23	12" DBH	Maple	Remain
24	38" DBH	Maple	Remain



25	14" DBH	Maple	Remain
26	8" DBH	Maple	Remain
27	14" DBH	Maple	Remain
28	14" DBH	Maple	Remain
29	6" DBH	Cherry	Remain
30	6" DBH	Locust	Remain
31	8" DBH	Locust	Remain
32	8" DBH	Locust	Remain
33	26" DBH	Maple	Remain
34	12" DBH	Locust	Remain
35	22" DBH	Locust	Remain
36	6" DBH	Maple	Remain
37	10" DBH	Cherry	Remain
38	8" DBH	Maple	Remain
39	28" DBH	Maple	Remain
40	6" DBH	Maple	Remain
41	14" DBH	Locust	Remain
42	12" DBH	Cherry	Remain
43	6" DBH	Maple	Remain
44	18" DBH	Locust	Remain
45	14" DBH	Maple	Remain
46	18" DBH	Locust	Remain
47	12" DBH	Cherry	Remain
48	12" DBH	Maple	Remain

49	10" DBH	Maple	Remain
50	12" DBH	Maple	Remain
51	14" DBH	Maple	Remain
52	38" DBH	Cottonwood	Remove
53	16" DBH	Deciduous	Remove
54	6" DBH	Cherry	Remove
55	6" DBH	Cherry	Remove
56	12" DBH	Locust	Remove
57	20" DBH	Locust	Remove
58	24" DBH	Locust	Remove
59	18" DBH	Locust	Remove
60	6" DBH	Cherry	Remove
61	16" DBH	Maple	Remove
62	16" DBH	Maple	Remove
63	24" DBH	Locust	Remove
64	26" DBH	Cherry	Remove
65	22" DBH	Locust	Remove
66	12" DBH	Maple	Remove
67	24" DBH	Locust	Remove
68	24" DBH	Locust	Remove
69	24" DBH	Maple	Remove
70	8" DBH	Maple	Remove
71	18" DBH	Maple	Remove
72	24" DBH	Maple	Remove
73	18" DBH	Pine	Remove

74	12" DBH	Maple	Remove
75	8" DBH	Pine	Remove
76	18" DBH	Pine	Remove
77	16" DBH	Pine	Remove
78	16" DBH	Spruce	Remove
79	8" DBH	Spruce	Remove
80	10" DBH	Spruce	Remove
81	10" DBH	Spruce	Remove
82	12" DBH	Spruce	Remove
83	8" DBH	Spruce	Remove
84	6" DBH	Spruce	Remove
85	16" DBH	Maple	Remove
86	6" DBH	Spruce	Remove
87	6" DBH	Spruce	Remove
88	12" DBH	Japanese Maple	Remove
89	12" DBH	Maple	Remove
90	14" DBH	Maple	Remove
91	6" DBH	Maple	Remove
92	10" DBH	Locust	Remove
93	10" DBH	Locust	Remove
94	16" DBH	Cherry	Remove
95	12" DBH	Maple	Remove
96	12" DBH	Maple	Remove
97	6" DBH	Maple	Remove
98	10" DBH	Locust	Remove
99	32" DBH	Maple	Remove
100	32" DBH	Maple	Remove
101	18" DBH	Maple	Remove
102	14" DBH	Deciduous	Remove
103	10" DBH	Deciduous	Remove
104	10" DBH	Cottonwood	Remove
105	34" DBH	Cottonwood	Remove
106	18" DBH	Maple	Remove
107	20" DBH	Maple	Remove
108	34" DBH	Cottonwood	Remove
109	34" DBH	Cottonwood	Remove
110	34" DBH	Maple	Remove
111	16" DBH	Maple	Remove
112	24" DBH	Maple	Remove
113	14" DBH	Maple Multiple	Remove
114	6" DBH	Maple	Remove
115	12" DBH	Walnut	Remove
116	6" DBH	Deciduous	Remove
117	6" DBH	Deciduous	Remove
118	8" DBH	Deciduous	Remove
119	6" DBH	Deciduous	Remove
120	10" DBH	Deciduous	Remove
121	6" DBH	Hemlock Multiple	Remove
122	38" DBH	Maple	Remove

