

37 - 41 CROTON DAM ROAD

TOWN OF OSSINING, NEW YORK

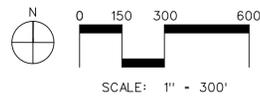
APPLICATION FOR SUBDIVISION APPROVAL

MAY 29, 2018

LOCATION MAP



BASE MAP SOURCE: WESTCHESTER GIS



ZONING COMPLIANCE TABLE

R-15 DISTRICT	REQUIRED/ PERMITTED	EXISTING		PROPOSED			
		37 Croton Dam Rd - Block 1 - Lot 82	41 Croton Dam Rd - Block 1 - Lot 81	Lot 1	Lot 2	Lot 3	Lot 4
CHAPTER 200 - ZONING							
Attachment 2 - Bulk Regulations							
Lot Area (sf)	15,000	140,611	79,279	91,070	34,189	60,509	36,819
Lot Width (feet)	90	335	187	91	206	96	130
Lot Depth (feet)	120	415	450	264	148	168	284
Required Yards							
Front (feet)	30	57	N/A	42	57	67	127
1 Side (feet)	14	97	N/A	58	56	26	27
Both Sides (feet)	30	257	N/A	217	134	138	75
Rear (feet)	32	134	N/A	122	45	32	79
Max Building Height							
Stories	2.5	2	N/A	1	2	<2.5	<2.5
Feet	35	No Change	N/A	No Change	No Change	<35	<35
Max Building Coverage (percent)	25	4.7	N/A	6%	8%	5%	6%
CHAPTER 176 - SUBDIVISION REGULATIONS							
Section 176-189(1) - Lots							
Area Exclusive of Extremely Steep Slopes ² (sf)							
Required	75% of lot area	105,458	59,459	68,303	25,642	45,382	27,514
Provided		123,111	65,779	82,570	25,939	48,009	27,619

¹Per subdivision code section 176-189(1), "at least 75% of the minimum lot area requirement of a proposed lot shall consist of neither 'wetland' nor 'extremely steep slope'."
²Per Chapter 167 of the Steep Slope Protection code, an extremely steep slope is defined as a slope with a topographical gradient equal to or greater than 35%.

LIST OF DRAWINGS

SCALE

COVER SHEET

SP-0.0	PRELIMINARY SUBDIVISION PLAN	1" = 30'
SP-1.0	SITE LAYOUT PLAN	1" = 30'
SP-2.0	SITE ENGINEERING PLAN	1" = 30'
SP-3.1	LANDSCAPE PLAN	1" = 30'
SP-4.1 - 4.2	SITE DETAILS	AS NOTED
SP-5.0	TREE REMOVAL PLAN	1" = 30'
SP-5.1	EROSION AND SEDIMENT CONTROL PLAN & DETAILS	1" = 30'
SP-6.0	STEEP SLOPES	1" = 40'
SP-7.0	ROAD PROFILES	AS NOTED
	SURVEY	1" = 30'

OWNER/APPLICANT:
 PAUL SCHEMMER, VALERIE SCHEMMER
 37 Croton Dam Road
 Ossining, NY 10562

VAL SANTUCCI, MICHELLA SANTUCCI
 37 Croton Dam Road
 Ossining, NY 10562

**PLANNER, CIVIL ENGINEER,
 LANDSCAPE ARCHITECT:**

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SURVEYOR:

THOMAS C. MERRITTS
 Land Surveyors, P.C.
 394 Bedford Road
 Pleasantville, NY 10507

37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
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OSSINING, NEW YORK

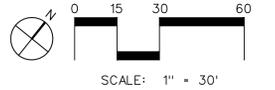
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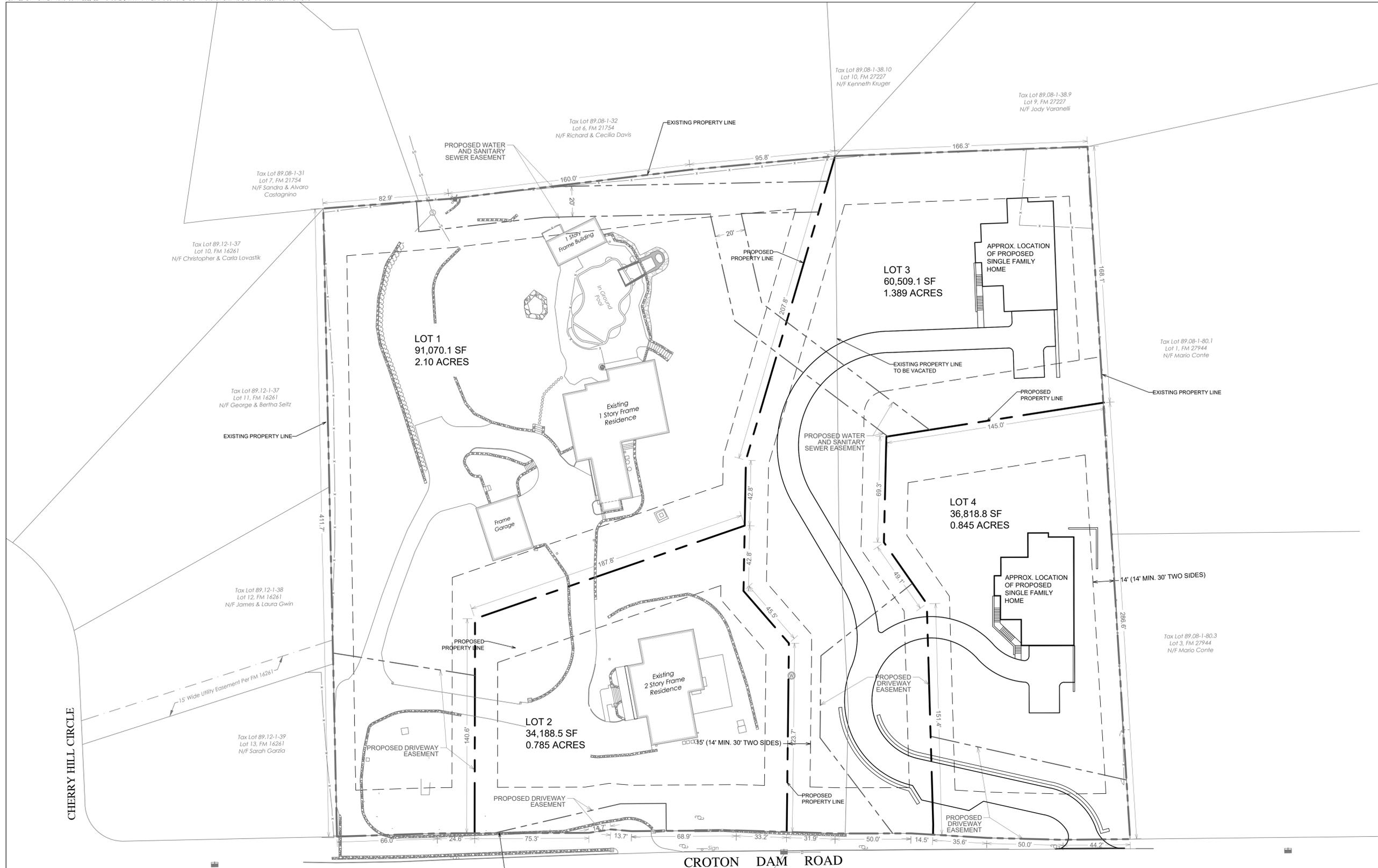
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DRAWING TITLE:
PRELIMINARY SUBDIVISION PLAN

