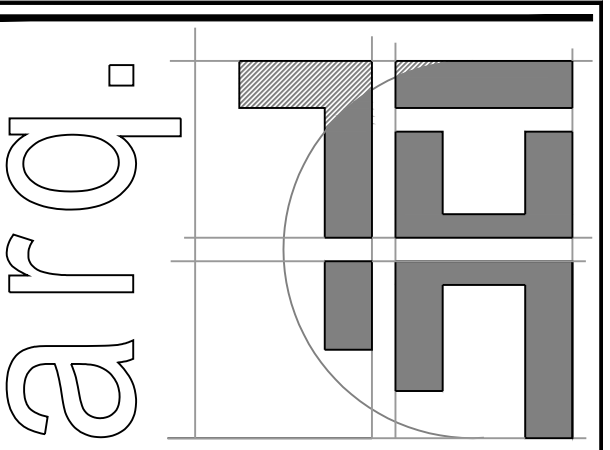


RINALDI PROPERTY SUBDIVISION
39 STORMYTOWN ROAD
OSSINING, NEW YORK 10562



ARCHITECTURE - PLANNING
ALL RIGHTS RESERVED
100 EXECUTIVE BLVD, SUITE 204
ROSSINI, NY 10562
PHONE: (914) 944-3377 FAX (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
 LICENSE NUMBER: 030424-I
 CERTIFICATE NUMBER : 9697857
 31 EASTVIEW DRIVE
 NEW FAIRFIELD, CONNECTICUT 06812-000

[illegible]

DRAWING TITLE:

TITLE SHEET

PROJECT:

RINALDI PROPERTY
SUBDIVISION

PROJECT ADDRESS:

39 STORMYTOWN RD.
ROSSINING,
N.Y. 10562

DOB EXAMINER SIGNATURE:

DOB BSCAN STICKER:

SEAL & SIGNATURE _____

DRAWING TITLE:

DATE.: _____

2/19/2018
PROJECT NO.:
18004

DRAWING BY:
RE SC

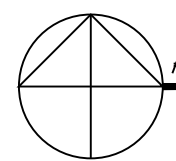
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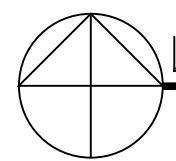
OF 5

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AERIAL MAP

N.T.S.

A map showing the site location within the R-20 zoning district. The site is a hatched polygon outlined in yellow, located south of Ashby Ct and Redwood Dr. A black dot marks the site location, with a line pointing to the text "SITE LOCATION" in the top right corner. The map also shows surrounding streets, including Westwood Dr, and other residential lots.



LOCATION MAP

N.T.S.

STORMTOWN ROAD

EXISTING ST. 1

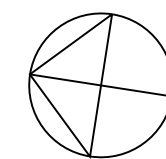
EXISTING ST. 2

EXISTING ST. 3

EXISTING ST. 4

EXISTING SITE PLAN

1"=50'-0"



EXISTING SITE PLAN

$$1' = 50' - 0'$$

CONC: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS 2016 NYS UNIFORM CODE SUPPLEMENT IN CONNECTION WITH THE 2015 IRC AND THE 2016 NYS ENERGY SUPPLEMENT.

VERIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. CLAIMS FOR EXTRA PAYMENTS RESULTING FROM CONTRACTOR'S FAILURE TO DO SO WILL NOT BE APPROVED. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS. A PRECONSTRUCTION MEETING SHALL BE SCHEDULED ON THE SITE WITH THE PROJECT MANAGER, OWNER, ARCHITECT, PRIOR TO THE COMMENCEMENT OF WORK. CONFIRM ALL SITE AND FOUNDATION DIMENSIONS WITH MODULAR PLANS PRIOR TO CONSTRUCTION.

DRAWINGS: BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING.

CONTRACTOR SHALL DOCUMENT ALL DISCREPANCIES AND AS-BUILT STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR, AND GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION-1993 SMALL PROJECTS EDITIONS.

