

37 - 41 CROTON DAM ROAD

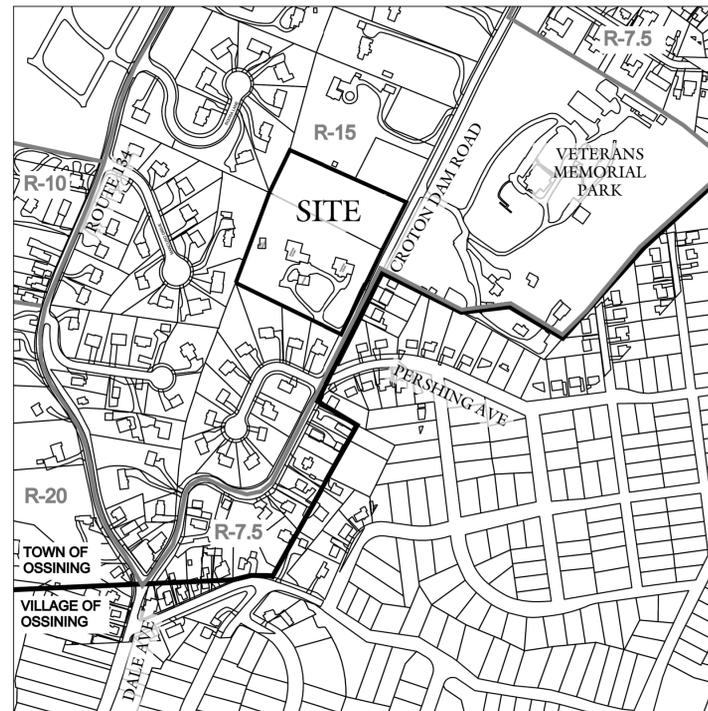
TOWN OF OSSINING, NEW YORK

APPLICATION FOR SUBDIVISION APPROVAL

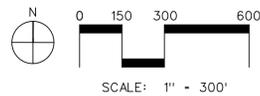
MAY 29, 2018

REVISED: SEPTEMBER 24, 2018

LOCATION MAP



BASE MAP SOURCE: WESTCHESTER GIS



ZONING COMPLIANCE TABLE

R-15 DISTRICT	REQUIRED/ PERMITTED	EXISTING		PROPOSED			
		37 Croton Dam Rd - Section 92.02 - Block 1 - Lot 92	41 Croton Dam Rd - Section 92.02 - Block 1 - Lot 91	Lot 1	Lot 2	Lot 3	Lot 4
CHAPTER 200 - ZONING							
Attachment 2 - Bulk Regulations							
Lot Area (sf)	15,000	140,611	78,279	91,070	34,189	60,509	36,819
Lot Width (feet)	90	335	187	273	205	166	124
Lot Depth (feet)	120	415	450	236	141	168	269
Required Yards							
Front (feet)	30	57	N/A	42	57	67	107
1 Side (feet)	14	97	N/A	58	56	26	27
Both Sides (feet)	30	257	N/A	217	134	138	75
Rear (feet)	32	134	N/A	122	45	32	79
Max Building Height							
Stories	2.5	2	N/A	1	2	<2.5	<2.5
Feet	35	No Change	N/A	No Change	No Change	<35	<35
Max Building Coverage (percent)	25	4.7	N/A	6%	8%	5%	8%
CHAPTER 176 - SUBDIVISION REGULATIONS							
Section 176-18f(1) - Lots							
Area Exclusive of Extremely Steep Slopes ² (sf)							
Required	75% of lot area	11,250	11,250	11,250	11,250	11,250	11,250
Provided							
Total Lot Area		140,611	78,279	91,070	34,189	60,509	36,819
Less Extremely Steep Slopes		17,500	13,500	8,500	8,250	12,500	9,200
Provided Net Lot Area		123,111	65,779	82,570	25,939	48,009	27,619

¹For subdivision code section 176-18f(1), "... at least 75% of the minimum lot area requirement of a proposed lot shall consist of neither 'wetland' nor 'extremely steep slope'..."
²For Chapter 157 of the Steep Slope Protection code, an extremely steep slope is defined as a slope with a topographical gradient equal to or greater than 35%.

LIST OF DRAWINGS

SCALE

COVER SHEET

SP-0.0	PRELIMINARY SUBDIVISION PLAN	1" = 30'
SP-1.0	SITE LAYOUT PLAN	1" = 30'
SP-2.0	SITE ENGINEERING PLAN	1" = 30'
SP-3.1	LANDSCAPE PLAN	1" = 30'
SP-4.1 - 4.2	SITE DETAILS	AS NOTED
SP-5.0	TREE REMOVAL PLAN	1" = 30'
SP-5.1	EROSION AND SEDIMENT CONTROL PLAN & DETAILS	1" = 30'
SP-6.0	STEEP SLOPES	1" = 40'
SP-7.0	ROAD PROFILES	AS NOTED
	SURVEY	1" = 30'

OWNER/APPLICANT:
 PAUL SCHEMMER, VALERIE SCHEMMER
 37 Croton Dam Road
 Ossining, NY 10562

VAL SANTUCCI, MICHELLA SANTUCCI
 37 Croton Dam Road
 Ossining, NY 10562

**PLANNER, CIVIL ENGINEER,
 LANDSCAPE ARCHITECT:**

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 One North Broadway
 White Plains, NY 10601
 P: 914.428.0010
 F: 914.428.0017

SURVEYOR:

THOMAS C. MERRITTS
 Land Surveyors, P.C.
 394 Bedford Road
 Pleasantville, NY 10507

37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

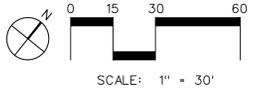
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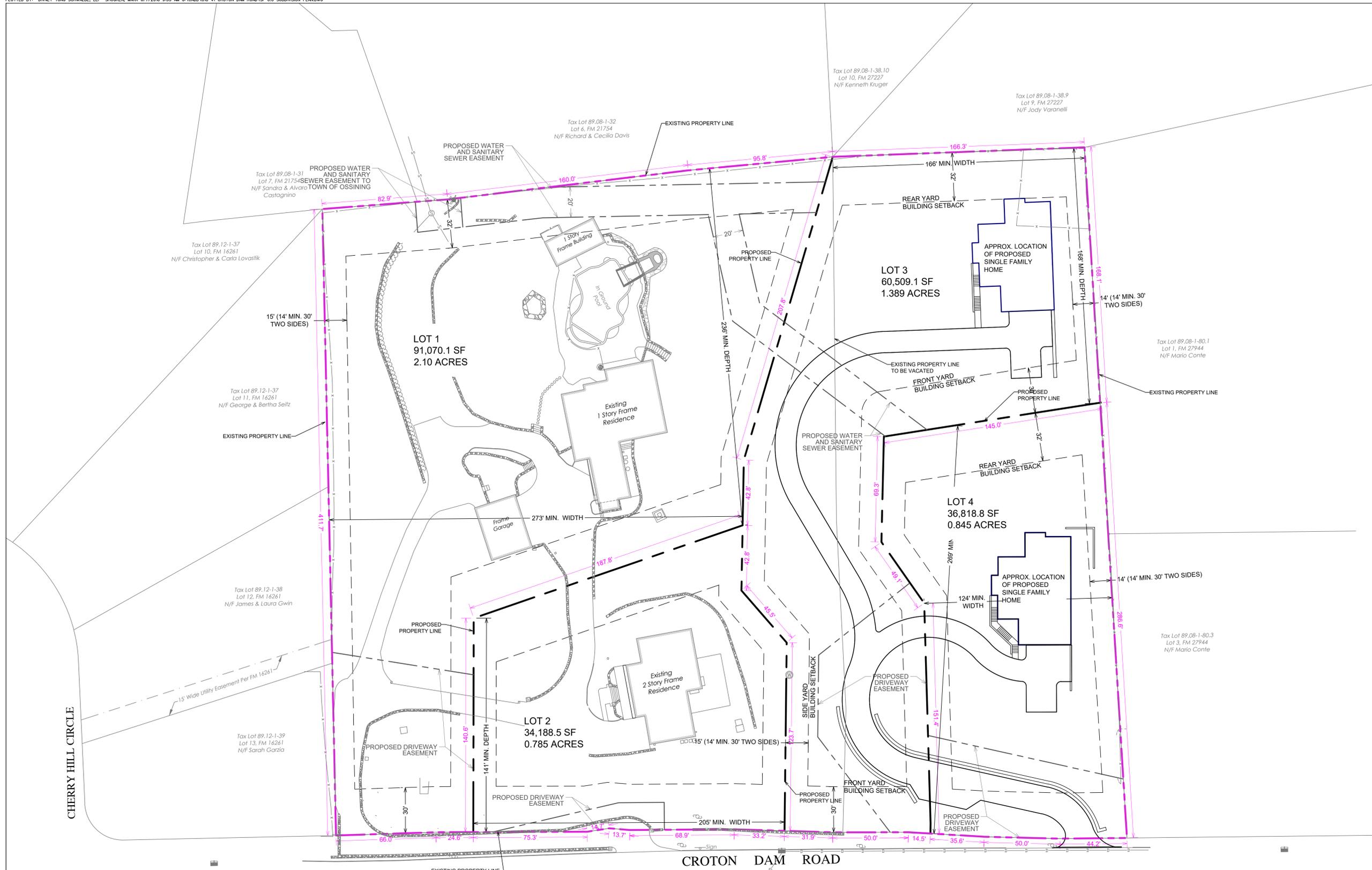
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NO.	DATE	ISSUE

