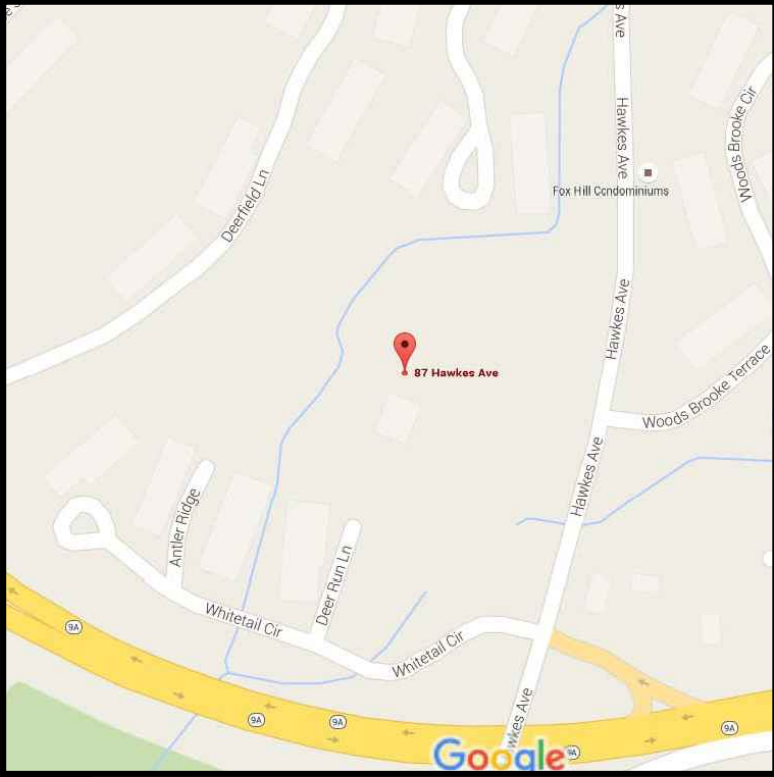
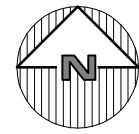


PARTH KNOLLS LLC.



LOCATION MAP
NOT TO SCALE



SITE DATA:

CONTRACT VENDEE:
DEVELOPER:
PROJECT LOCATION:
EXISTING TOWN ZONING:
PROPOSED USE:
TOWN TAX MAP DATA:
SITE AREA :
SEWAGE FACILITIES:
WATER FACILITIES:

AUDUBON MANOR LLC.
PARTH KNOLLS LLC.
500 EXECUTIVE BLVD. #203
OSSINING, NY, 10562
87 HAWKES AVE.
OSSINING, NY, 10562
MF-1, MULTIFAMILY-INN
MF-1, MULTIFAMILY-INN
SECTION 80.20, BLOCK 1, LOT 15
5.53 ACRES (240,734 SF)
PUBLIC SEWERS
PUBLIC WATER FACILITIES

ZONING SCHEDULE:

ZONING DISTRICT: MF-1, MULTI FAMILY RESIDENTIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	40,000 SF.	240,734 SF.	NONE
MINIMUM LOT WIDTH:	150 FT.	522 FT.	NONE
MINIMUM LOT DEPTH:	150 FT.	414 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	50 FT.	77 FT.	NONE
REAR YARD SETBACK:	40 FT.	267 FT.	NONE
ONE SIDE YARD SETBACK:	50 FT.	50 FT.	NONE
COMBINED SIDE YARD SETBACK:	100 FT.	100 FT.	NONE
ACCESSORY BUILDINGS:			
FRONT YARD SETBACK:	10 FT.	53 FT.	NONE
REAR YARD SETBACK:	10 FT.	125 FT.	NONE
ONE SIDE YARD SETBACK:	10 FT.	429 FT.	NONE
COMBINED SIDE YARD SETBACK:	20 FT.	366 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
LOT COVERAGE:	66% x 240,751 SF = 158,895 SF	70,503 SF	NONE
BUILDING COVERAGE:	20% x 240,751 SF = 48,151 SF	31,689 SF	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	35 FEET	SEE ARCHITECTURAL PLANS	NONE
PRINCIPAL BUILDING - STORIES:	2 1/2		NONE

ZONING REGULATION NOTES:

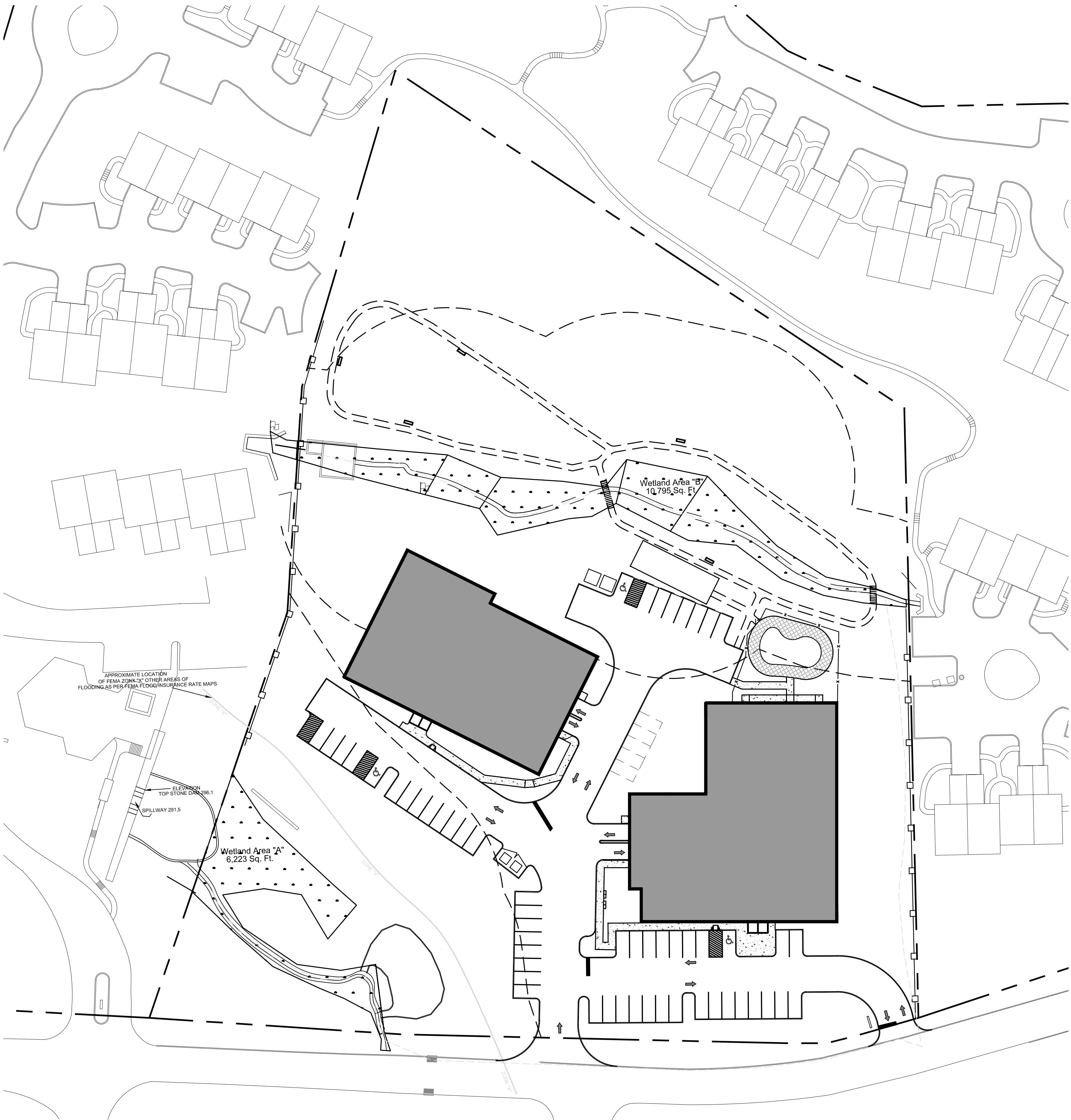
- AT LEAST 1/3 OF THE NET SITE AREA SHALL BE DEVOTED TO PERMANENT OPEN SPACE AND/OR FOR SITES SUITABLE FOR RECREATION AS REQUIRED BY NOTE 2. UNDEVELOPED PERMANENT OPEN SPACE SHALL BE PROVIDED AND GUARANTEED AT THE RATE OF 1,500 SQUARE FEET PER BEDROOM.
- THERE SHALL BE PROVIDED ON THE SAME LOT A SUITABLY EQUIPPED AND LANDSCAPED CHILDREN'S PLAY AREA WITH A MINIMUM OF 400 SQUARE FEET FOR EACH DWELLING UNIT.
- BUILDING COVERAGE SHALL BE NO MORE THAN 20% OF LOT AREA. 20% x 240,751 SF = 48,151 SF