UTILITY TAKEOUT: PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR A CODE 53 UNDERGROUND UTILITY TAKE-OUT. +800-962-7562. CONTRACTOR WILL CONTACT THE UNDERGROUND LINES LOCATION SERVICES (CODE 753) PRIOR TO COMMENCING CONSTRUCTION.

USE OF PREMISES: CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.

PERMITS: OWNER SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE.

CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.

INSURANCE: CONTRACTOR MUST BE LICENSED BY WESTCHESTER COUNTY AND PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER.

INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMEN'S COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONSTRUCTION.

LATENT DEFECTS: NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.

SUPERVISION: ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.

DEMOLITION:
PRIOR TO DEMOLITION COORDINATE AND STAKEOUT EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES.

1. CLEAR SITE AS REQUIRED.

2. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL PAY FOR ALL NECESSARY DUMPSTERS AND CARTING FEES.

COOPERATION: CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.

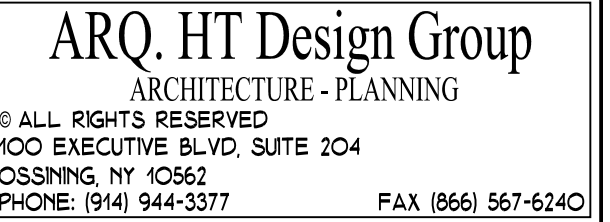
LANDSCAPE: ALL LAWN AREAS DAMAGED BY NEW CONSTRUCTION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED AS ORIGINAL. LAWNS MAY BE SODDED OR SEEDED WITH BLUEGRASS AND/OR RYEGRASS TO ESTABLISH 98% OR BETTER COVER. REVIEW TREES AND SHRUB REMOVAL REQUIRED FOR CONSTRUCTION WITH OWNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TYING UP PLANT MATERIAL IN THE WAY OF SITE ACCESS PRIOR TO CONSTRUCTION.

SEDIMENT AND EROSION CONTROL AND SEDIMENTATION CONTROL: MEASURES SHALL BE INSTALLED IN EACH AREA BEFORE ANY DEMOLITION AND ANY SUBSTANTIAL AMOUNT OF SITE PREPARATION. CLEARING AND GRUBBING, EXCAVATION, AND FILLING SHALL BE STARTED.

ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WESTCHESTER COUNTY PUBLICATION BEST MANAGEMENT PRACTICES MANUAL-CONSTRUCTION RELATED ACTIVITIES, LATEST EDITION. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THEIR PROPERLY FUNCTIONING.

EROSION BLANKET SHALL BE WENCO TEX EROSION CONTROL MATS 63MM WT 400P OR EQUAL APPROVED. INSTALL AS PER MANUFACTURER SPEC'S

T-1 TITLE SHEET
S-1 PROPOSED SITE PLAN & ZONING DATA
S-2 PROPOSED STEEP SLOPE PLAN, LEGEND AND ANALYSIS TABLE
S-3 PROPOSED STORMWATER MANAGEMENT PLAN, CRITERIA AND DETAILS.
S-4 PROPOSED LANDSCAPING PLAN, IMAGES, LEGENDS AND DETAILS



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[illegible]

DRAWING TITLE:

PROPOSED SITE PLAN &
ZONING DATA

PROJECT:
RINALDI PROPERTY
SUBDIVISION

PROJECT ADDRESS:
39 STORMYTOWN RD.
ROSSINING,
N.Y. 10562

DOB EXAMINER SIGNATURE:



DOB BSCAN STICKER:

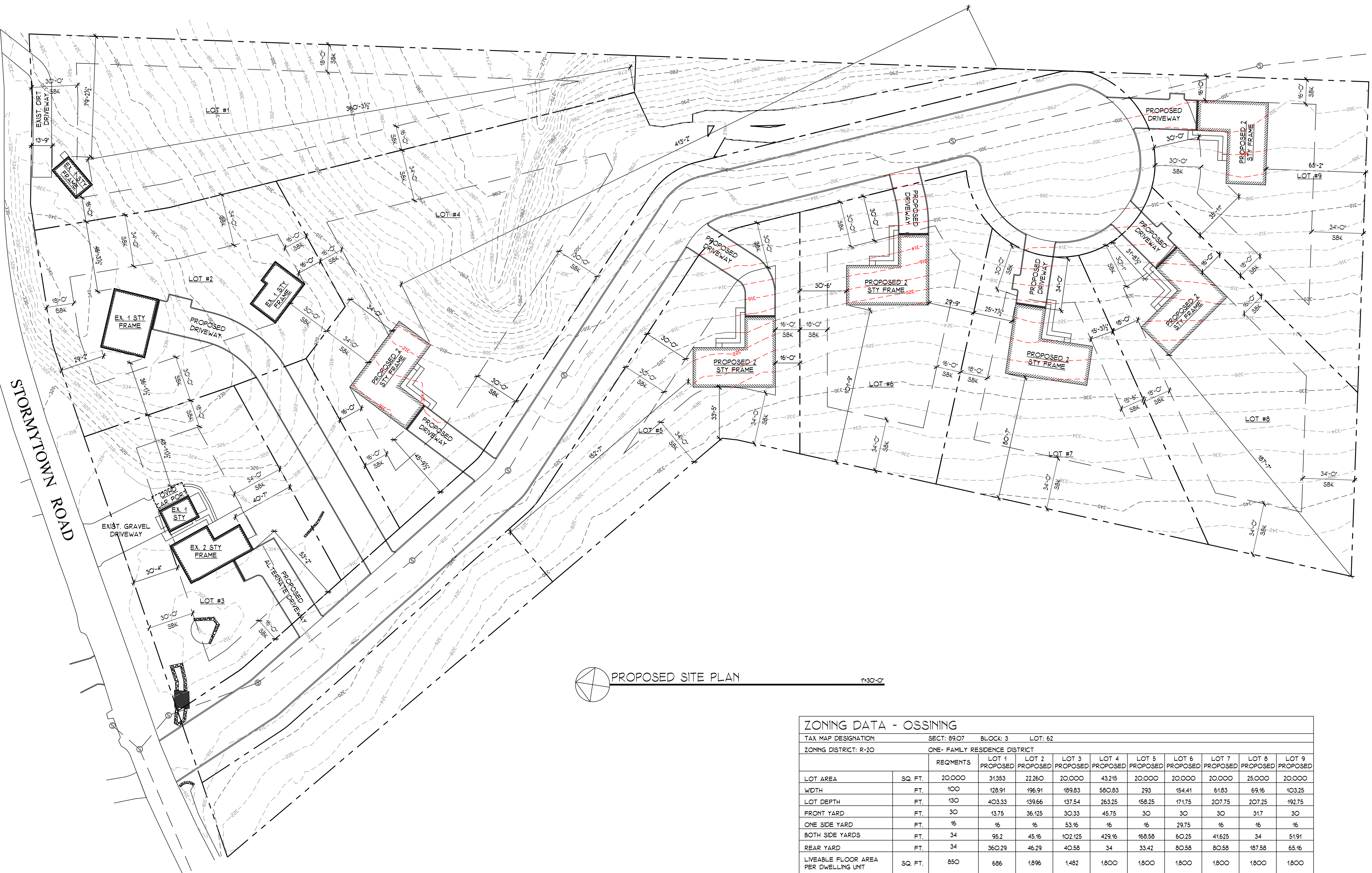


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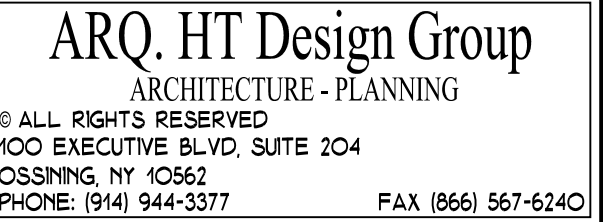


PROPOSED SITE PLAN

1"=30'-0"