DRAWING TITLE:

PRELIMINARY SUBDIVISION PLAN

	DRAWN BY:	MJS	CHECKED BY:	CMS
	PROJECT NO.:	818	DATE:	5/29/18
	DRAWING NO.:	SP-0.0		



CHERRY HILL CIRCLE

CROTON DAM ROAD

37-41 CROTON DAM ROAD - SUBDIVISION

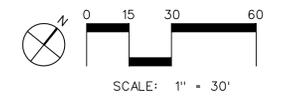
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 VALERIE SCHEMMER
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 OSSINING, NEW YORK

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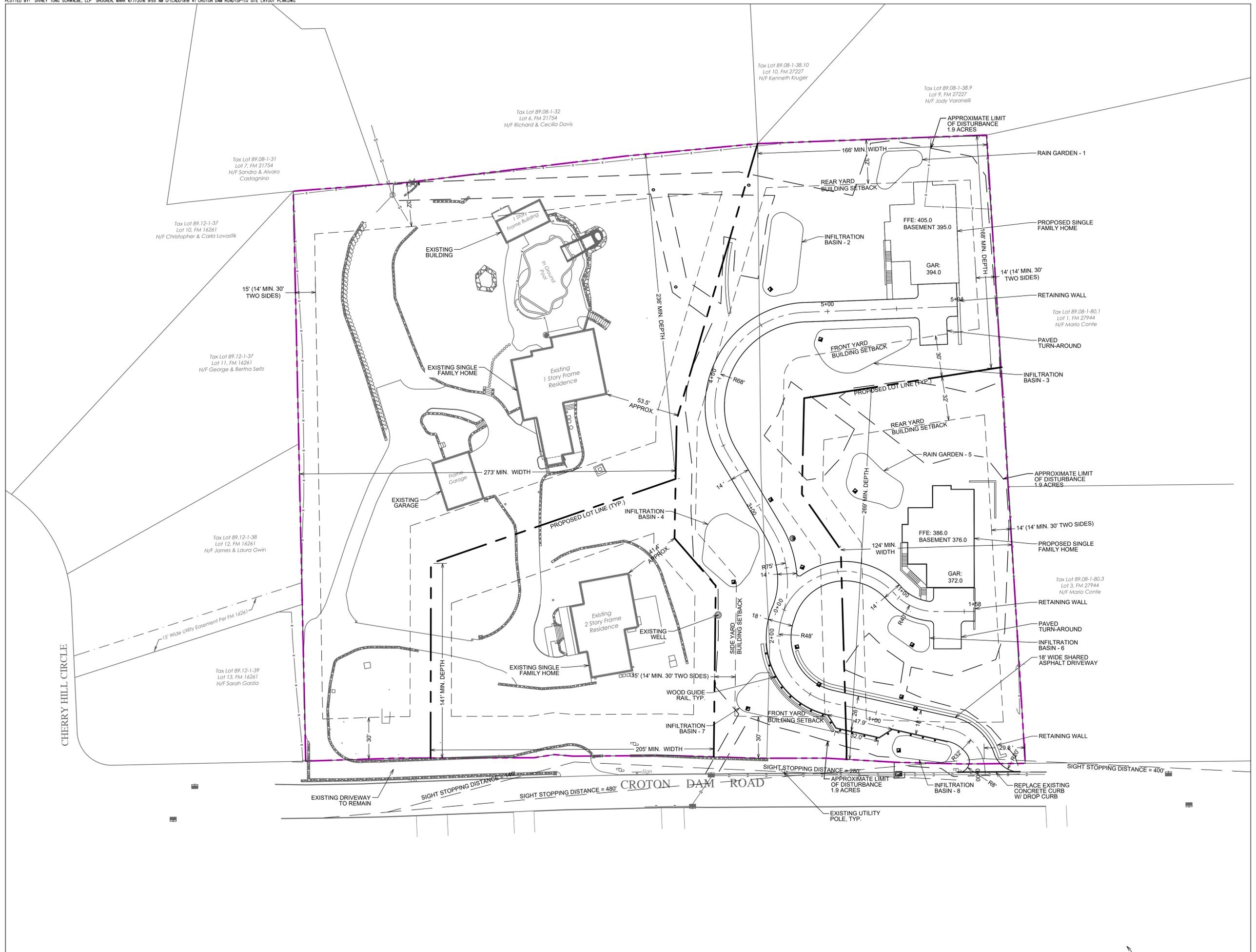
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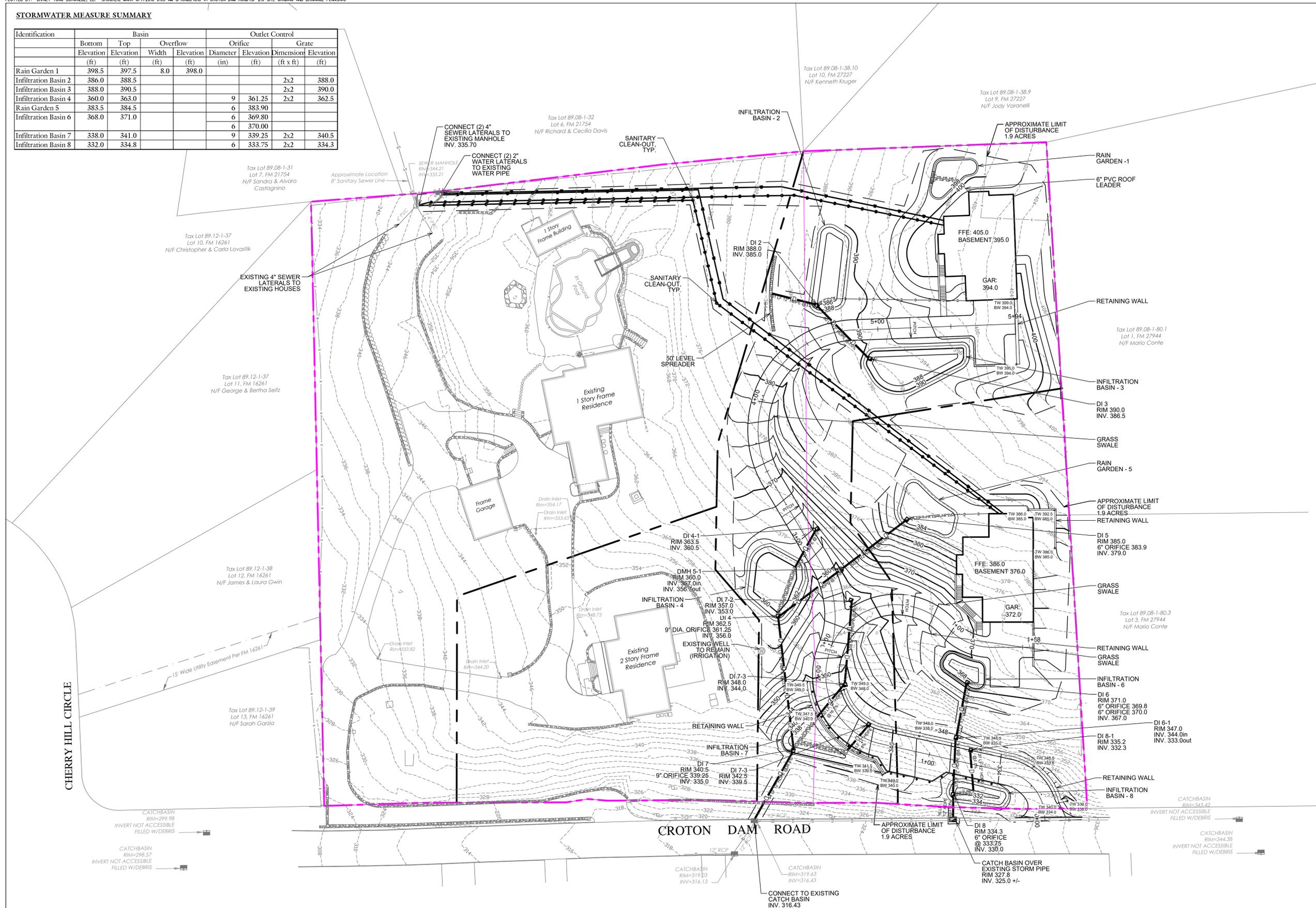
SITE LAYOUT PLAN