PARKING SCHEDULE

REQUIRED PARKING:	2 SPACES PER DWELLING UNIT = 106 SPACES	
	INDOOR	OUTDOOR
PROVIDED PARKING:	54 STANDARD 2 HANDICAP 56 TOTAL	51 STANDARD 3 HANDICAP 54 TOTAL
TOTAL PROVIDED PARKING:	110 SPACES	
PARKING VARIANCE REQUIRED:	0 SPACES	

DRAWING INDEX:

SHEET NUMBER	DRAWING TITLE
T	TITLE SHEET
C-101	SITE PLAN
C-102	EXISTING CONDITIONS PLAN
C-103	EROSION AND SEDIMENT CONTROL PLAN
C-104	UTILITY PLAN
C-105	GRADING PLAN
C-106	SIGHT DISTANCE PLAN
C-107	TREE PLAN
C-108	FIRE ACCESS PLAN
C-109	ENVIRONMENTAL CONSTRAINTS MAP
C-110	OPEN SPACE AND RECREATION PLAN
C-111	LIGHTING PLAN
C-301	PROFILES
M-101	CONCEPTUAL WETLAND BUFFER MITIGATION PLAN
L-101	LANDSCAPE PLAN
A-100	ZONING/CODE ANALYSIS
A-101	SCHEMATIC BUILDING LAYOUTS
A-102	SCHEMATIC BUILDING LAYOUTS
A-103	TYP. APT. LAYOUTS
A-104	ELEVATIONS
A-105	ELEVATIONS



Article VI.			
Section 200.33	Affordable Housing	{BMR}	
Section 200.34	Required	10% of the number of Dwelling units	
	More than 5, but fewer than 10 acres		30%
	Maximum permitted Density Bonus		
	Calculation	Dwelling	41 Apartm
	1/2 of the units received must be BMR		41
	Density Bonus	(x)	30%
Density Bonus	Number of Dwelling units		12.3
	Rounded	Number of Dwelling units	12
	Total number of units with density Bonus		53
	1/2 of the Bonus Units received must be BMR		6

General Description of Project

Number of Multifamily Units	Type	Non-BMR	BMR Units	Total Units	Bedrooms	Unit Ratio
One (1) B/R		31	9	40	40	75%
Two (2) B/R		10	3	13	26	25%
Total Dwelling Units		41	12	53	66	100%

Section 200.29

Parking & loading				
2 for each dwelling unit plus 0.5 for each bedroom				Total
more than 2 bedrooms		Regular Apts	BMR Apts	Parking
Dwelling Units		41	12	
Parking per Dwelling Unit	(x)	2	(x)	2
Total Parking spaces required		82	24	106

Building Height Max

Stories	2 1/2
Feet	35'
Design	Colonial

CONTRACT VENDE:

AUDUBON MANOR, CO., LLC.
500 EXECUTIVE BLVD #203
OSSINING, NY 10562

CIVIL ENGINEER:

SITE DESIGN CONSULTANTS
251-F UNDERHILL AVENUE
YORKTOWN HEIGHTS, NY 10598
P: 914 962 4488
F: 914 962 7386
jriina@sitedesignconsultants.com

SURVEYOR:

LINK LAND SURVEYORS
21 CLARK PLACE, SUITE 1B
MAHOPAC, NY 10541
P: 845-628-5857
F: 845-621-0013
www.linklandsurveyors.com

ENVIRONMENTAL/ TRAFFIC CONSULTANT:

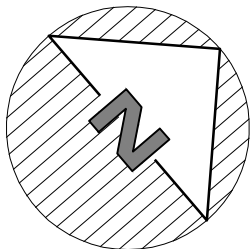
TIM MILLER ASSOCIATES INC.
10 NORTH STREET
COLD SPRING, NY 10516
P: 845-265-4400

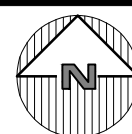
TRAFFIC CONSULTANT:

TIM MILLER ASSOCIATES INC.
10 NORTH STREET
COLD SPRING, NY 10516
P: 845-265-4400

ARCHITECT:

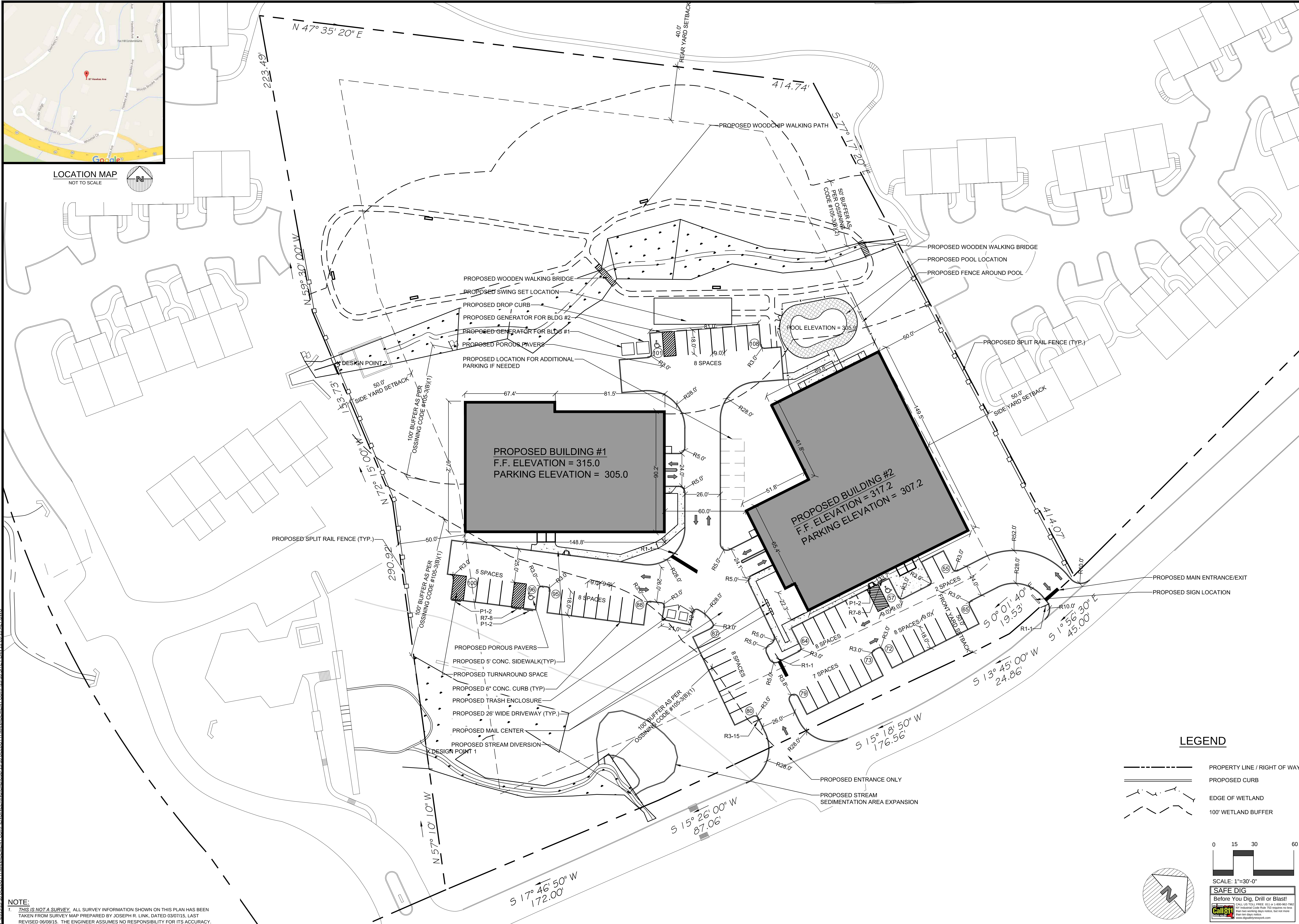
ARQ.HT, LLC.
100 EXECUTIVE BLVD #205
OSSINING, NY 10562
P: 914-944-3377





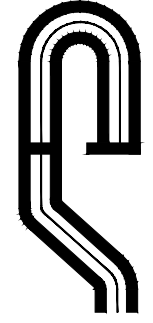
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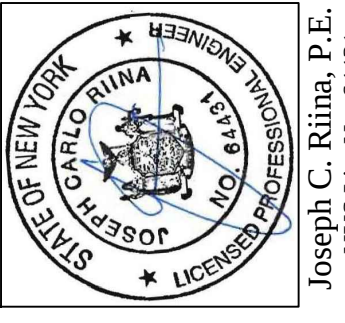
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Engineer:
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:	
No.	Date
1	11/9/15
2	12/7/15

Comments:
Town Comments
Town Comments

SCALE: 1" = 30'