123	16" DBH	Deciduous	Remove
124	24" DBH	Deciduous	Remove
125	24" DBH	Spruce	Remove
126	38" DBH	Spruce	Remove
127	30" DBH	Maple	Remove
128	24" 16"	Deciduous	Remove
129	6" DBH	Locust	Remove
130	6" DBH	Deciduous	Remove
131	8" DBH	Deciduous	Remove
132	8" DBH	Birch Multiple	Remove
133	30" 30"	Maple	Remove
134	6" DBH	Walnut	Remove
135	6" DBH	Cedar Multiple	Remove
136	10" DBH	Locust	Remove
137	6" DBH	Locust	Remove
138	6" DBH	Maple	Remove
139	6" DBH	Maple	Remove
140	8" DBH	Deciduous	Remove
141	6" DBH	Locust	Remove
142	6" DBH	Deciduous	Remove
143	6" DBH	Deciduous	Remove
144	6" DBH	Locust	Remove
145	16" DBH	Deciduous	Remove
146	24" 22"	Locust	Remove
147	18" DBH	Cedar	Remove
148	30" DBH	Spruce	Remove
149	32" DBH	Spruce	Remove
150	46" DBH	Oak	Remove
151	10" DBH	Cedar	Remove
152	6" DBH	Cedar	Remove
153	12" DBH	Cedar	Remove
154	8" DBH	Cedar	Remove
155	8" DBH	Cedar	Remove
156	12" DBH	Cedar	Remove
157	8" DBH	Cedar Twin	Remove
158	28" DBH	Spruce	Remove
159	24" DBH	Spruce	Remove
160	24" DBH	Spruce	Remove
161	18" DBH	Spruce	Remove
162	26" DBH	Spruce	Remove
163	6" DBH	Birch	Remove
164	24" DBH	Maple	Remove
165	18" DBH	Maple	Remove
166	26" 20"	Maple	Remove
167	6" DBH	Maple	Remove
168	8" DBH	Maple	Remove
169	36" DBH	Tulip	Remove
170	18" DBH	Maple	Remove

TREE ABBREVIATIONS	
AS	ASH
BE	BEECH
BR	BIRCH
CD	CEDAR
CH	CHERRY
CT	CHESNUT
CW	COTTON WOOD
DE	DECIDUOUS
DO	DOGWOOD
EL	ELM
HI	HICKORY
HM	HEMLOCK
JM	JAPANESE MAPLE
LO	LOCUST
MA	MAPLE
MU	MULTIPLE
OK	OAK
PI	PINE
SA	SASSAFRAS
SR	SPRUCE
TH	TREE OF HEAVEN
TR	TRIPLE
TW	TWIN
TU	TULIP
WT	WALNUT

NOTES:
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITIES SURVEY OF PROPERTY," PREPARED BY JMC, LLC, DATED 06/20/2021.
2. EXISTING WETLANDS WERE DELINEATED AND FLAGGED BY ECOLOGICAL SOLUTIONS, LLC ON JUNE 11, 2021 AND FIELD SURVEYED ON JUNE 28, 2021.

Drawn: **JE** Approved: **AG**
Scale: 1" = 40'
Date: 06/27/2021
Project No: 15064
TOWN: **REE** TREE: **NOTED/NOTED**
Drawing No:

APPLICANT/OWNER: **HUDSON PARK GROUP LLC**
100 BROOKFIELD ROAD
FLOE WOOD, NY 10552

ARCHITECT: **BCT DESIGN GROUP**
100 CROTON DAM ROAD
BUTLER, NY 12510

DATE: 06/27/2021
BY: **JE**
CHECKED: 10/07/2021
PROJECT ARCHITECT NAME: **JE**
RESPOND TO COMMENTS: 12/23/2022

REVISIONS:
1. SHEET SUBMISSION FOR COMPLETION
2. CORRECTED PROJECT ARCHITECT NAME
3. RESPONSE TO COMMENTS

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7205 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR IN SUBSECTION 2.