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	PROJECT NO.	818	DATE:	5/29/18
	DRAWING NO.	SP-1.0		



STORMWATER MEASURE SUMMARY

Identification	Basin			Outlet Control			Grate Elevation (ft)
	Bottom Elevation (ft)	Top Elevation (ft)	Overflow Width (ft)	Orifice Diameter (in)	Orifice Elevation (ft)	Orifice Dimension (ft x ft)	
Rain Garden 1	398.5	397.5	8.0	398.0			
Infiltration Basin 2	386.0	388.5				2x2	388.0
Infiltration Basin 3	388.0	390.5				2x2	390.0
Infiltration Basin 4	360.0	363.0			9	361.25	2x2
Rain Garden 5	383.5	384.5			6	383.90	
Infiltration Basin 6	368.0	371.0			6	369.80	
					6	370.00	
Infiltration Basin 7	338.0	341.0			9	339.25	2x2
Infiltration Basin 8	332.0	334.8			6	333.75	2x2



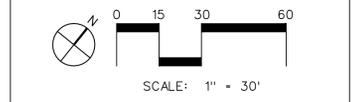
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DRAWING TITLE:
SITE ENGINEERING PLAN


 DRAWN BY: MJS
 PROJECT NO: 818
 DRAWING NO: SP-2.0
 CHECKED BY: GMS
 DATE: 5/29/18

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TOWN OF OSSINING, New York

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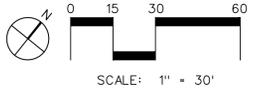
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LANDSCAPE PLAN

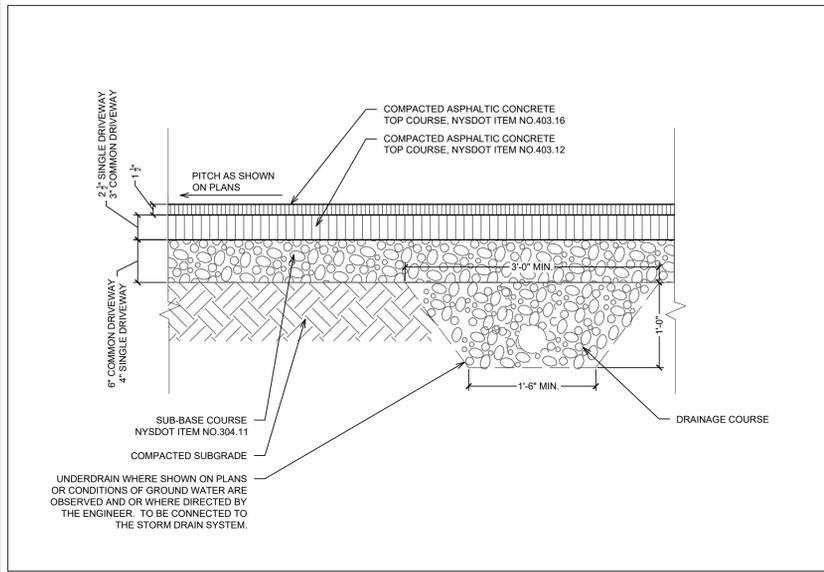
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	PROJECT NO.	818	DATE:	5/29/18
	DRAWING NO.	SP-3.1		



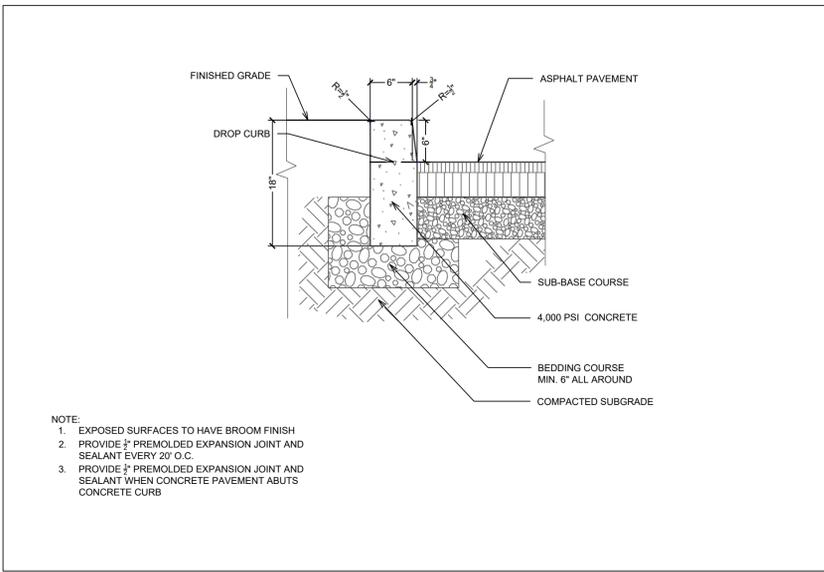
PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME
	30	2.5"-3.0" CAL ACER SACCHARUM / SUGAR MAPLE BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH CELTIS OCCIDENTALIS / COMMON HACKBERRY GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'™ / SHADEMASTER LOCUST LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEET GUM ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA
EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME
	56	10'-12' HGT (2.5" CAL) PICEA GLAUCA / WHITE SPRUCE PICEA OMORIKA / SERBIAN SPRUCE PICEA PUNGENS / COLORADO SPRUCE
FLOWERING TREES	QTY	BOTANICAL NAME / COMMON NAME
	47	8'-10' HGT (2.5" CAL) AMELANCHIER 'AUTUMN BRILLIANCE' MS / 'AUTUMN BRILLIANCE' SERVICEBERRY MS CERCIS CANADENSIS MS / EASTERN REDBUD MS MALUS X 'ADIRONDACK' / ADIRONDACK CRABAPPLE

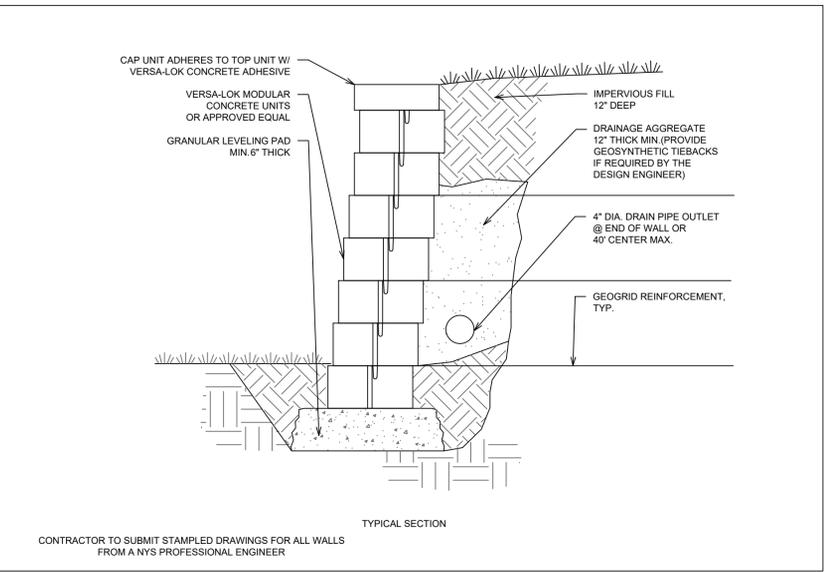
NOTE:
ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.