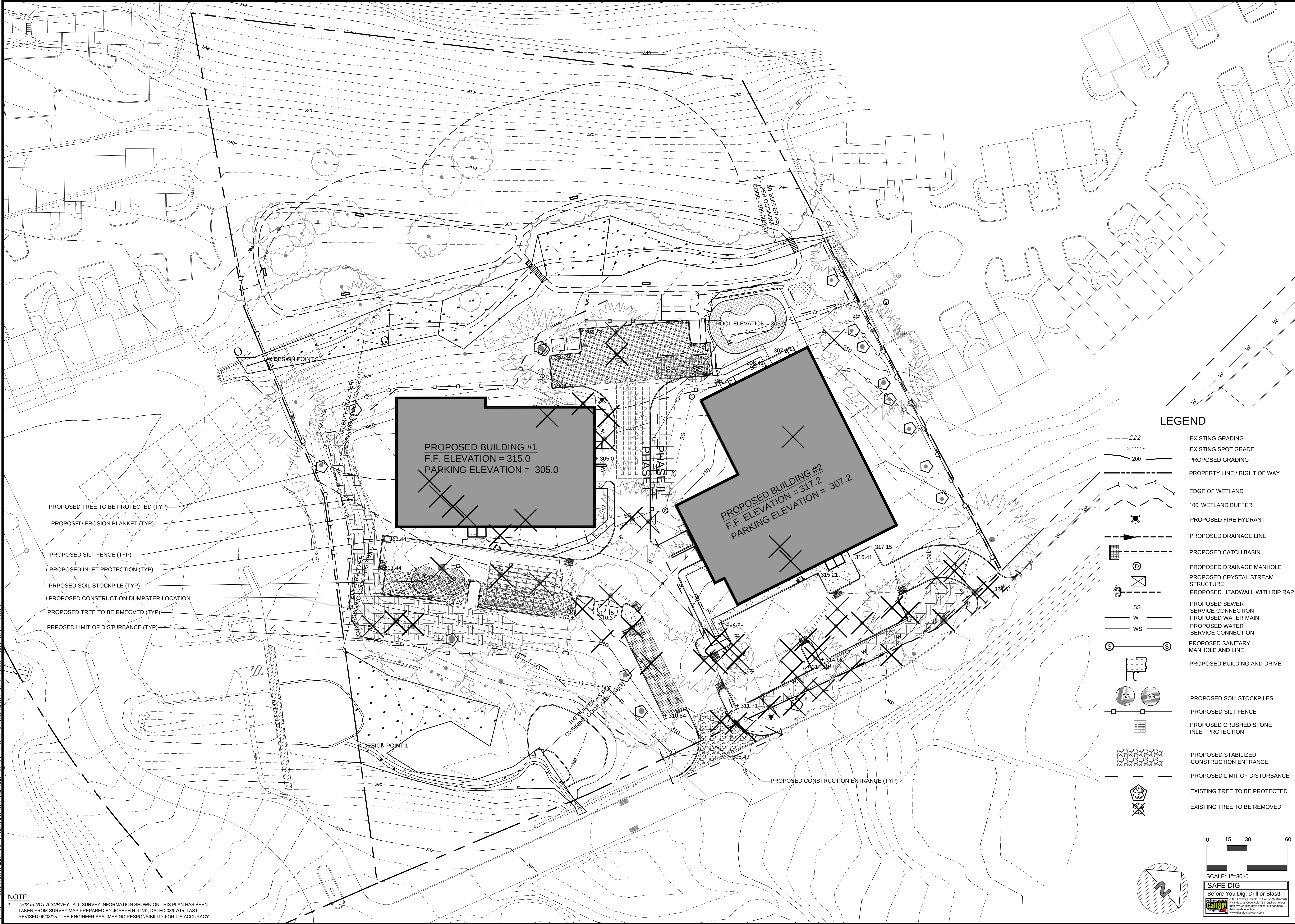
DRAWN BY: TK

DATE: 9/25/15

EXISTING CONDITIONS

SITE PLAN PREPARED FOR
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

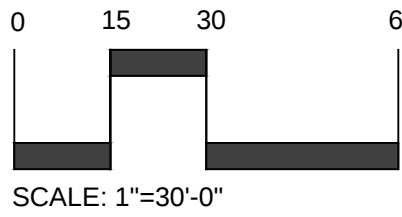
Sheet **C-102**



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LEGEND

- EXISTING GRADING
- EXISTING SPOT GRADE
- PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- EDGE OF WETLAND
- 100' WETLAND BUFFER
- PROPOSED FIRE HYDRANT
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- PROPOSED DRAINAGE MANHOLE
- PROPOSED CRYSTAL STREAM STRUCTURE
- PROPOSED HEADWALL WITH RIP RAP
- PROPOSED SEWER SERVICE CONNECTION
- PROPOSED WATER MAIN
- PROPOSED WATER SERVICE CONNECTION
- PROPOSED SANITARY MANHOLE AND LINE
- PROPOSED BUILDING AND DRIVE
- PROPOSED SOIL STOCKPILES
- PROPOSED SILT FENCE
- PROPOSED CRUSHED STONE INLET PROTECTION
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED LIMIT OF DISTURBANCE
- EXISTING TREE TO BE PROTECTED
- EXISTING TREE TO BE REMOVED

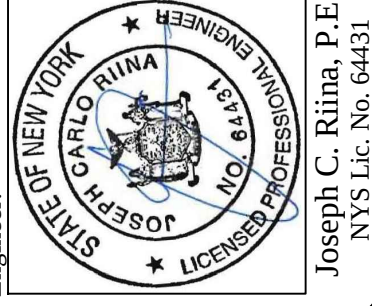


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Engineer:
Joseph C. Riina, P.E.
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No.	Comments
1	11/9/15 Town Comments
2	12/7/15 Town Comments

SCALE: 1" = 30'

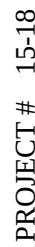
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DATE: 9/25/15

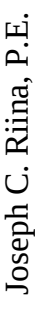
E&SC PLAN

SITE PLAN
PREPARED FOR
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

Sheet
C-103



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Definitions

DATE: 9/25/15

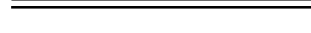
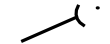
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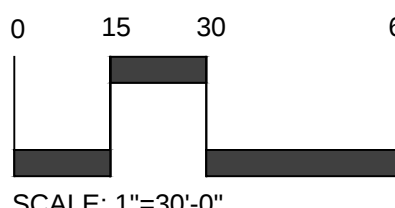
87 HAWKES AVENUE

Town of Ossining
Westchester County, NY

C-105

NOTE:
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	EXISTING GRADING
	EXISTING SPOT GRADE
	PROPOSED GRADING
	PROPERTY LINE / RIGHT OF WAY
	PROPOSED ROAD CENTERLINE
	PROPOSED CURB
	EDGE OF WETLAND
	100' WETLAND BUFFER
	PROPOSED HOUSE AND DRIVE