	DRAWN BY: MJS	CHECKED BY: CMS	
	PROJECT NO. 818	DATE: 5/29/18	
	DRAWING NO. SP-0.0		

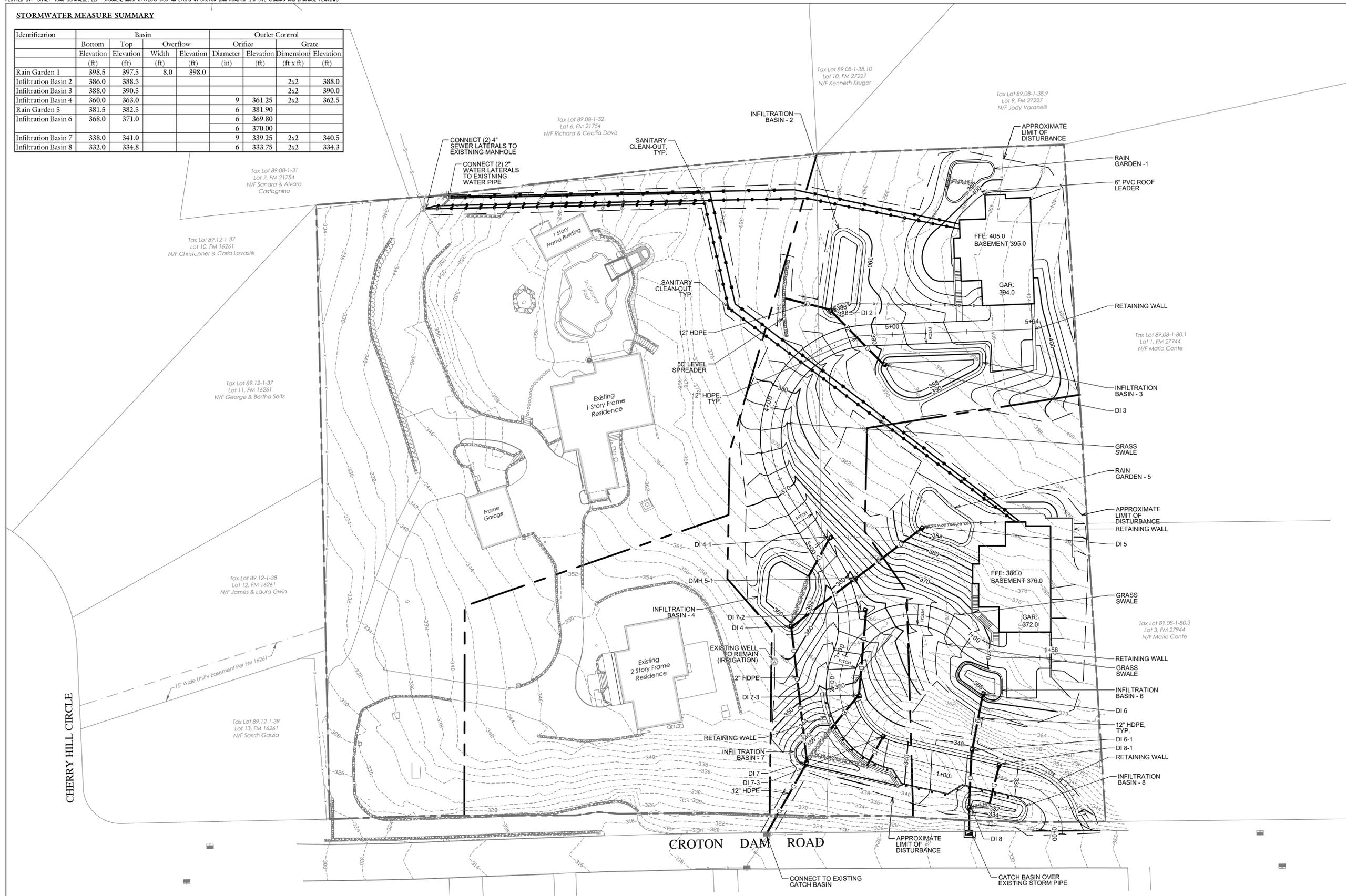


CHERRY HILL CIRCLE

CROTON DAM ROAD

STORMWATER MEASURE SUMMARY

Identification	Basin				Outlet Control			
	Bottom Elevation (ft)	Top Elevation (ft)	Width (ft)	Overflow Elevation (ft)	Orifice Diameter (in)	Orifice Elevation (ft)	Grate Dimension (ft x ft)	Grate Elevation (ft)
Rain Garden 1	398.5	397.5	8.0	398.0				
Infiltration Basin 2	386.0	388.5					2x2	388.0
Infiltration Basin 3	388.0	390.5					2x2	390.0
Infiltration Basin 4	360.0	363.0			9	361.25	2x2	362.5
Rain Garden 5	381.5	382.5			6	381.90		
Infiltration Basin 6	368.0	371.0			6	369.80		
					6	370.00		
Infiltration Basin 7	338.0	341.0			9	339.25	2x2	340.5
Infiltration Basin 8	332.0	334.8			6	333.75	2x2	334.3



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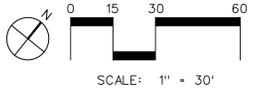
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SITE ENGINEERING PLAN

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SP-2.0

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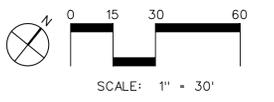
TOWN OF OSSINING, New York

OWNER / APPLICANT
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 VALERIE SCHEMMER
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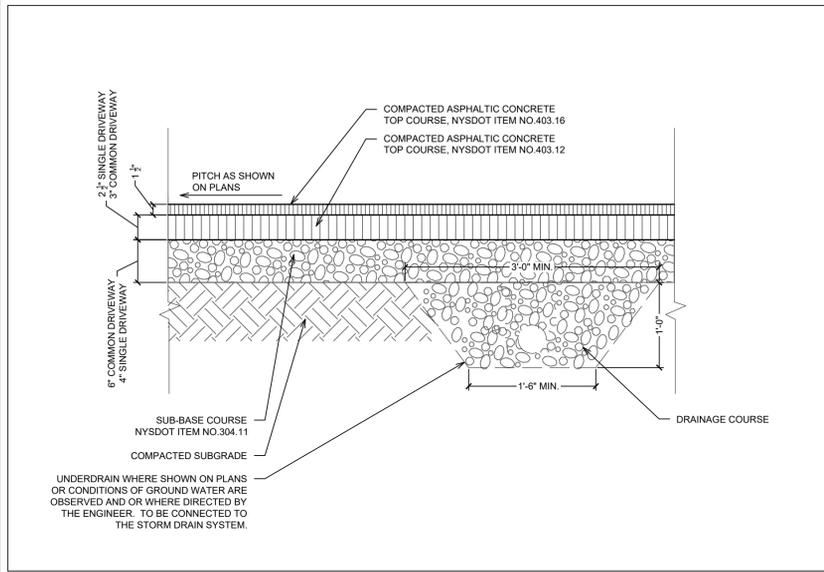
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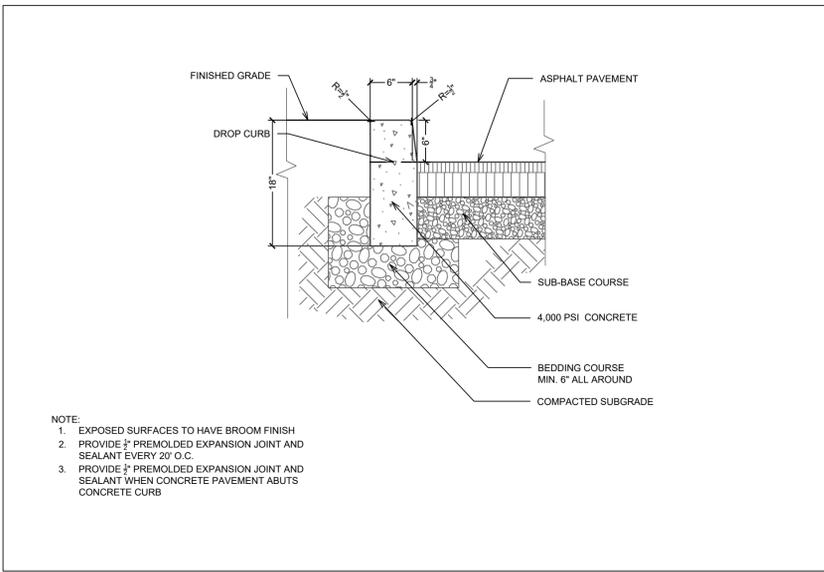
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DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME
	30	ACER SACCHARUM / SUGAR MAPLE
		BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH
		CELTIS OCCIDENTALIS / COMMON HACKBERRY
		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'™ / SHADEMASTER LOCUST
		LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEET GUM
		ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME
	56	PICEA GLAUCA / WHITE SPRUCE
		PICEA OMORIKA / SERBIAN SPRUCE
		PICEA PUNGENS / COLORADO SPRUCE
FLOWERING TREES	QTY	BOTANICAL NAME / COMMON NAME
	47	AMELANCHIER 'AUTUMN BRILLIANCE' MS / 'AUTUMN BRILLIANCE' SERVICEBERRY MS
		CERCIS CANADENSIS MS / EASTERN REDBUD MS
		MALUS X 'ADIRONDACK' / ADIRONDACK CRABAPPLE