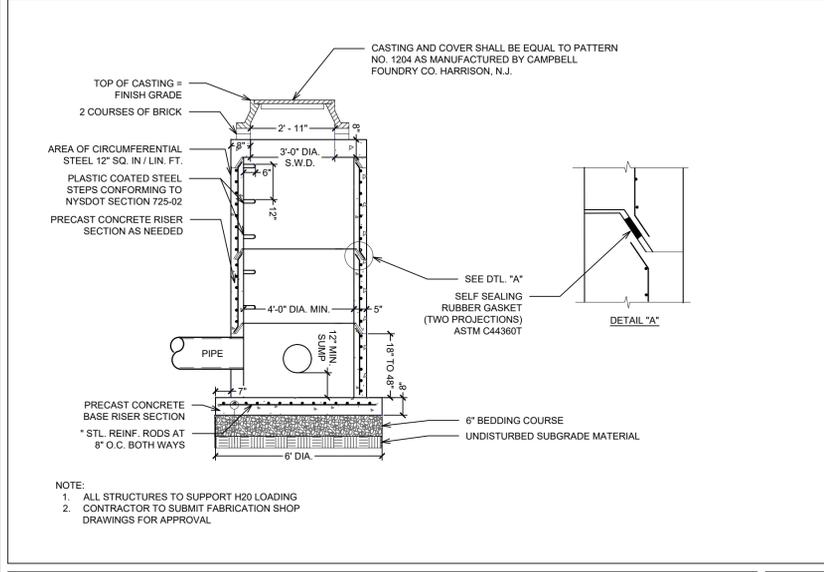
ASPHALT PAVEMENT
 SCALE: N.T.S. 1



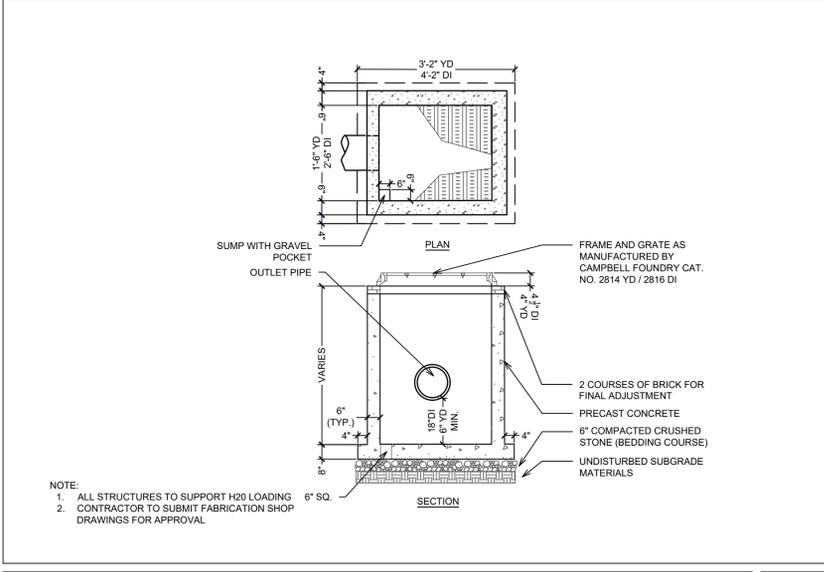
CONCRETE CURB
 SCALE: N.T.S. 2



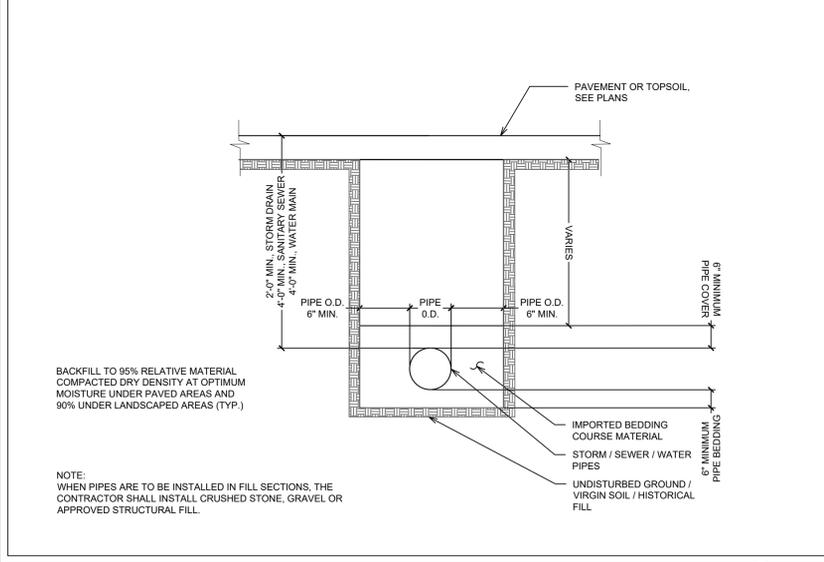
MODULAR BLOCK RETAINING WALL
 SCALE: N.T.S. 3