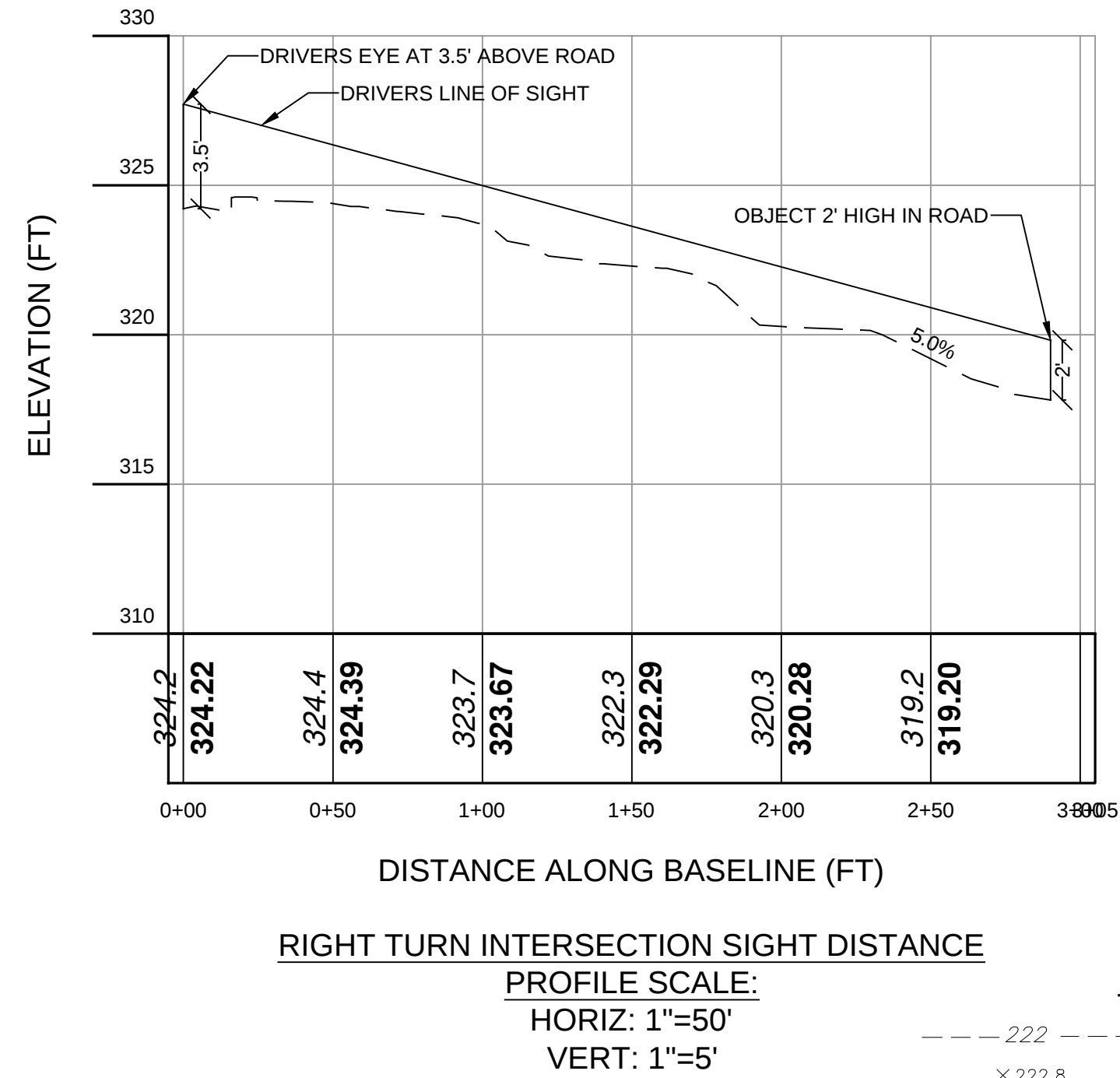
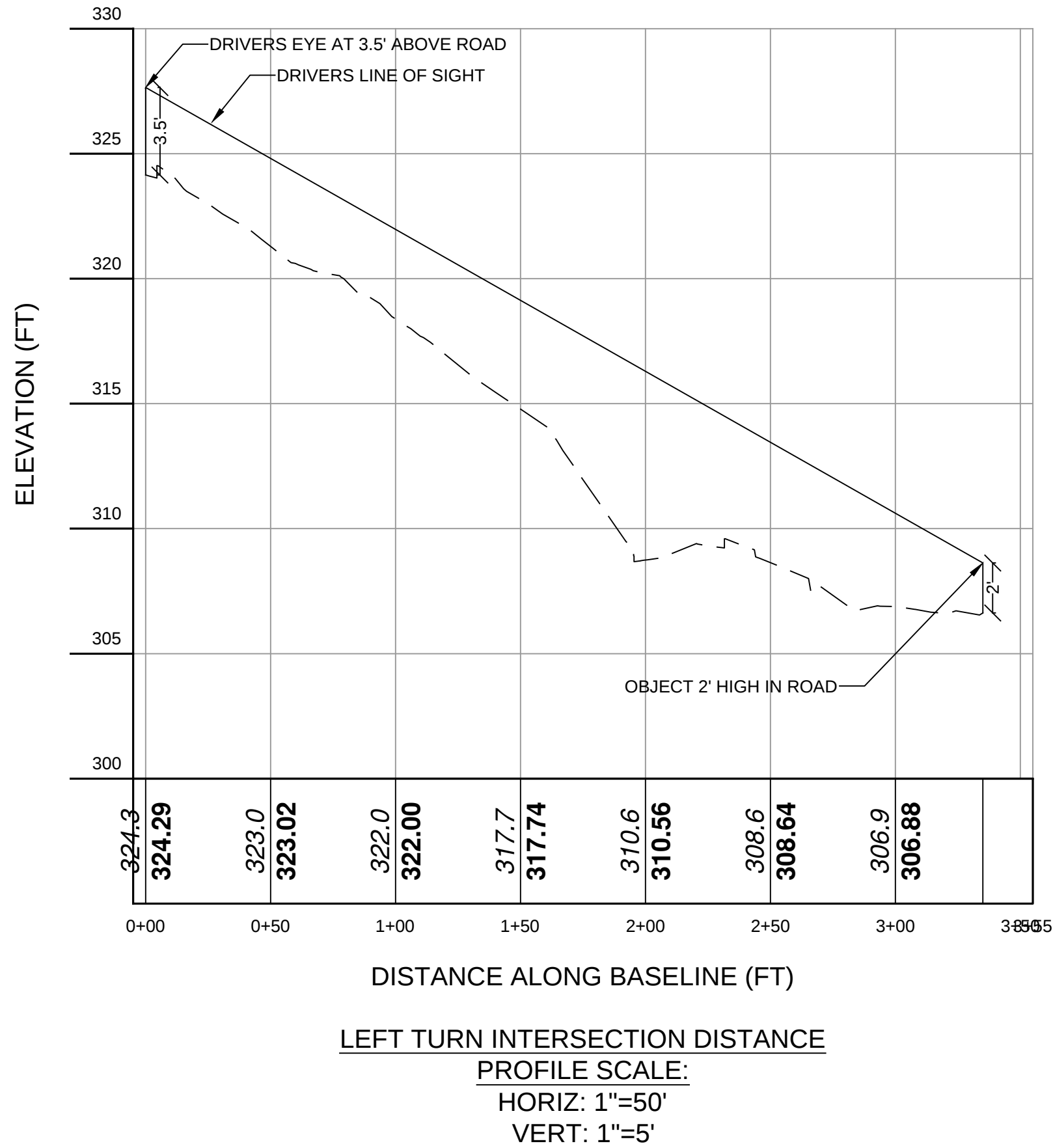
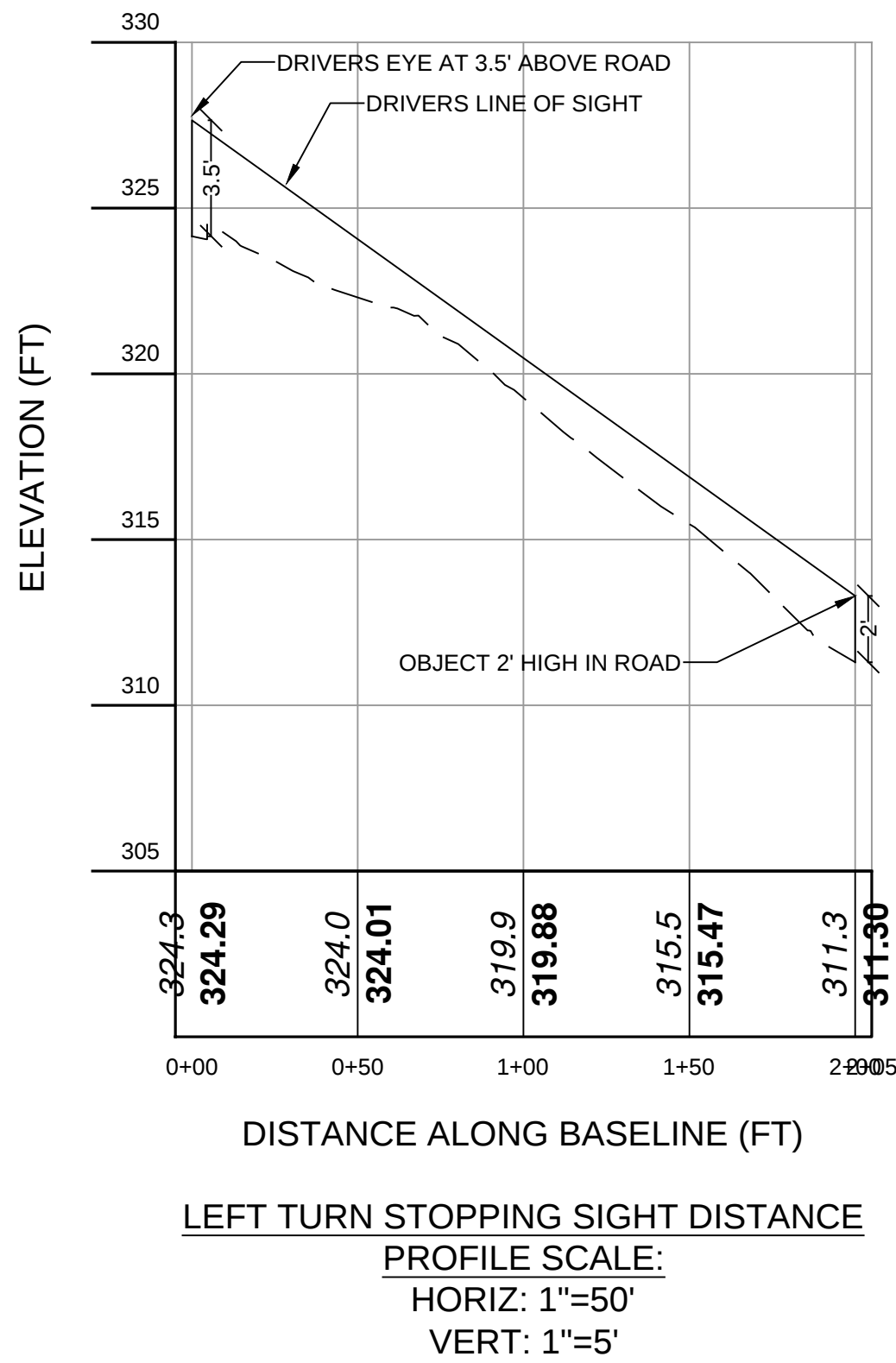