LANDSCAPE PLAN

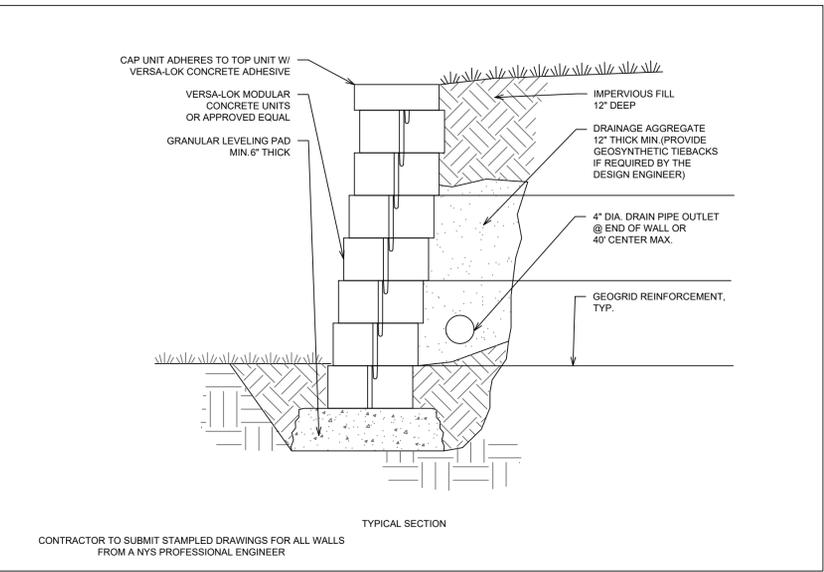
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PROJECT NO.:	818	DATE:	5/29/18
DRAWING NO.:	SP-3.1		



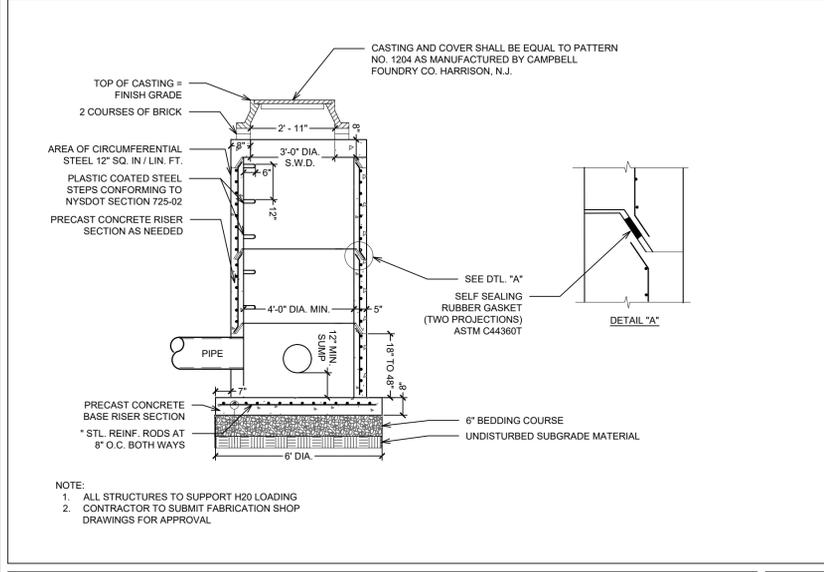
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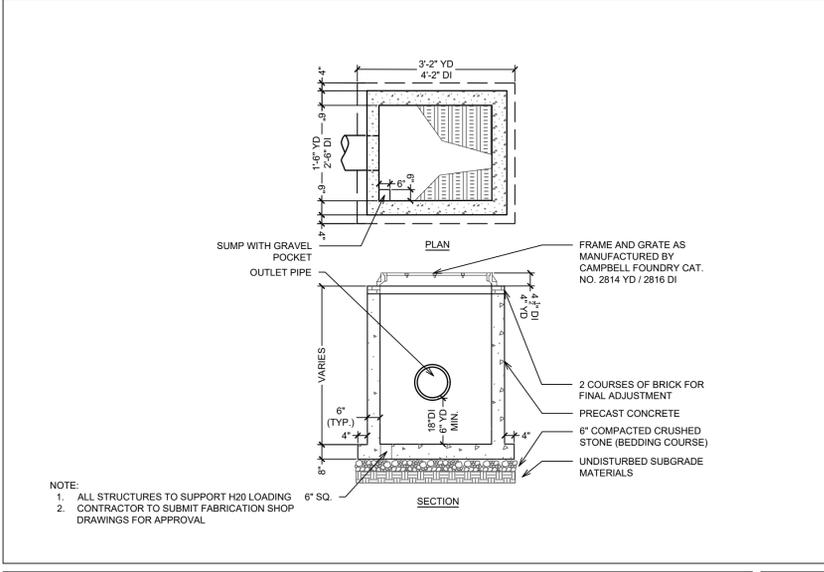
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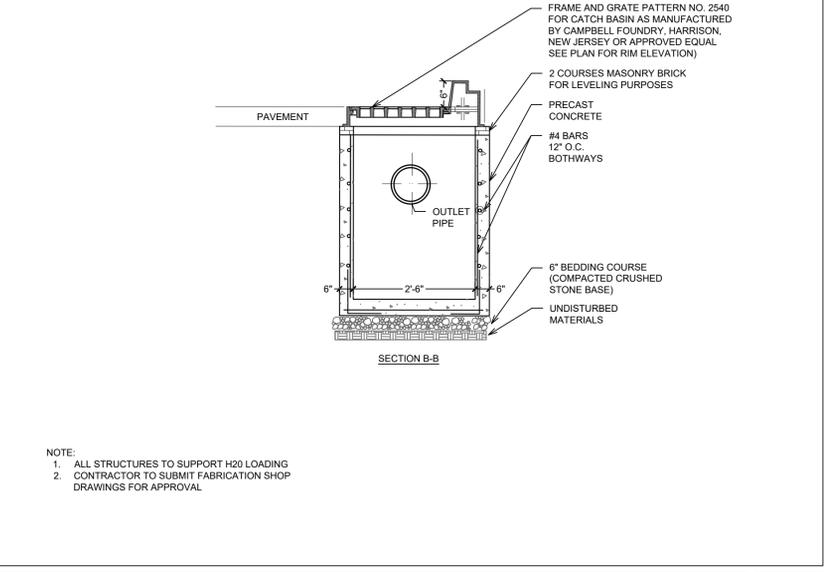
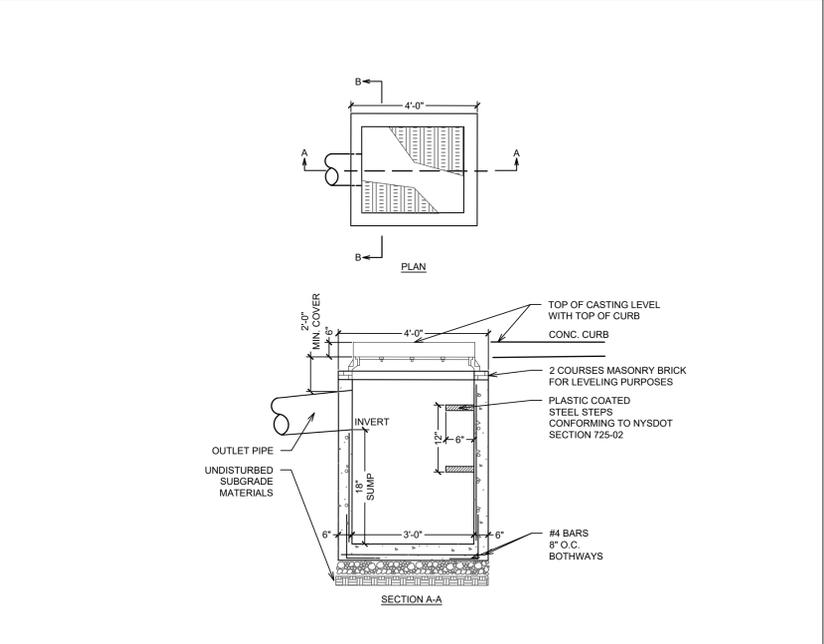
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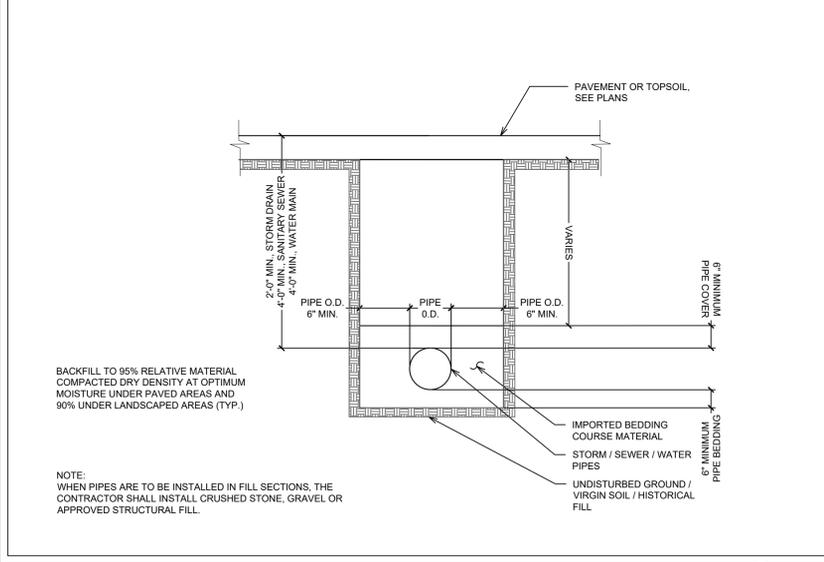
DRAINAGE MANHOLE
SCALE: N.T.S. 4