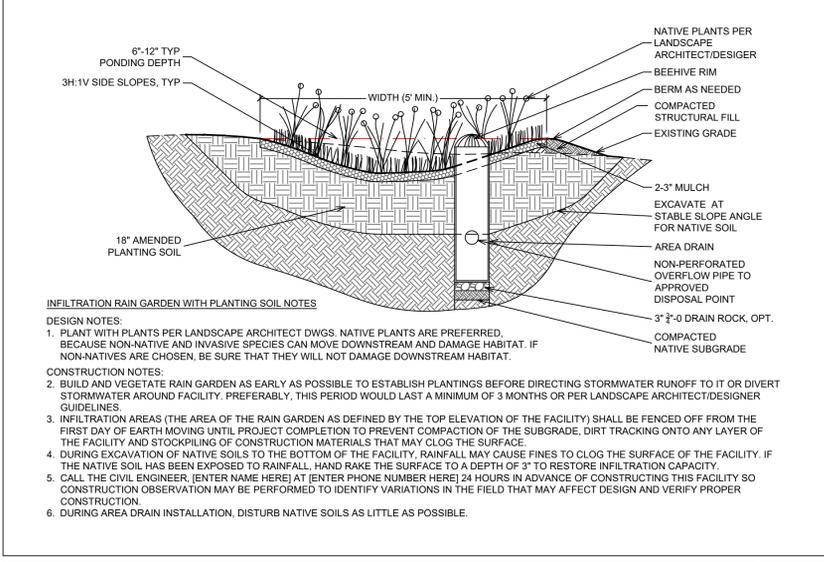
DRAINAGE MANHOLE
 SCALE: N.T.S. 4



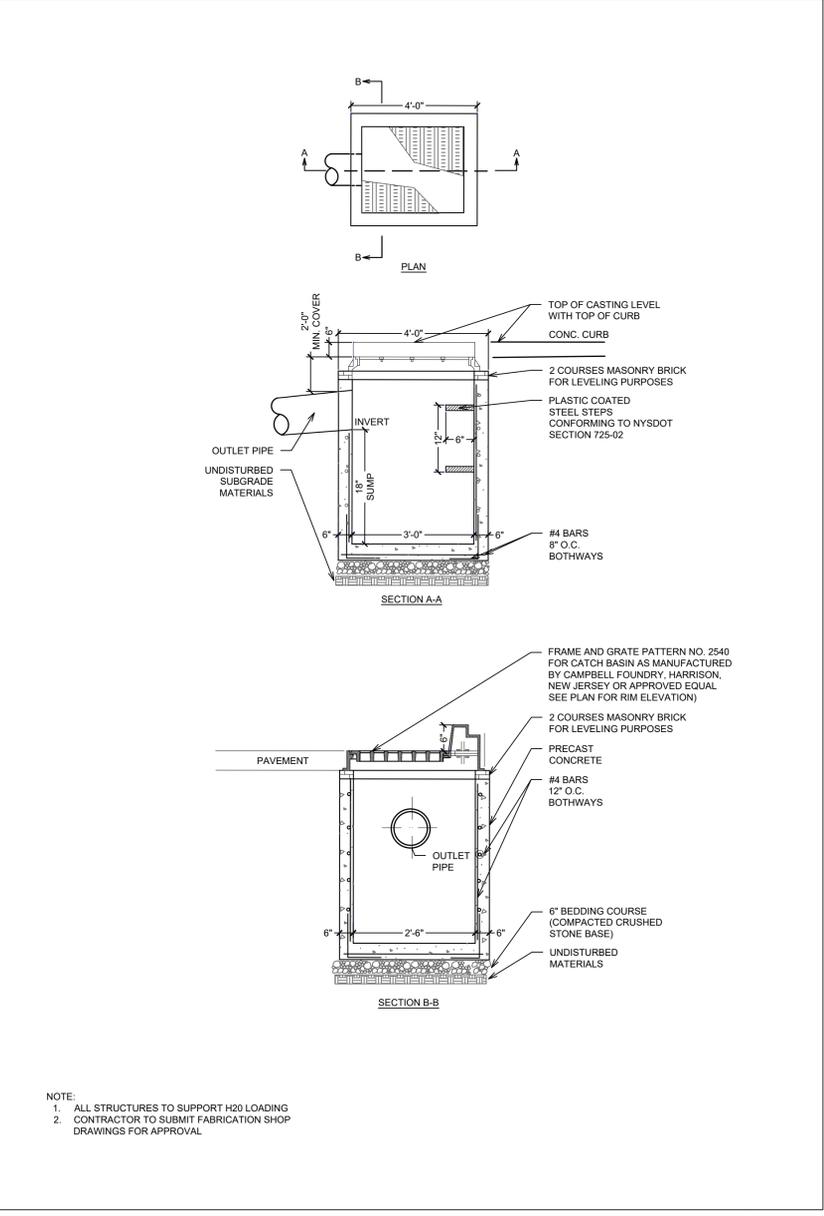
DRAIN INLET
 SCALE: N.T.S. 5



TRENCH DETAIL
 SCALE: N.T.S. 7



RAIN GARDEN
 SCALE: N.T.S. 8



CATCH BASIN
 SCALE: N.T.S. 9

37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT
 PAUL SCHEMMER
 VALERIE SCHEMMER
 37-41 CROTON DAM ROAD
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SITE DETAILS

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 DRAWING NO.

SP-4.1

37-41 CROTON DAM ROAD - SUBDIVISION

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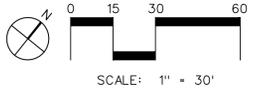
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TREE REMOVAL PLAN

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	DRAWING NO: SP-5.0	



CHERRY HILL CIRCLE

CROTON DAM ROAD

Tax Lot 89.08-1-31
Lot 7, FM 21754
N/F Sandra & Alvaro Castagnino

Tax Lot 89.12-1-37
Lot 10, FM 16261
N/F Christopher & Carla Lovastik

Tax Lot 89.12-1-37
Lot 11, FM 16261
N/F George & Bertha Seitz

Tax Lot 89.12-1-38
Lot 12, FM 16261
N/F James & Laura Gwin

Tax Lot 89.12-1-39
Lot 13, FM 16261
N/F Sarah Garza

Tax Lot 89.08-1-32
Lot 6, FM 21754
N/F Richard & Cecilia Davis

Tax Lot 89.08-1-38.10
Lot 10, FM 27227
N/F Kenneth Kruger

Tax Lot 89.08-1-38.9
Lot 9, FM 27227
N/F Jody Varanelli

Tax Lot 89.08-1-80.1
Lot 1, FM 27944
N/F Mario Conte

Tax Lot 89.08-1-80.3
Lot 3, FM 27944
N/F Mario Conte

APPROXIMATE LIMIT OF DISTURBANCE 1.9 ACRES

APPROXIMATE LIMIT OF DISTURBANCE 1.9 ACRES

APPROXIMATE LIMIT OF DISTURBANCE 1.9 ACRES

FFE: 405.0
BASEMENT 395.0
GAR: 394.0

FFE: 386.0
BASEMENT 376.0
GAR: 372.0

1 Story Frame Building
In Ground Pool

Existing 1 Story Frame Residence

Frame Garage

Existing 2 Story Frame Residence

TP-12

TP-13

TP-R5

TP-16

TP-14

TP-18

15' Wide Utility Easement Per FM 16261

37-41 CROTON DAM ROAD - SUBDIVISION
TOWN OF OSSINING, New York

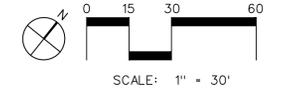
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REVISIONS NO.	DATE	ISSUE
1	9/24/18	SUBDIVISION APPLICATION

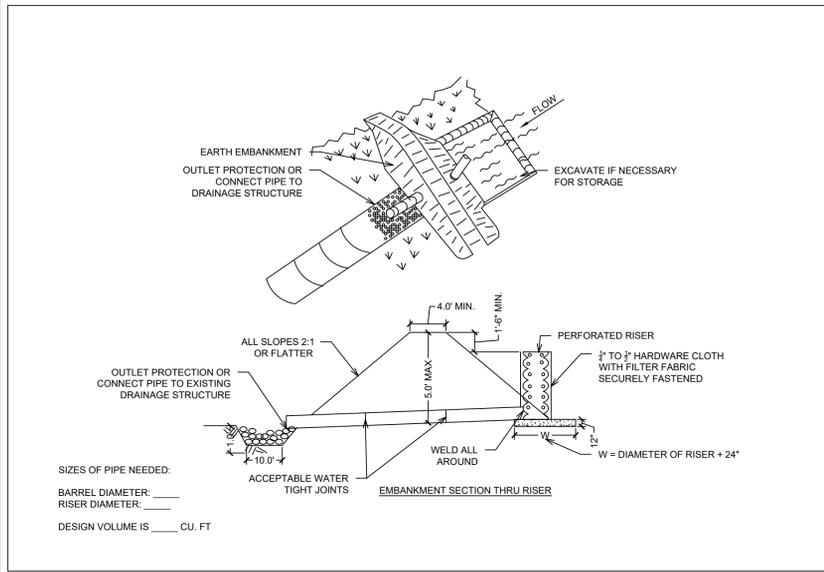
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STATE OF NEW YORK
GERARD MARTIN SCHWALBE
084469
PROFESSIONAL ENGINEER

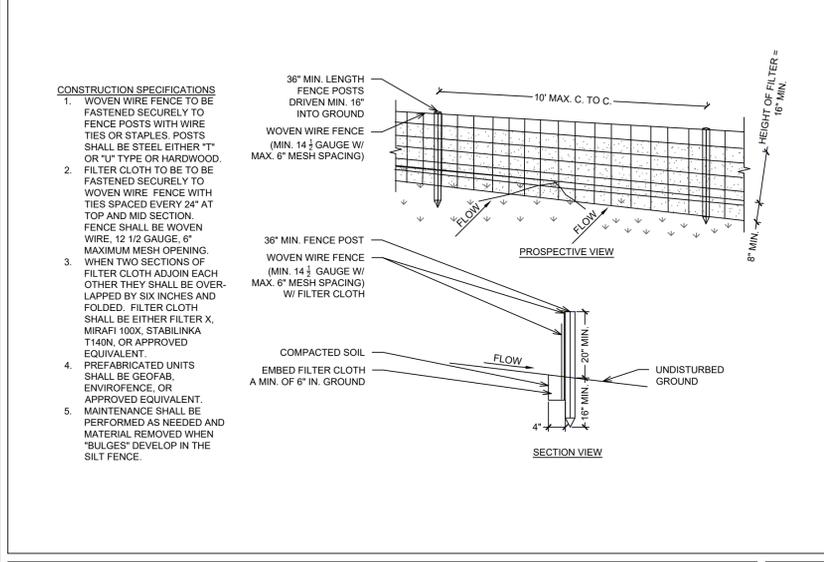
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PROJECT NO: 818
DRAWING NO:

CHECKED BY: GMS
DATE: 5/29/18

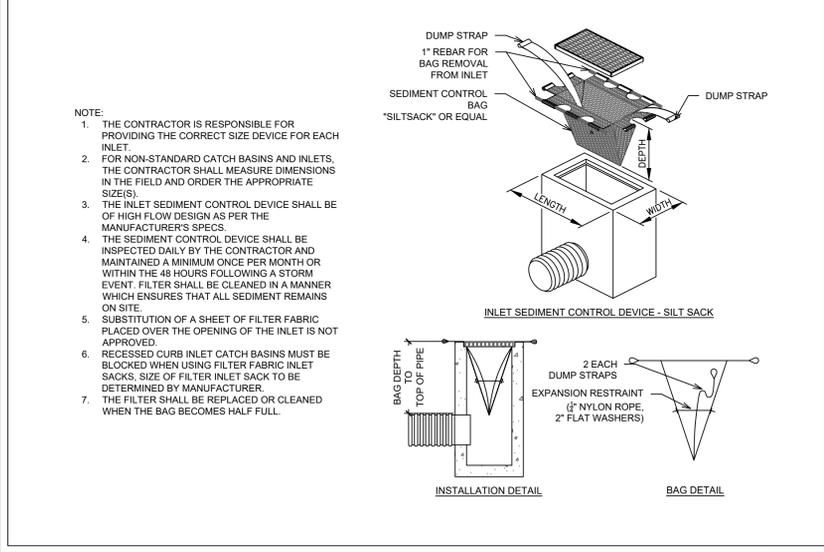
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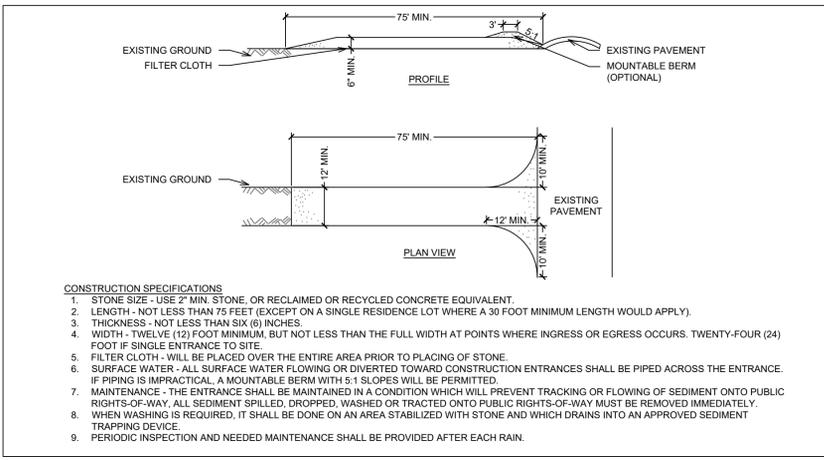
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SCALE: N.T.S.



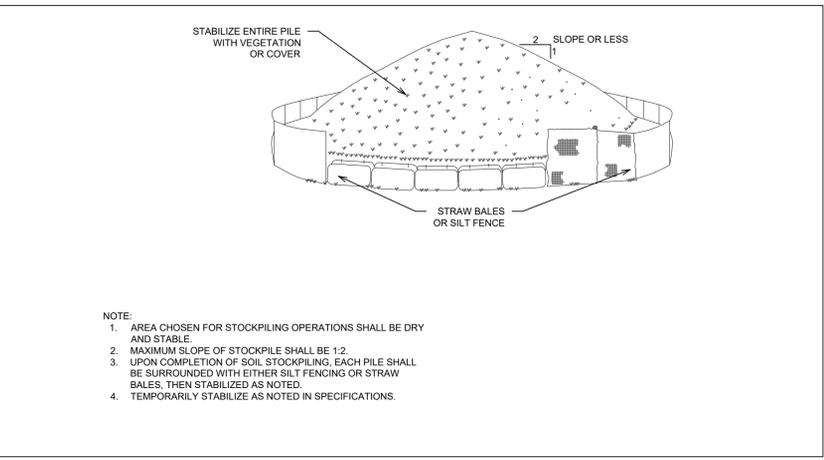
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SCALE: N.T.S.



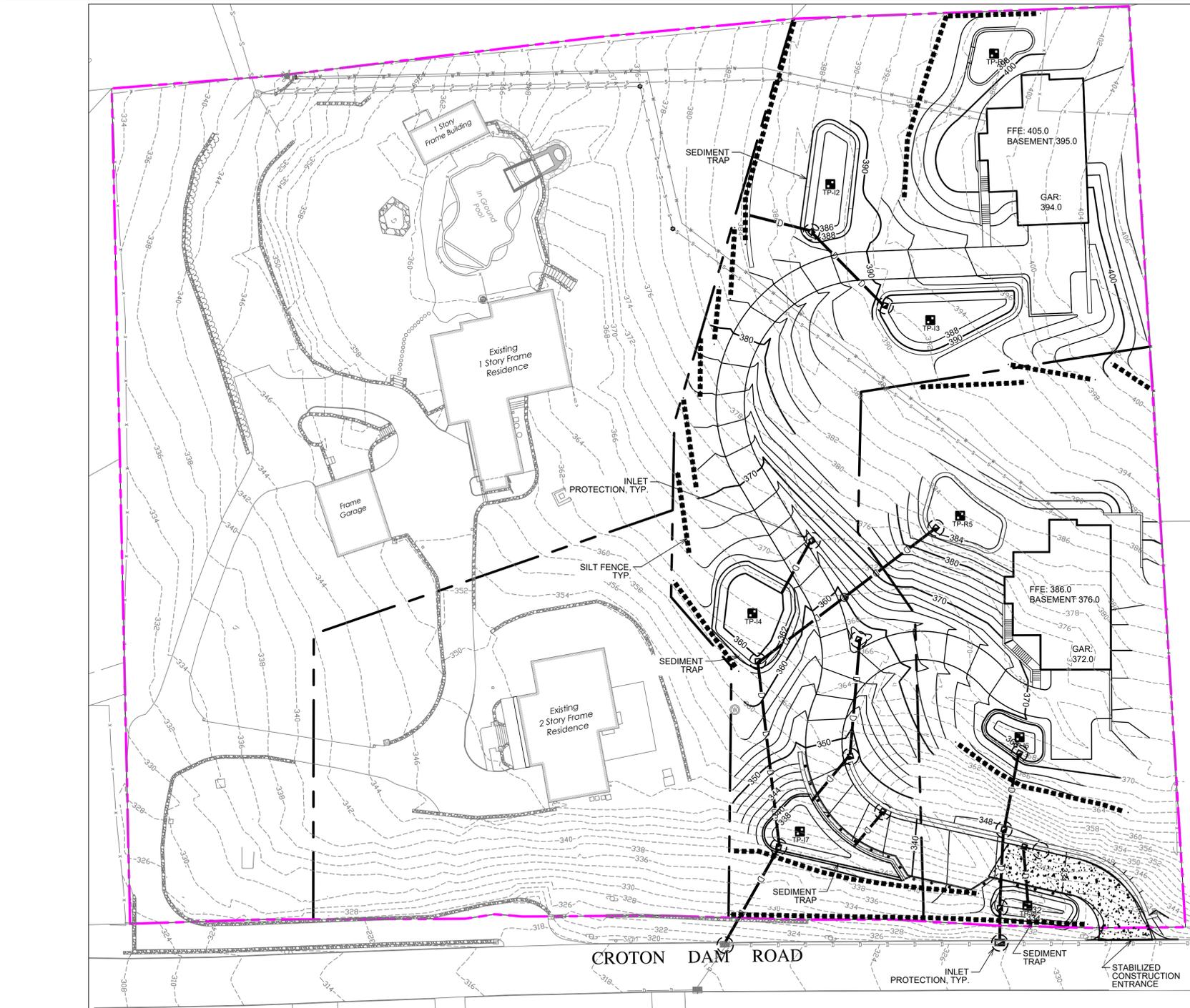
INLET PROTECTION
SCALE: N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.