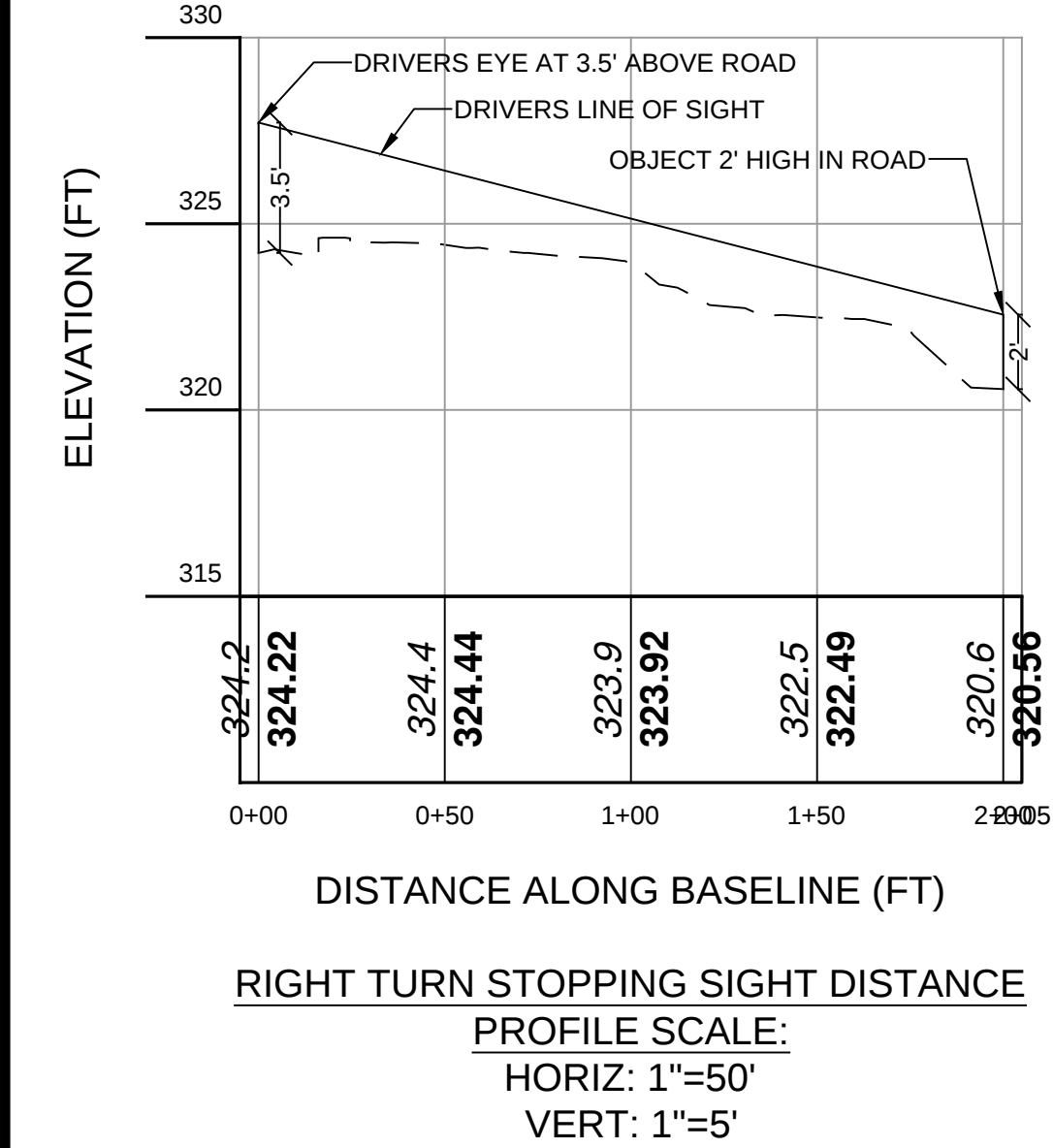
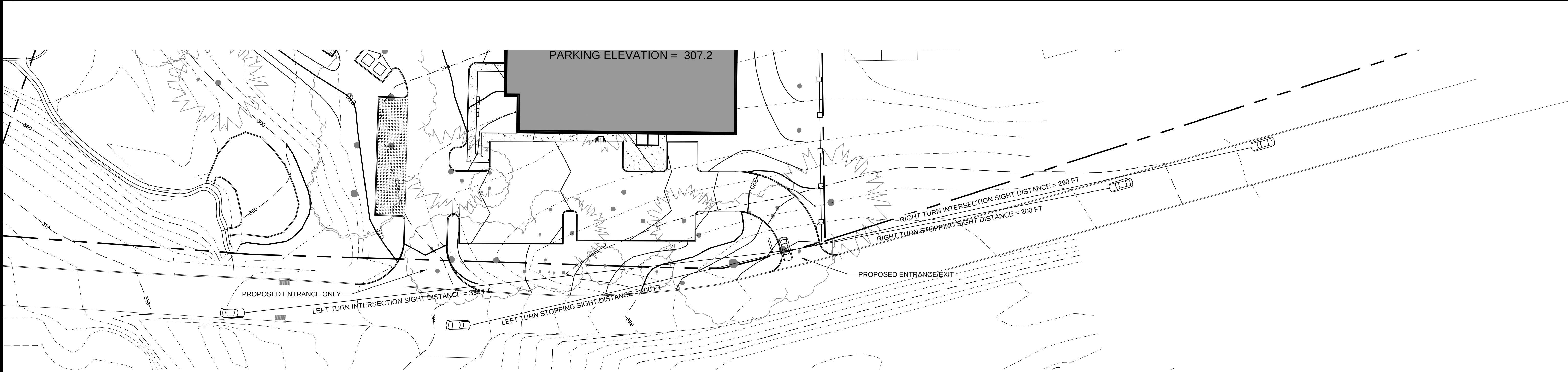