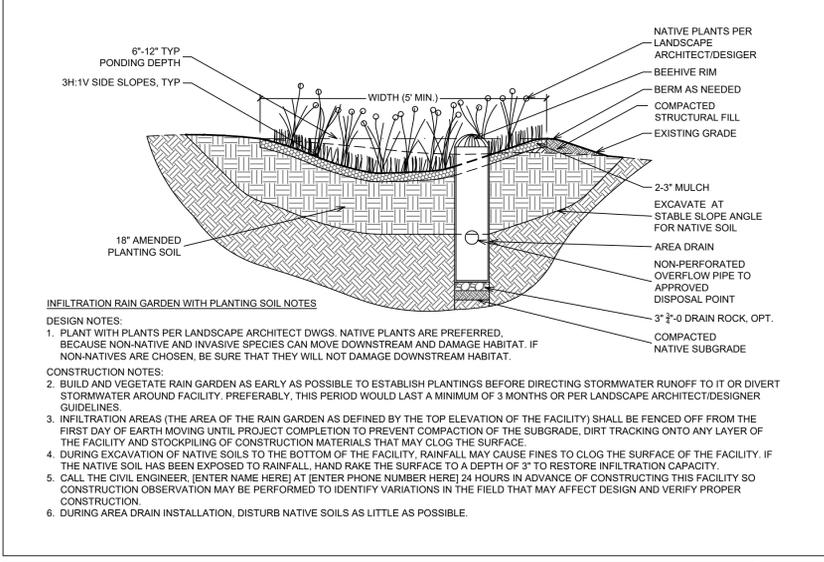
DRAIN INLET
SCALE: N.T.S. 5



CATCH BASIN
SCALE: N.T.S. 9



TRENCH DETAIL
SCALE: N.T.S. 7



RAIN GARDEN
SCALE: N.T.S. 8

37-41 CROTON DAM ROAD - SUBDIVISION
TOWN OF OSSINING, New York

OWNER / APPLICANT
PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT
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37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

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VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

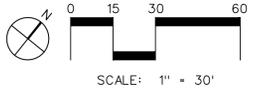
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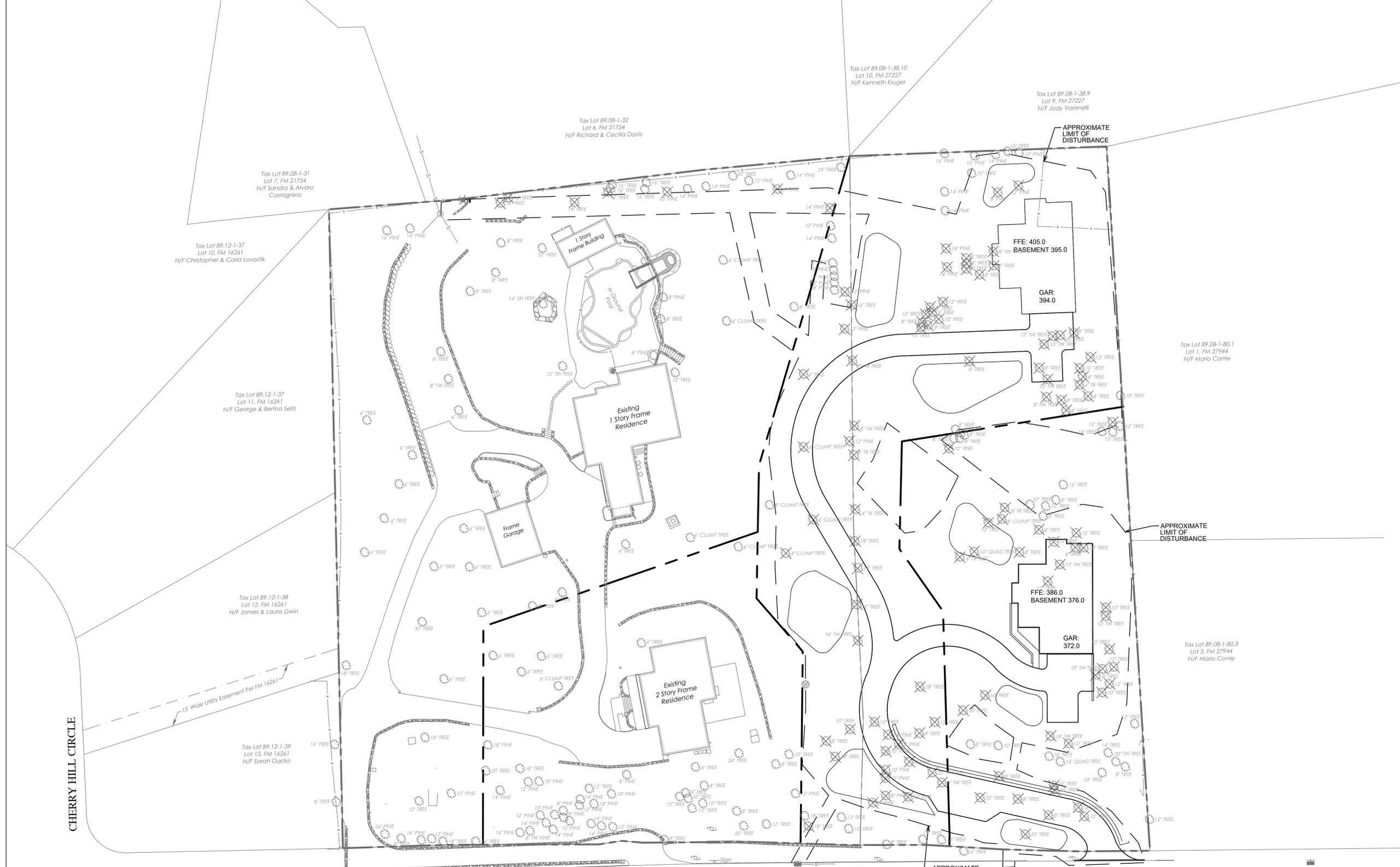
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TREE REMOVAL PLAN