SOIL STOCKPILE
SCALE: N.T.S.



37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

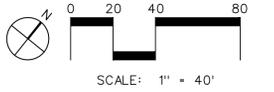
DIVNEY • TUNG • SCHWALBE
Intelligent Land Use

Divney Tung Schwalbe, LLP
One North Broadway
White Plains, NY 10601

P: 914.428.0010
F: 914.428.0017

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-8003



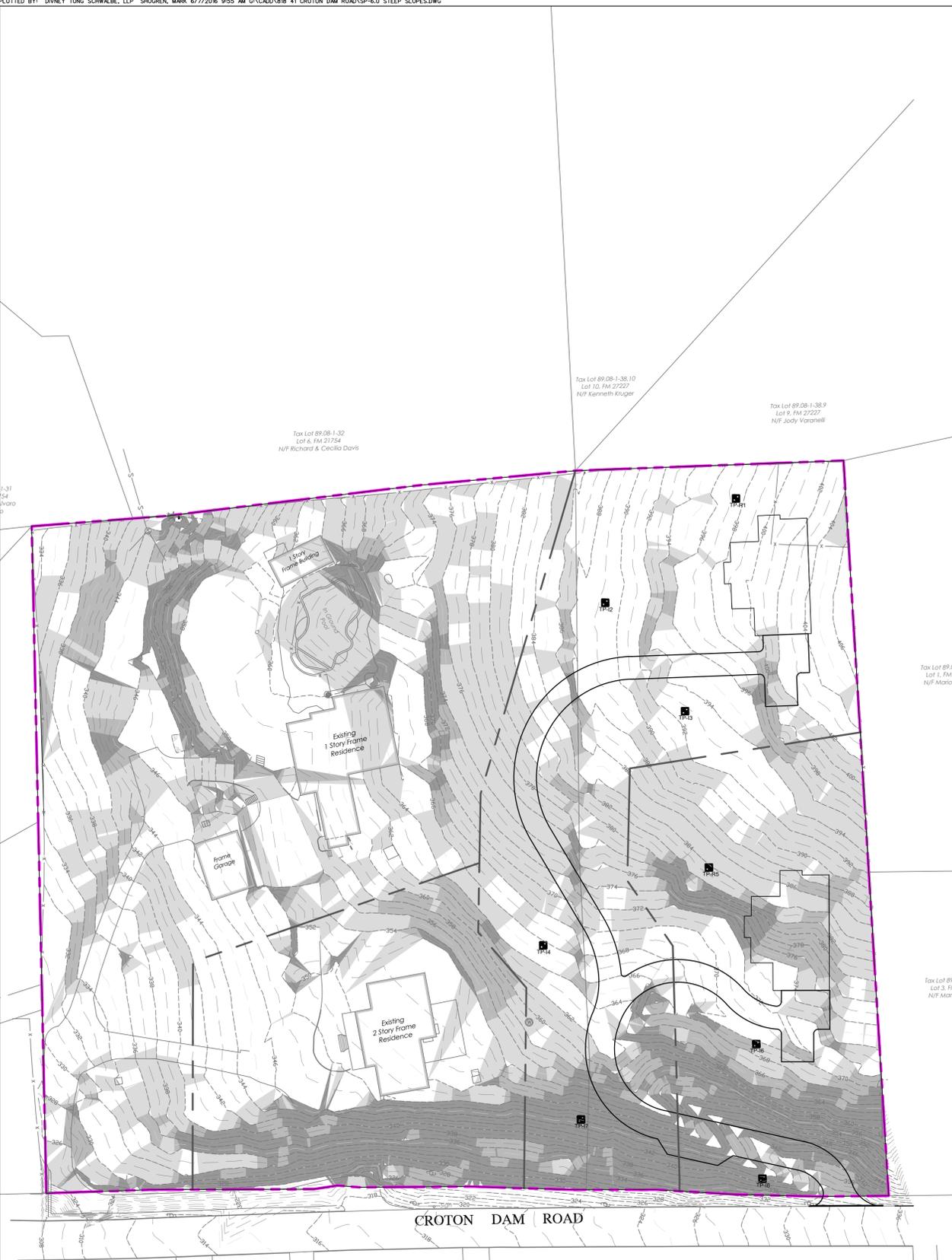
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EXISTING STEEP SLOPES

CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%	Light Grey	67,500
VERY STEEP SLOPE	25.00%	35.00%	Medium Grey	21,500
EXTREMELY STEEP SLOPE	35.00%	-	Dark Grey	31,000



PROPOSED STEEP SLOPES

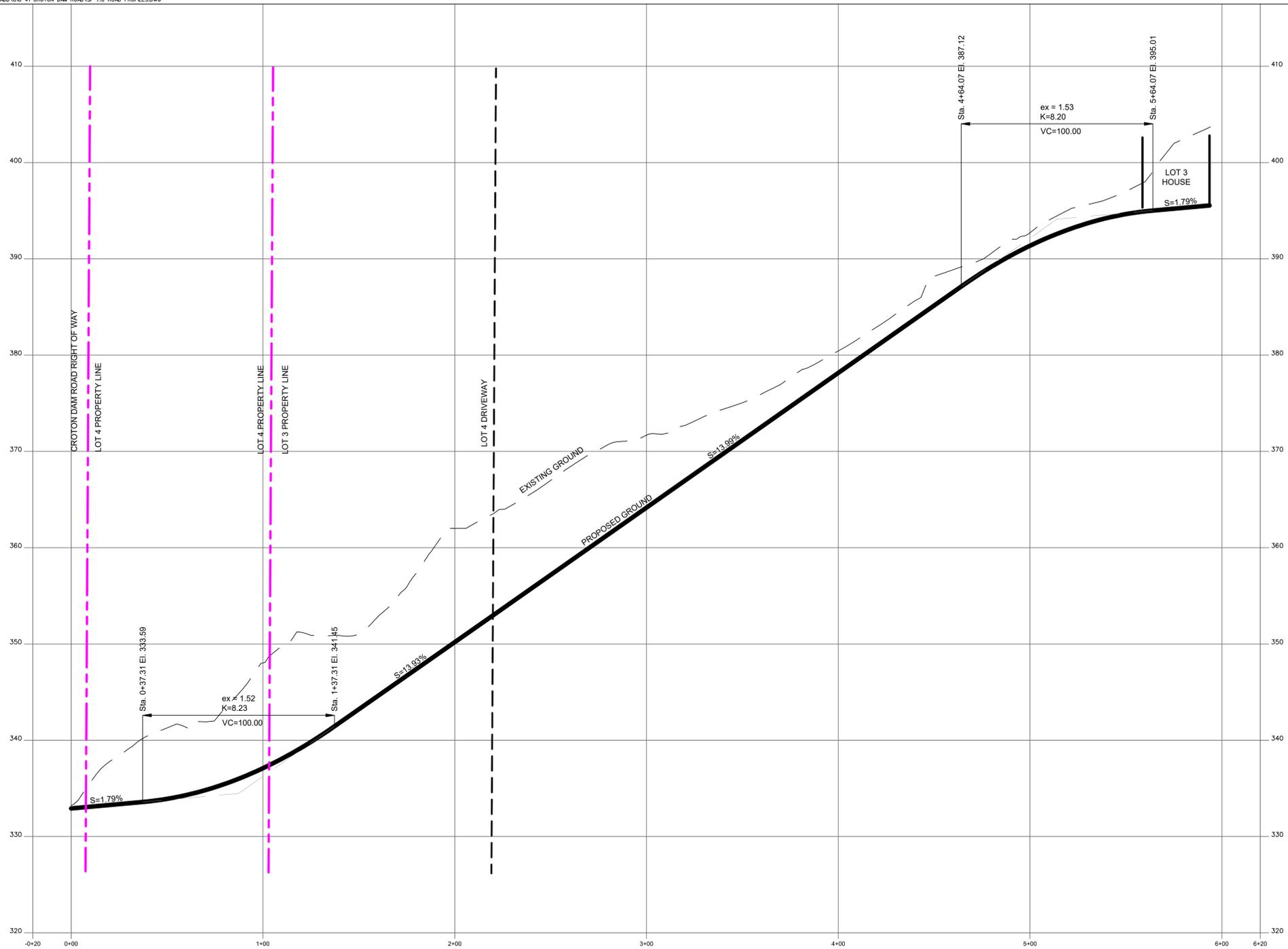
CLASSIFICATION	Minimum Slope	Maximum Slope	Color	AREA (SF)
MODERATELY STEEP SLOPE	15.00%	25.00%	Light Grey	54,000
VERY STEEP SLOPE	25.00%	35.00%	Medium Grey	20,500
EXTREMELY STEEP SLOPE	35.00%	-	Dark Grey	40,000