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E:\2015\18 BELDOTTI MANAGEMENT CORP\ENGINEERING\CD\15\18 BELDOTTI MANAGEMENT CORP\15-18 SITE PLAN\15-18 ALT.DWG



LEGEND

- 222 --- EXISTING GRADING
- × 222.8 EXISTING SPOT GRADE
- 200 PROPOSED GRADING
- --- PROPERTY LINE / RIGHT OF WAY
- --- PROPOSED ROAD CENTERLINE
- --- PROPOSED CURB
- - - - - EDGE OF WETLAND
- - - - - 100' WETLAND BUFFER
- [House Icon] PROPOSED HOUSE AND DRIVE

0 15 30 60
SCALE: 1"=30'-0"

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Revisions:	
No.	Comments
1	11/9/15 Town Comments
2	12/7/15 Town Comments

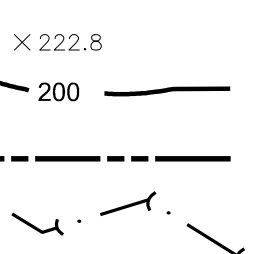
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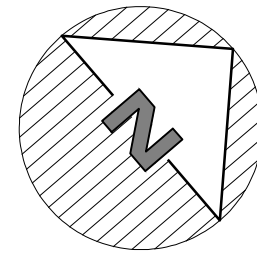
**SIGHT
DISTANCE
PLAN**

SITE PLAN
PREPARED FOR
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

Sheet
C-106

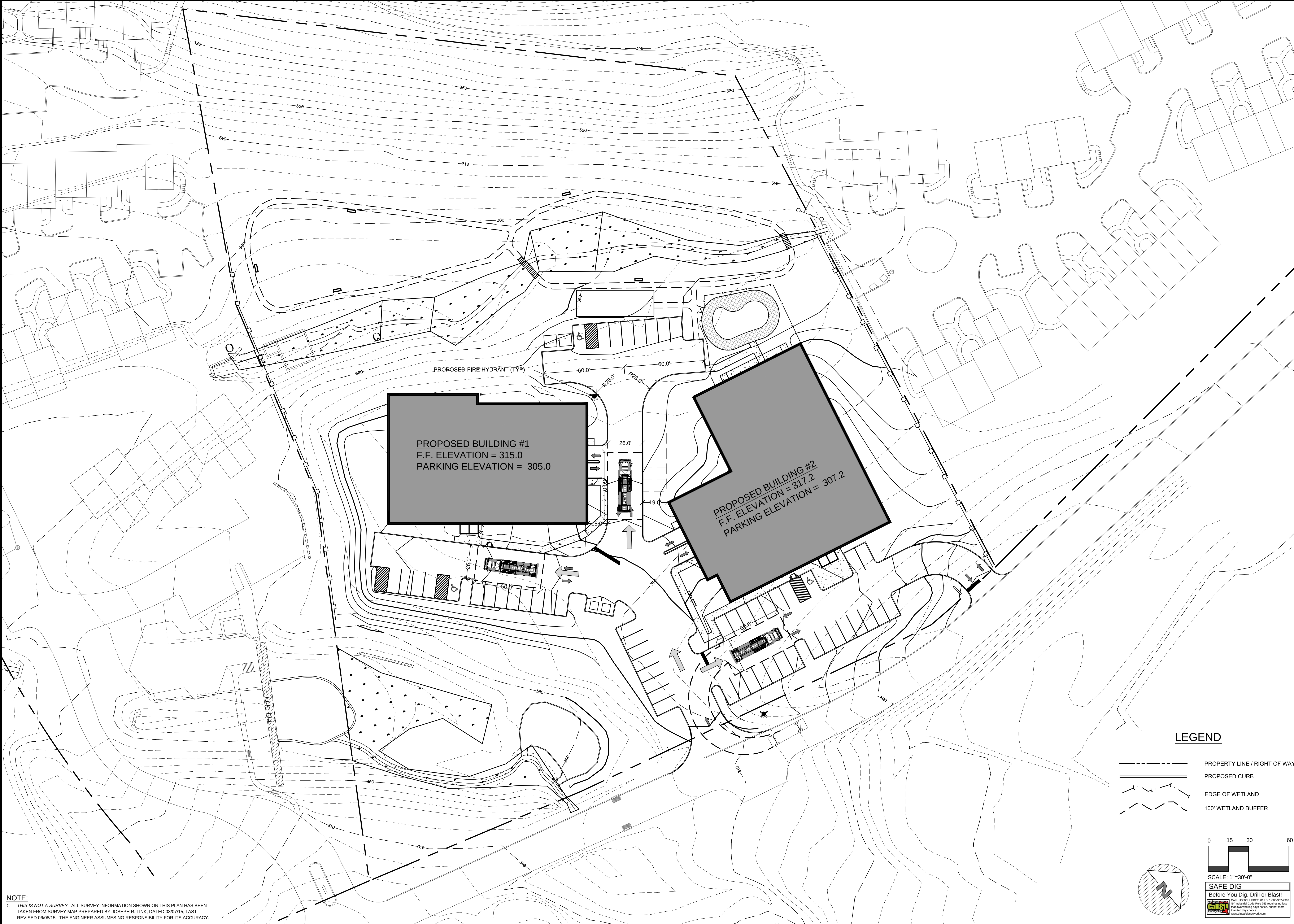
TREES WEST OF STREAM			
Tag #	Species	DBH	Condition
1600	Tulip poplar	32	Good
1559	Red maple	19	Good
1598	Red maple	224	Good
1597	Red maple	36	Poor
1596	Red maple	13	Good
1595	Red maple	22	Poor
1594	Tulip poplar	11	Fair
1593	Red maple	21	Good
1592	Red maple	18	Good
1591	Pin Oak	30	Good but leaning
1590	Pin Oak	24	Good but leaning
1589	Beech	16	Good
1588	Red maple	42	Good/Fair Craggy
1587	Black birch	11	Fair
1586	Triple Beech	21/15/9	Good
1585	Red Oak	20	Good
1584	Pignut hickory	24	Good
1583	Beech	11	Good
1582	Sugar maple	12	Good
1581	Black birch	17	Good
1580	Red Oak	23	Fair but leaning
1579	Red Oak	11	Fair but tangled with adjacent tree
1578	Norway maple	12	Good
1577	Tulip poplar	26	Good but leaning
1576	Beech	12	Good
1575	Birch	20	Fair
1574	Norway maple	10	Good