	DRAWN BY: MJS PROJECT NO: 818 DRAWING NO:	CHECKED BY: GMS DATE: 5/29/18
	SP-5.0	



CHERRY HILL CIRCLE

CROTON DAM ROAD

Tax Lot 89.08-1-31
Lot 7, FM 21754
N/F Sandra & Alvaro Castagnino

Tax Lot 89.12-1-37
Lot 10, FM 16261
N/F Christopher & Carla Lovastik

Tax Lot 89.12-1-37
Lot 11, FM 16261
N/F George & Bertha Seitz

Tax Lot 89.12-1-38
Lot 12, FM 16261
N/F James & Laura Gwin

Tax Lot 89.12-1-39
Lot 13, FM 16261
N/F Sarah Garzia

Tax Lot 89.08-1-32
Lot 6, FM 21754
N/F Richard & Cecilia Davis

Tax Lot 89.08-1-38.10
Lot 10, FM 27227
N/F Kenneth Kruger

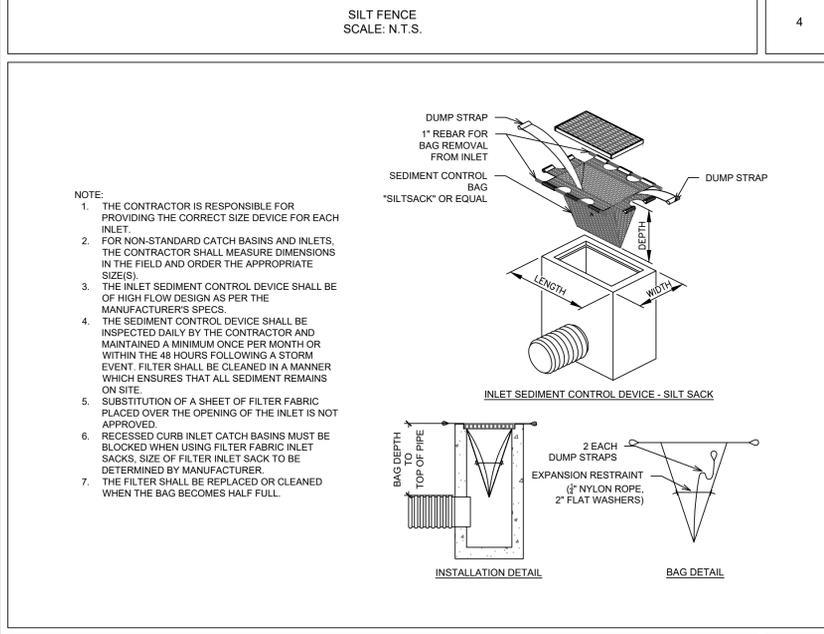
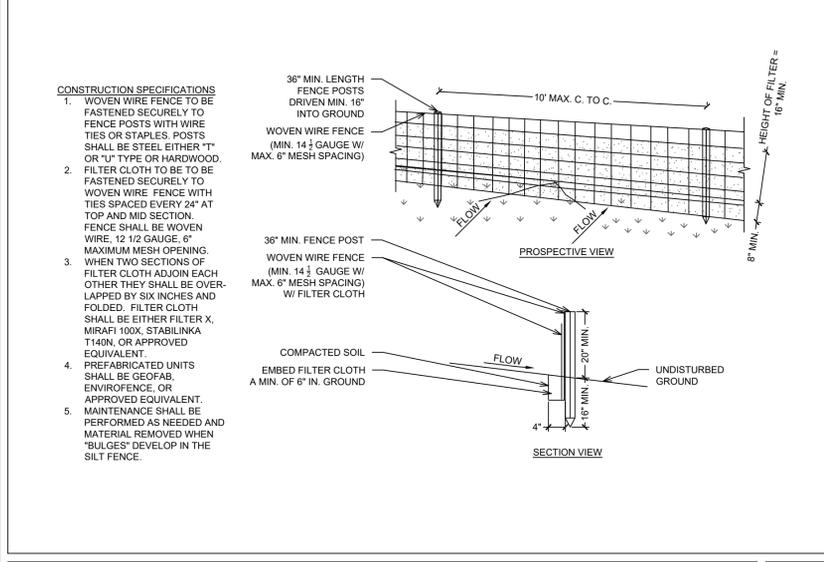
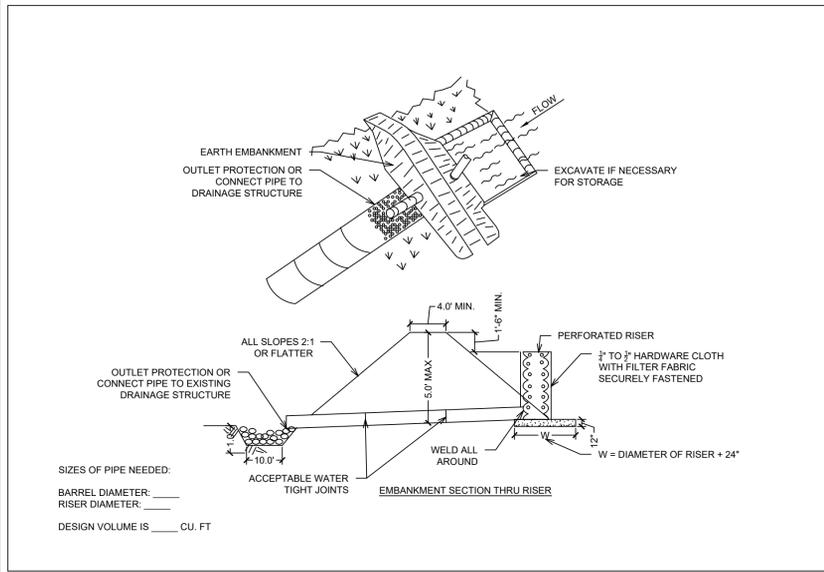
Tax Lot 89.08-1-38.9
Lot 9, FM 27227
N/F Jody Varanelli