DRAWING TITLE:

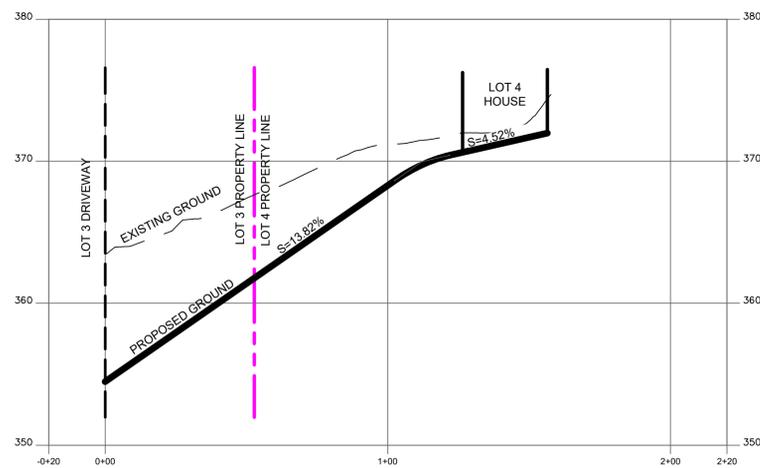
STEEP SLOPES

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	DRAWING NO.	
	<h1>SP-6.0</h1>	

LOT 3
DRIVEWAY



LOT 4
DRIVEWAY



37-41 CROTON DAM ROAD - SUBDIVISION

TOWN OF OSSINING, New York

OWNER / APPLICANT

PAUL SCHEMMER
VALERIE SCHEMMER
37-41 CROTON DAM ROAD
OSSINING, NEW YORK

PLANNER, CIVIL ENGINEER, LANDSCAPE ARCHITECT

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394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-8003



SCALE: 1" = 30'
VERTICAL: 1" = 6'

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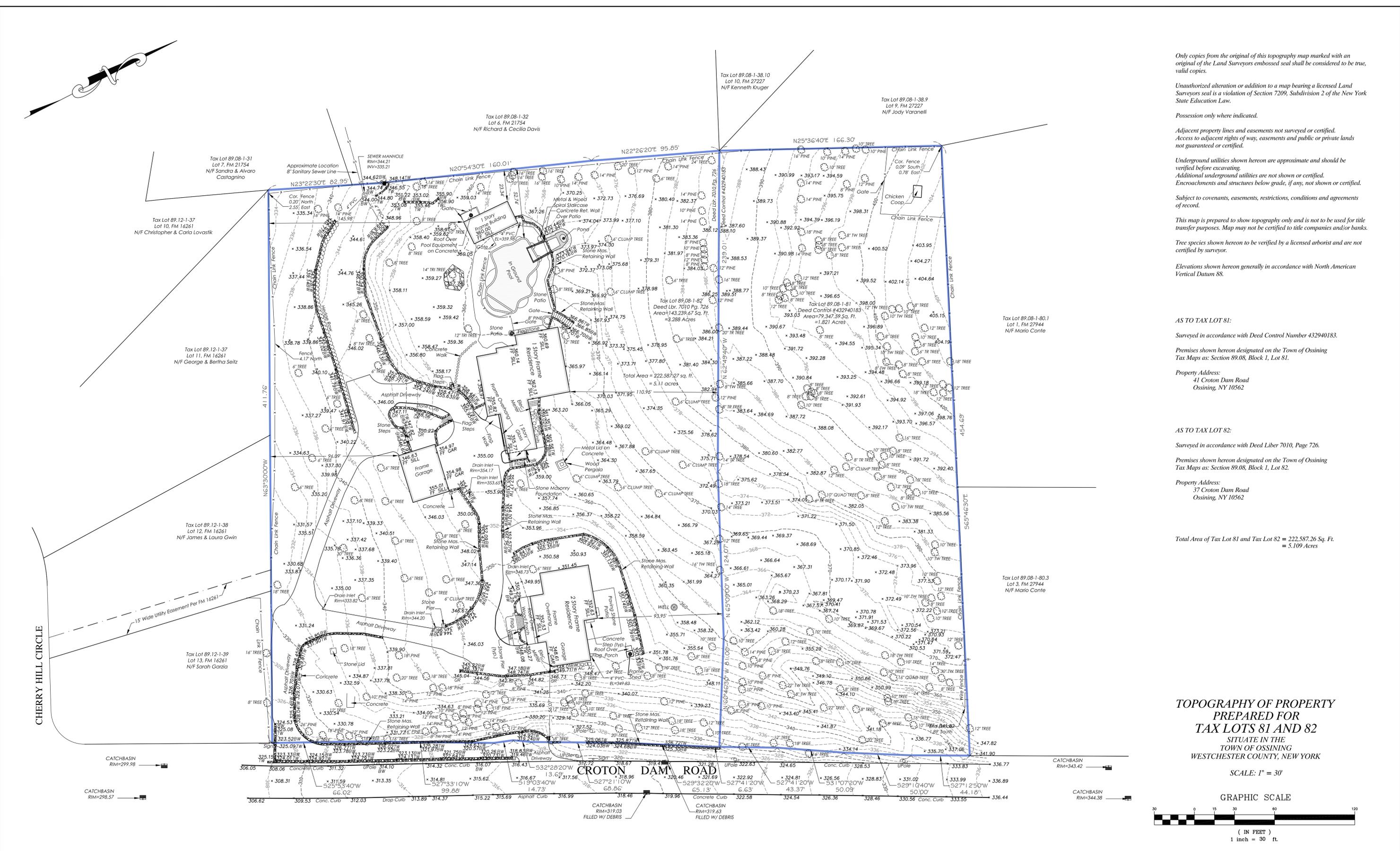
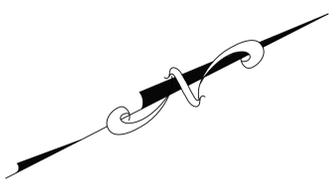
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DRIVEWAY PROFILES

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	DRAWING NO.	
	<h2>SP-7.0</h2>	



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Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

AS TO TAX LOT 81:

Surveyed in accordance with Deed Control Number 432940183.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 81.

Property Address:
41 Croton Dam Road
Ossining, NY 10562

AS TO TAX LOT 82:

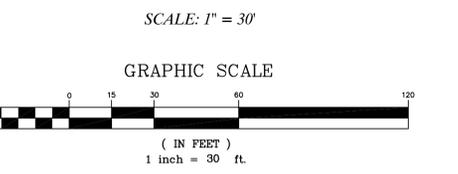
Surveyed in accordance with Deed Liber 7010, Page 726.

Premises shown hereon designated on the Town of Ossining Tax Maps as: Section 89.08, Block 1, Lot 82.

Property Address:
37 Croton Dam Road
Ossining, NY 10562

Total Area of Tax Lot 81 and Tax Lot 82 = 222,587.26 Sq. Ft. = 5.109 Acres

**TOPOGRAPHY OF PROPERTY
PREPARED FOR
TAX LOTS 81 AND 82
SITUATE IN THE
TOWN OF OSSINING
WESTCHESTER COUNTY, NEW YORK**



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394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

Surveyed: February 8, 2018
Map Prepared: February 14, 2018

By: Scott B. Gray New York State Licensed Land Surveyor No. 050672

Project: 18-011	Field Survey By: AN/FT
Drawn By: CMP	Checked By: S/BG