SEAL OF THE STATE OF NEW YORK
JAMES M. CROGAN
JAMES M. CROGAN
JAMES M. CROGAN

SEAL OF THE STATE OF NEW YORK
JAMES M. CROGAN
JAMES M. CROGAN
JAMES M. CROGAN



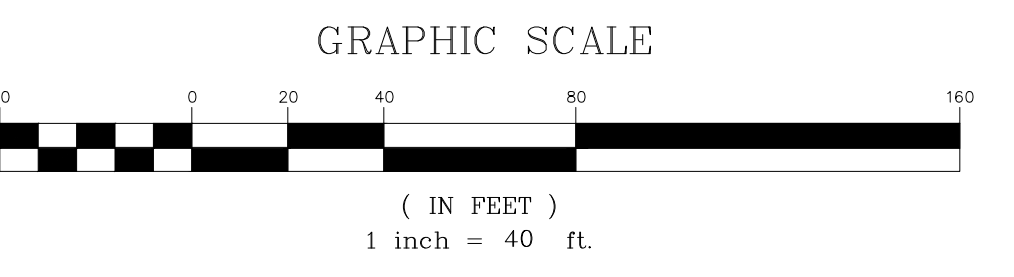
LANDSCAPE SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
AR	32	Acer rubrum	Red Maple	B & B	2 1/2"-3" Cal.	
AX	12	Acer x freemanii	Freeman Maple	B & B	2" - 2 1/2" CAL	
LC	17	Liriodendron x tulipifera	Tulip Tree	B & B	2 1/2"-3" Cal.	
PO2	14	Platanus occidentalis	American Sycamore	B & B	2 1/2"-3" Cal.	
QP	24	Quercus palustris	Pin Oak	B & B	2 1/2"-3" Cal.	
QR	27	Quercus rubra	Red Oak	B & B	2 1/2"-3" Cal.	
UP	33	Ulmus americana 'Princeton'	Princeton American Elm	B & B	2 1/2"-3" Cal.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
PA	141	Picea abies	Norway Spruce	B & B	8' - 10' HT	
PO	86	Picea omorika	Serbian Spruce	B & B	8' - 10' HT	
PS	64	Pinus strobus	White Pine	B & B	8' - 10' HT	

LEGEND

EXISTING PROPERTY LINE
ADJACENT PROPERTY LINE
EXISTING SETBACK LINE
EXISTING METLAND LINE AND DELINEATION
EXISTING METLAND BUFFER
EXISTING BUILDING OVERHANG
EXISTING BUILDING LINE
EXISTING PAVEMENT EDGE
EXISTING CURB LINE
EXISTING STONE WALL
EXISTING RETAINING WALL
EXISTING GUIDE RAIL
EXISTING FENCE
EXISTING TREE AND DESIGNATION
EXISTING TREE LINE
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING SIGN

PROPOSED BUILDING LINE
PROPOSED CONCRETE CURB
PROPOSED SANICUT LINE
PROPOSED CONCRETE APRON
PROPOSED MULCH TRAIL
PROPOSED RETAINING WALL
DESIGN BY OTHERS
PROPOSED FENCE
PROPOSED DOUBLE ARM LIGHTING STANDARD
DESIGN BY OTHERS
PROPOSED SINGLE ARM LIGHTING STANDARD
DESIGN BY OTHERS
2-4" WIDE YELLOW LINES 8' O.C.
12" WIDE WHITE STOP LINE
TRAFFIC SIGN LOCATION & DESIGNATION
PROPOSED DECIDUOUS TREE
PROPOSED EVERGREEN TREE

- NOTES**
1. ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (ANSI Z603.1), LATEST EDITION.
 2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
 3. ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, 20% FREE ORGANIC MATERIAL, CONSISTING OF SHREDDED HARDWOOD, ROOT MULCH SHREDED CEDAR, OR BARK CHIPS, AS APPROVED BY THE OWNER'S FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
 4. PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
 5. ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTING AT THE BEGINNING OF THE NEXT, IMMEDIATE FOLLOWING PLANTING SEASON.
 6. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 7. ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDSCUT, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL, UNIFORM ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBSTRUCTIVE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, MATERIAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED.
 8. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
 9. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 10. ALL LAWN AREAS (500 OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SEED OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
 11. SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
 13. ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
 14. FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
 15. CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
 16. ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM THE EDGE OF THE PLANT TO EDGE OF PARKING AREA.
 17. ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.



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ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209. SUBSECTION 2.

Drawn: **JD** Approved: **AG**
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