Tax Lot 89.08-1-80.1
Lot 1, FM 27944
N/F Mario Conte

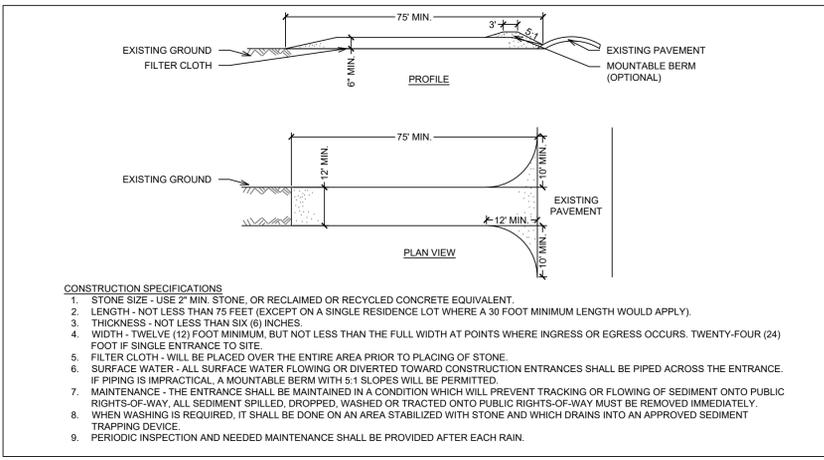
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Lot 3, FM 27944
N/F Mario Conte

FFE: 405.0
BASEMENT 395.0
GAR: 394.0

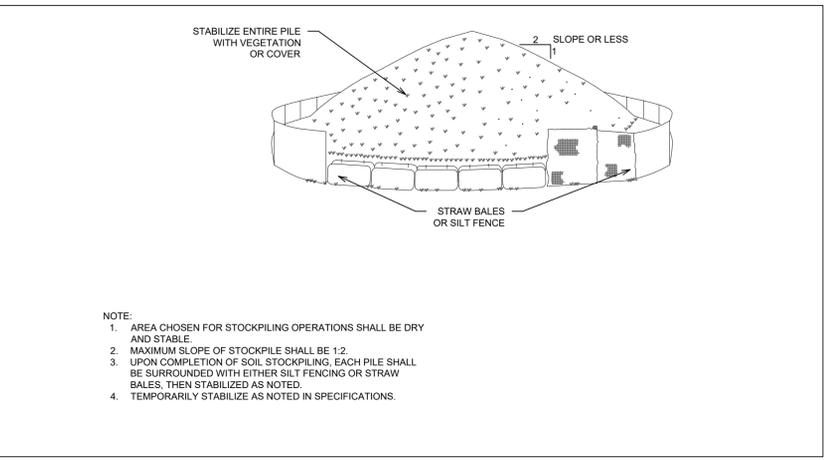
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BASEMENT 376.0
GAR: 372.0



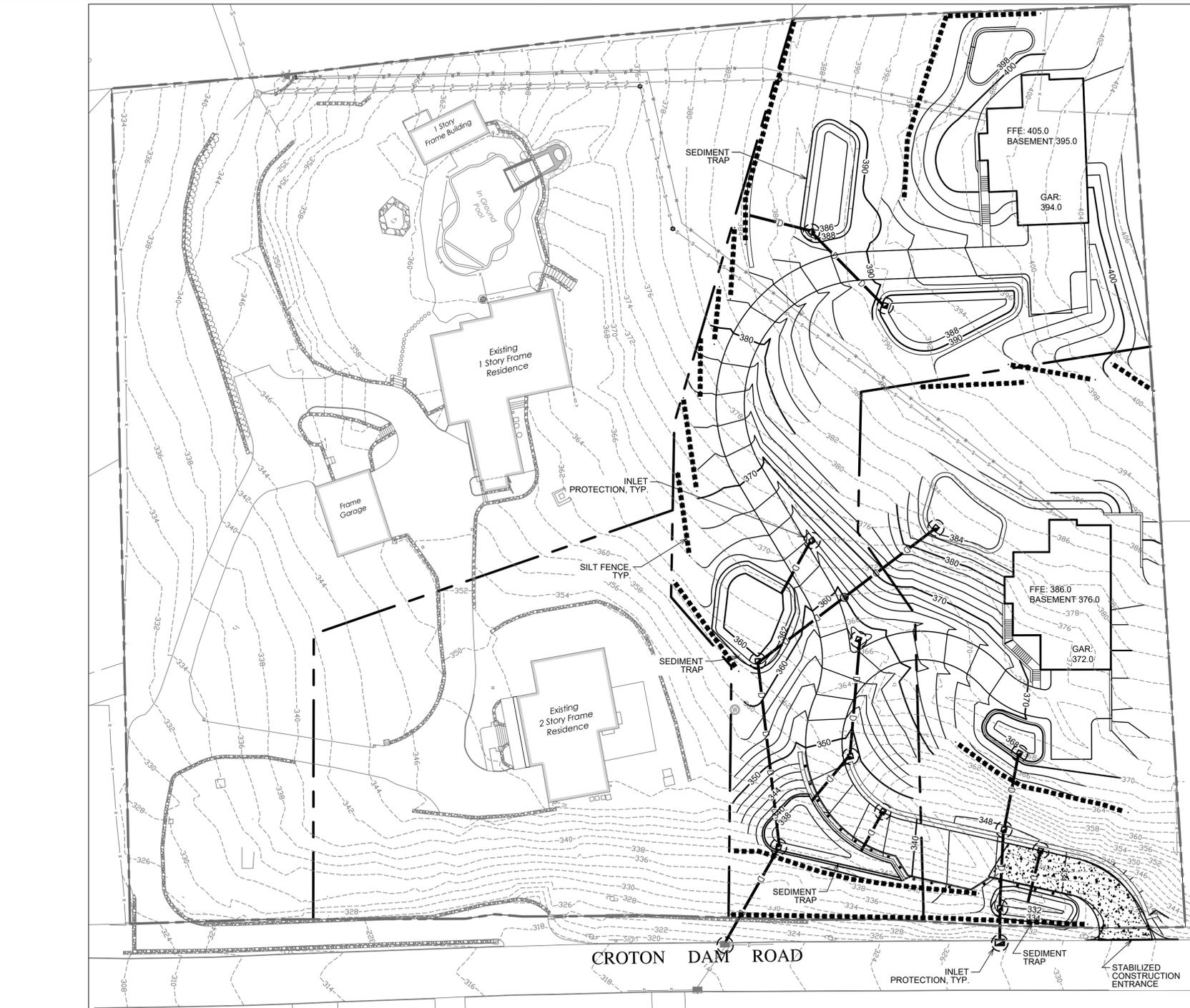
INLET PROTECTION
SCALE: N.T.S. 5



STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S. 2



SOIL STOCKPILE
SCALE: N.T.S. 3



37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

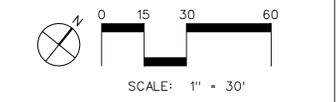
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DRAWING TITLE: EROSION & SEDIMENT CONTROL PLAN & DETAILS