ZONING DATA - OSSINING

TAX MAP DESIGNATION:		SECT: 89.07		BLOCK: 3		LOT: 62					
ZONING DISTRICT: R-20		ONE- FAMILY RESIDENCE DISTRICT									
		REQMENTS	LOT 1 PROPOSED	LOT 2 PROPOSED	LOT 3 PROPOSED	LOT 4 PROPOSED	LOT 5 PROPOSED	LOT 6 PROPOSED	LOT 7 PROPOSED	LOT 8 PROPOSED	LOT 9 PROPOSED
LOT AREA	SQ. FT.	20,000	31,353	22,260	20,000	43,245	20,000	20,000	20,000	25,000	20,000
WIDTH	FT.	100	128.91	196.91	189.83	580.83	293	154.41	61.83	69.16	103.25
LOT DEPTH	FT.	130	403.33	139.66	137.54	263.25	158.25	171.75	207.75	207.25	192.75
FRONT YARD	FT.	30	13.75	36.125	30.33	45.75	30	30	30	31.7	30
ONE SIDE YARD	FT.	16	16	16	53.16	16	16	29.75	16	16	16
BOTH SIDE YARDS	FT.	34	95.2	45.16	102.125	429.16	168.58	60.25	416.25	34	51.91
REAR YARD	FT.	34	360.29	46.29	40.58	34	33.42	80.58	80.58	187.58	65.16
LIVEABLE FLOOR AREA PER DWELLING UNIT	SQ. FT.	850	686	1,896	1,482	1,800	1,800	1,800	1,800	1,800	1,800
MAXIMUM PERMITTED											
MAX. BUILDING HEIGHT	FT./STY	25/35	1/20	1/20	2/27	2/25	2/25	2/25	2/25	2/25	2/25
BUILDING COVERAGE	%	22	1	9	7	4	9	9	9	7	9
NOTE: AS PER #176-18(F) (1) AT LEAST 75% OF THE MINIMUM LOT AREA SHALL NOT HAVE WETLAND OR EXTREME SLOPES											
		75%	94%	91%	95%	75%	100%	100%	100%	100%	100%



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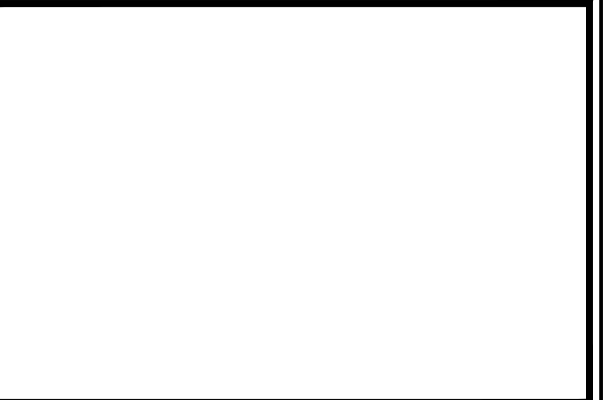
DRAWING TITLE:

STEEP SLOPE PLAN, LEGEND AND ANALYSIS TABLE

PROJECT:
RINALDI PROPERTY
SUBDIVISION

PROJECT ADDRESS:
39 STORMYTOWN RD.
ROSSINING,
N.Y. 10562

DOB EXAMINER SIGNATURE:

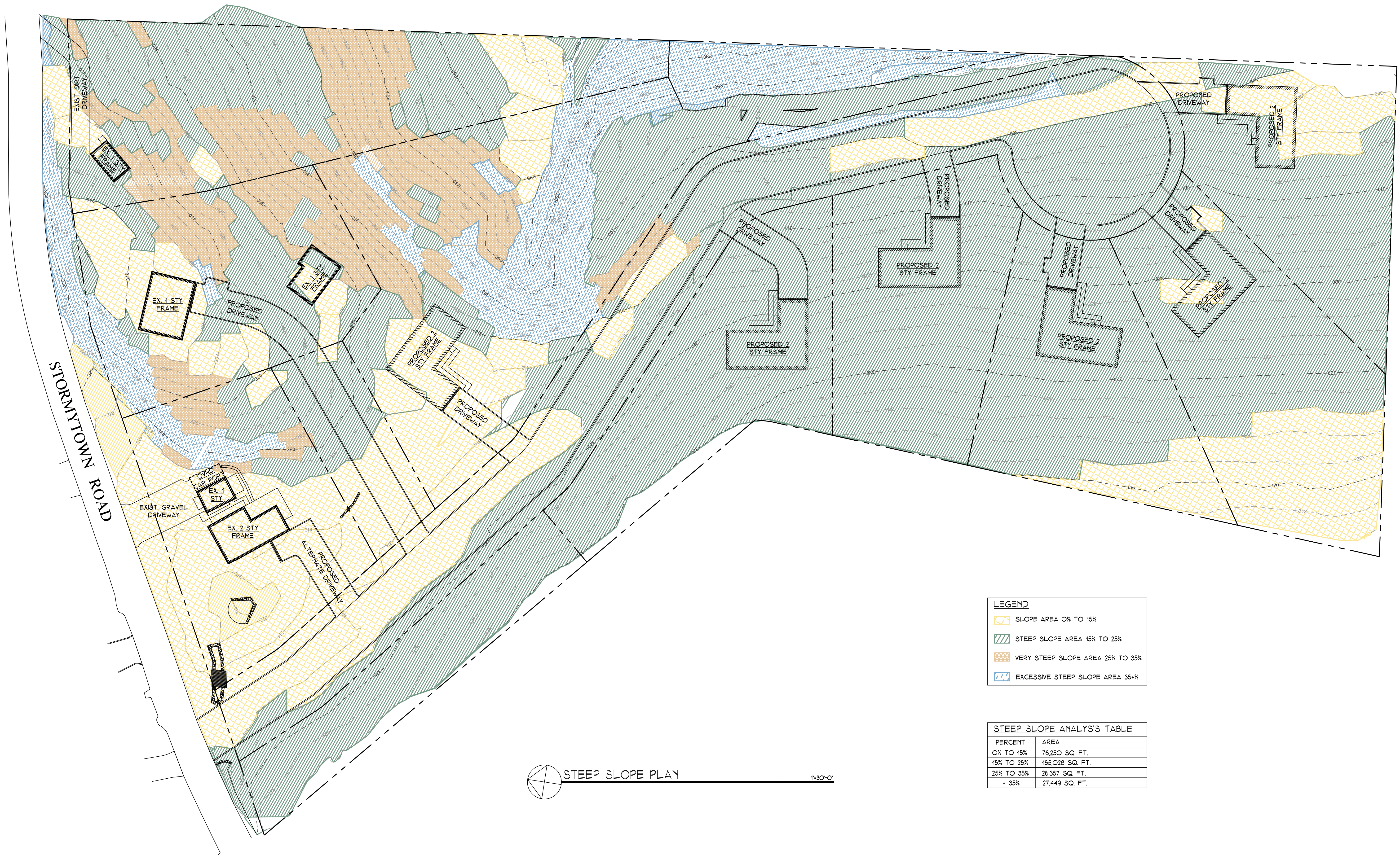
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2/19/2018	
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18004	
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PF SC	CAD FILE NO: 3 OF 5
CHECKED BY:	
JBH	





STEEP SLOPE PLAN


$$1^{\circ} = 30^{\circ} - 0^{\circ}$$

LEGEND

 SLOPE AREA 0% TO 15%

 STEEP SLOPE AREA 15% TO 25%

 VERY STEEP SLOPE AREA 25% TO 35%

 EXCESSIVE STEEP SLOPE AREA 35+%

STEEP SLOPE ANALYSIS TABLE

PERCENT	AREA
0% TO 15%	76,250 SQ. FT.
15% TO 25%	165,028 SQ. FT.
25% TO 35%	26,357 SQ. FT.
+ 35%	27,449 SQ. FT.