DRAWN BY: MJS CHECKED BY: GMS
PROJECT NO: 818 DATE: 5/29/18
DRAWING NO: SP-5.1

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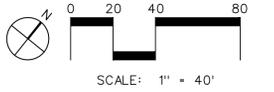
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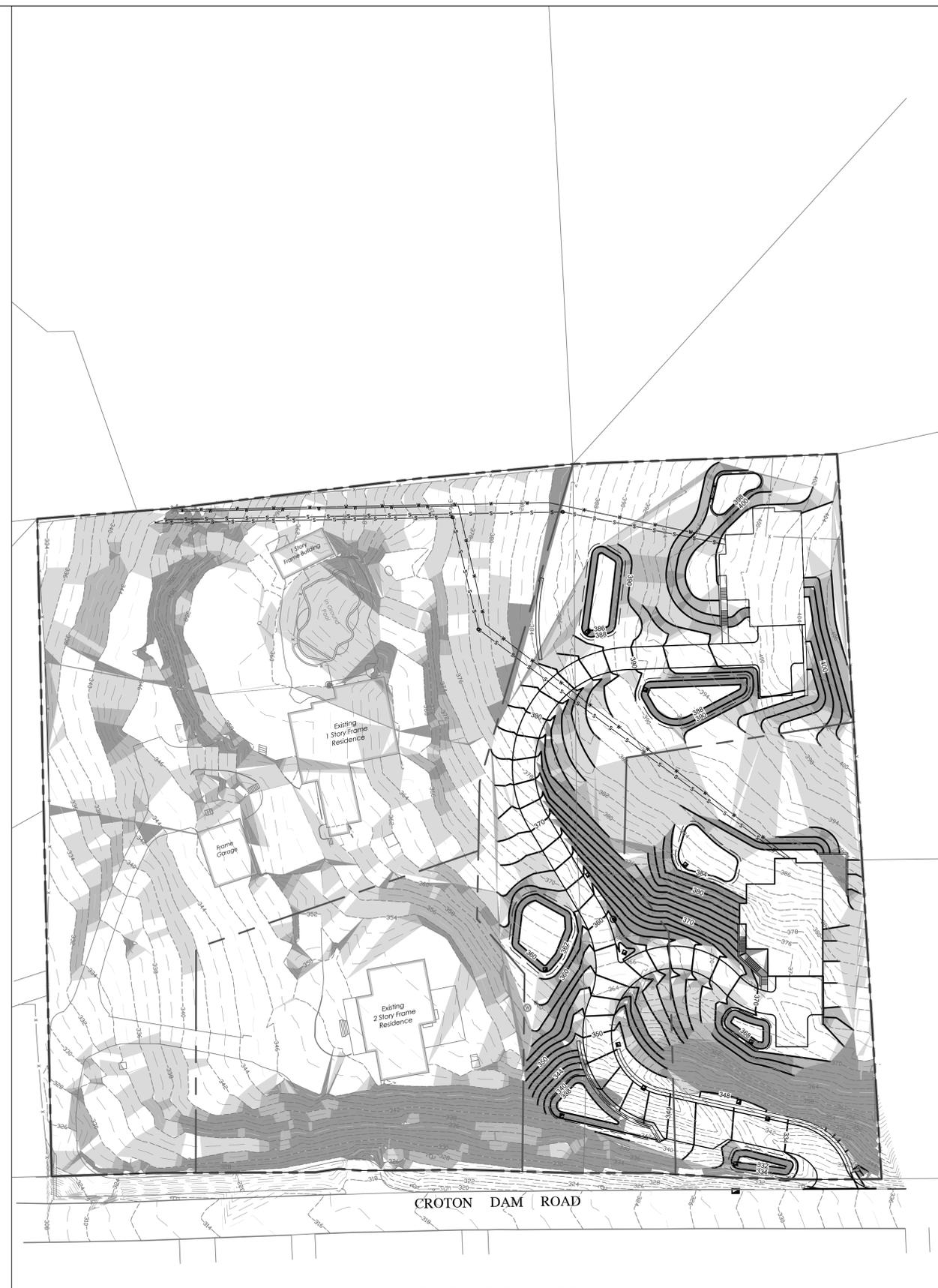
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REVISIONS	NO.	DATE	ISSUE



EXISTING STEEP SLOPES

Existing Slopes Table				
CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%	Light Gray	67,500
VERY STEEP SLOPE	25.00%	35.00%	Medium Gray	21,500
EXTREMELY STEEP SLOPE	35.00%	-	Dark Gray	31,000



PROPOSED STEEP SLOPES

Proposed Slopes Table				
CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%	Light Gray	54,000
VERY STEEP SLOPE	25.00%	35.00%	Medium Gray	20,500
EXTREMELY STEEP SLOPE	35.00%	-	Dark Gray	40,000

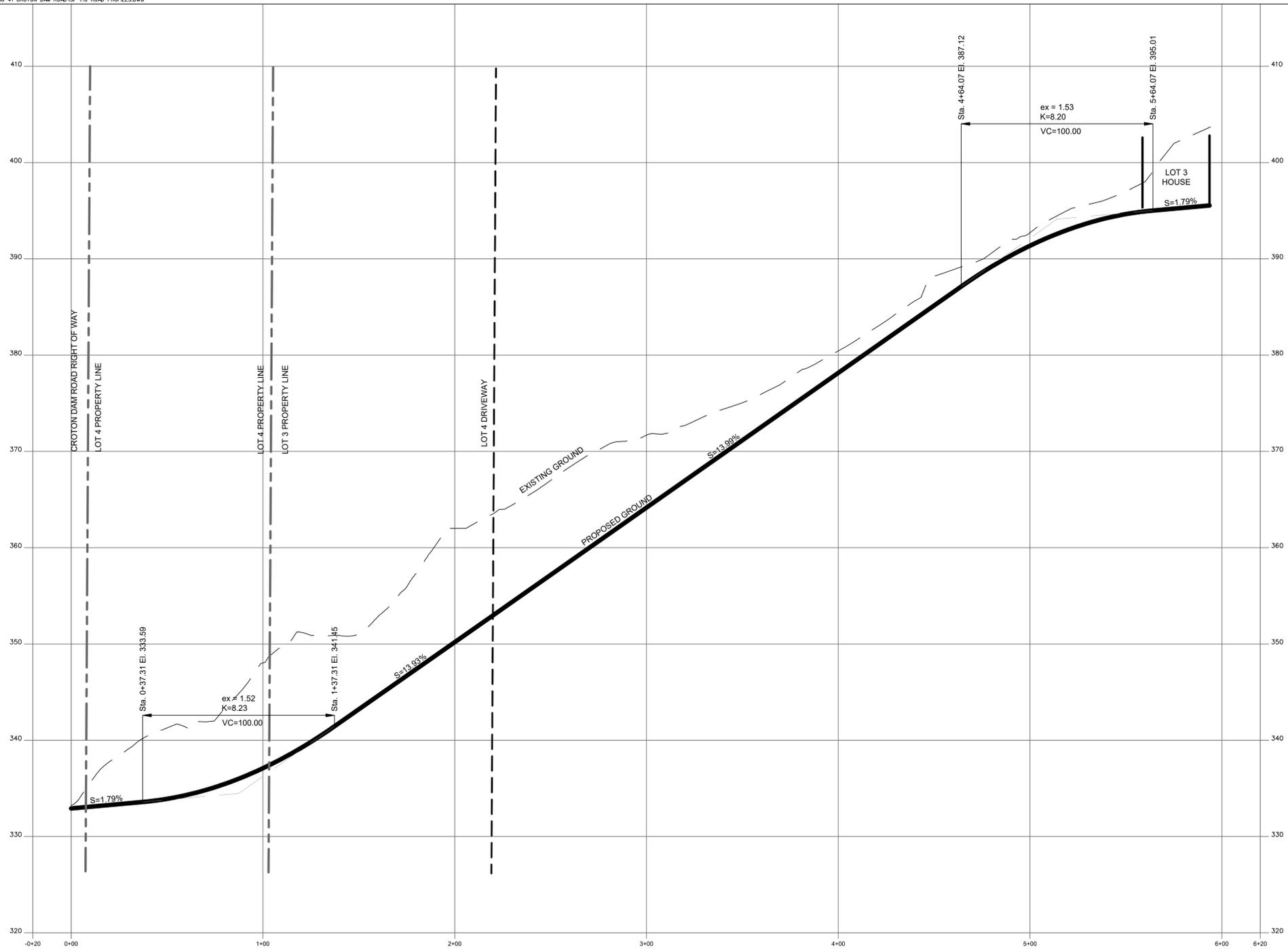
STEEP SLOPES

DRAWING TITLE: **SP-6.0**

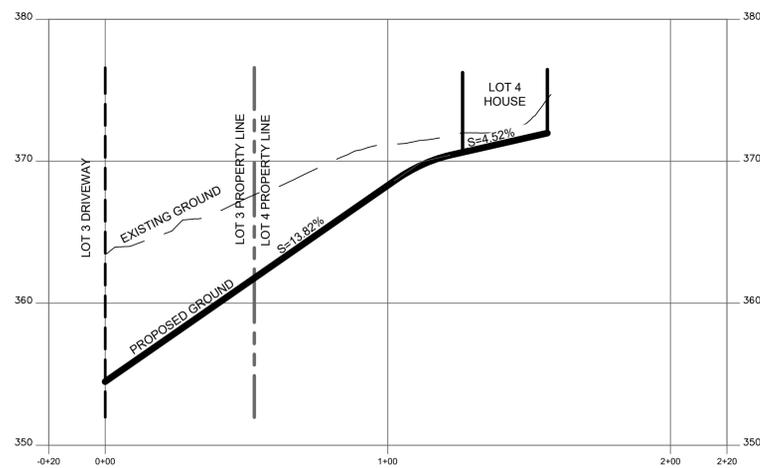
STATE OF NEW YORK
SEAL OF GERHARD MARTIN SCHWALBE
PROFESSIONAL ENGINEER
084469

DRAWN BY: MJS	CHECKED BY: CMS
PROJECT NO. 818	DATE: 5/29/18
DRAWING NO.	

LOT 3
DRIVEWAY



LOT 4
DRIVEWAY



37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601

P: 914.428.0010
F: 914.428.0017

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-8003



SCALE: 1" = 30'

VERTICAL: 1" = 6'

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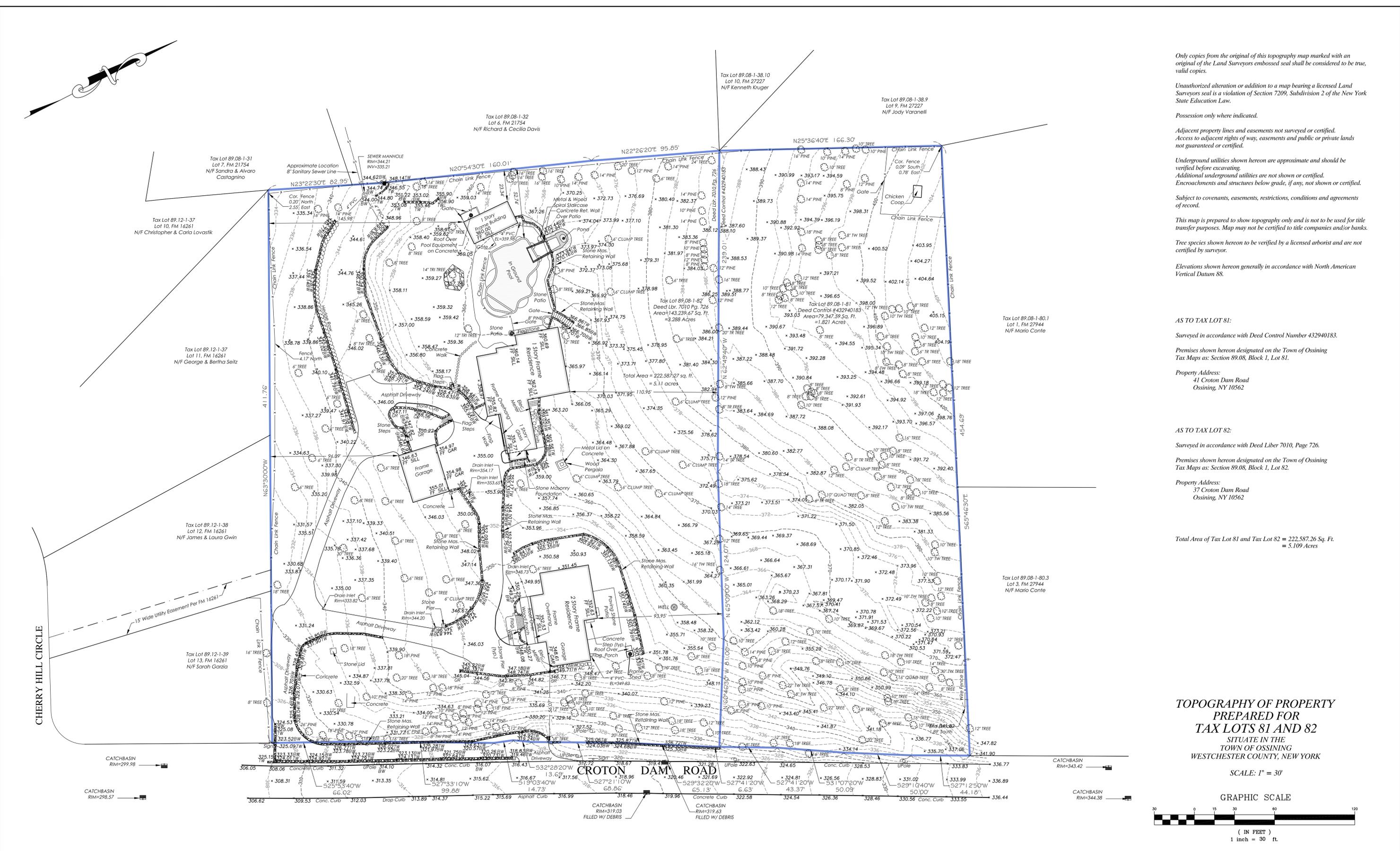
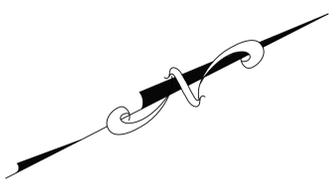
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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:

DRIVEWAY PROFILES

	DRAWN BY: MJS	CHECKED BY: GMS
	PROJECT NO: 818	DATE: 5/29/18
	DRAWING NO: SP-7.0	



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

AS TO TAX LOT 81:

Surveyed in accordance with Deed Control Number 432940183.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 81.

Property Address:
41 Croton Dam Road
Ossining, NY 10562

AS TO TAX LOT 82:

Surveyed in accordance with Deed Liber 7010, Page 726.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 82.

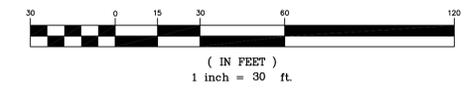
Property Address:
37 Croton Dam Road
Ossining, NY 10562

Total Area of Tax Lot 81 and Tax Lot 82 = 222,587.26 Sq. Ft. = 5.109 Acres

**TOPOGRAPHY OF PROPERTY
PREPARED FOR
TAX LOTS 81 AND 82
SITUATE IN THE
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK**

SCALE: 1" = 30'

GRAPHIC SCALE



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TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

Surveyed: February 8, 2018
Map Prepared: February 14, 2018

By: 
Scott B. Gray New York State Licensed Land Surveyor No. 050672

Project: 18-011	Field Survey By: AN/FT
Drawn By: CMP	Checked By: S/BG