	EXISTING GRADING EXISTING SPOT GRADE PROPOSED GRADING PROPERTY LINE / RIGHT OF WAY EDGE OF WETLAND 100' WETLAND BUFFER PROPOSED BUILDING AND DRIVE EXISTING TREE TO BE PROTECTED EXISTING TREE TO BE REMOVED
---	---



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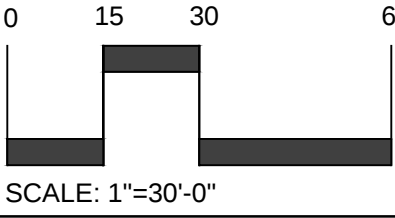
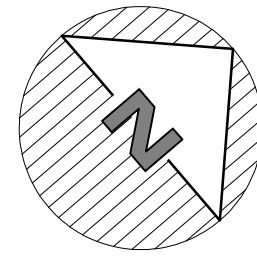
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LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER

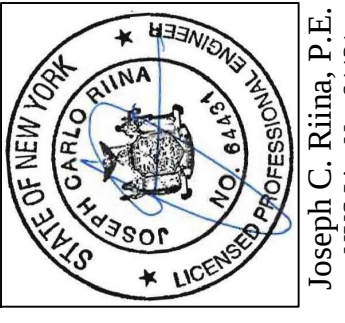


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251-F Underhill Avenue, Yorktown Heights, NY 10598
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Engineer:
Joseph C. Riina, P.E.
NYS Lic. No. 64431

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No.	Date
1	12/7/15
2	12/7/15

SCALE:
1" = 30'

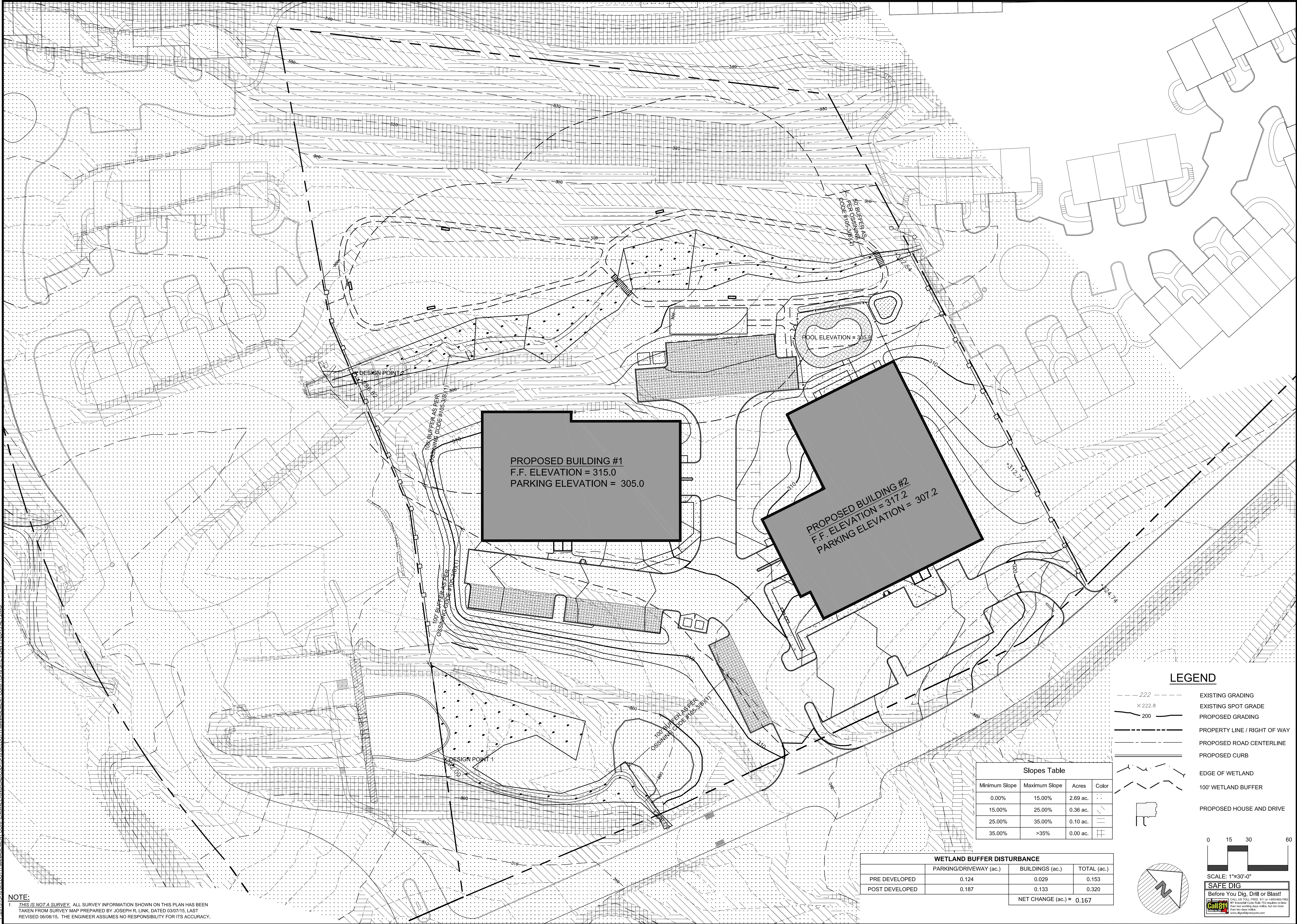
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DATE:
9/25/15

FIRE ACCESS PLAN

PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

Sheet
C-108



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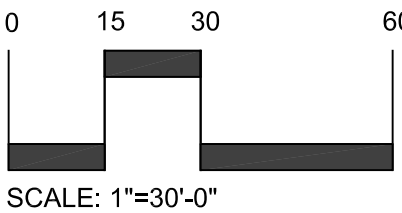
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Slopes Table			
Minimum Slope	Maximum Slope	Acres	Color
0.00%	15.00%	2.69 ac.	
15.00%	25.00%	0.36 ac.	
25.00%	35.00%	0.10 ac.	
35.00%	>35%	0.00 ac.	

WETLAND BUFFER DISTURBANCE		
	PARKING/DRIVEWAY (ac.)	BUILDINGS (ac.)
PRE DEVELOPED	0.124	0.029
POST DEVELOPED	0.187	0.133
NET CHANGE (ac.) =		0.167

LEGEND

- EXISTING GRADING
- EXISTING SPOT GRADE
- PROPOSED GRADING
- PROPERTY LINE / RIGHT OF WAY
- PROPOSED ROAD CENTERLINE
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER
- PROPOSED HOUSE AND DRIVE



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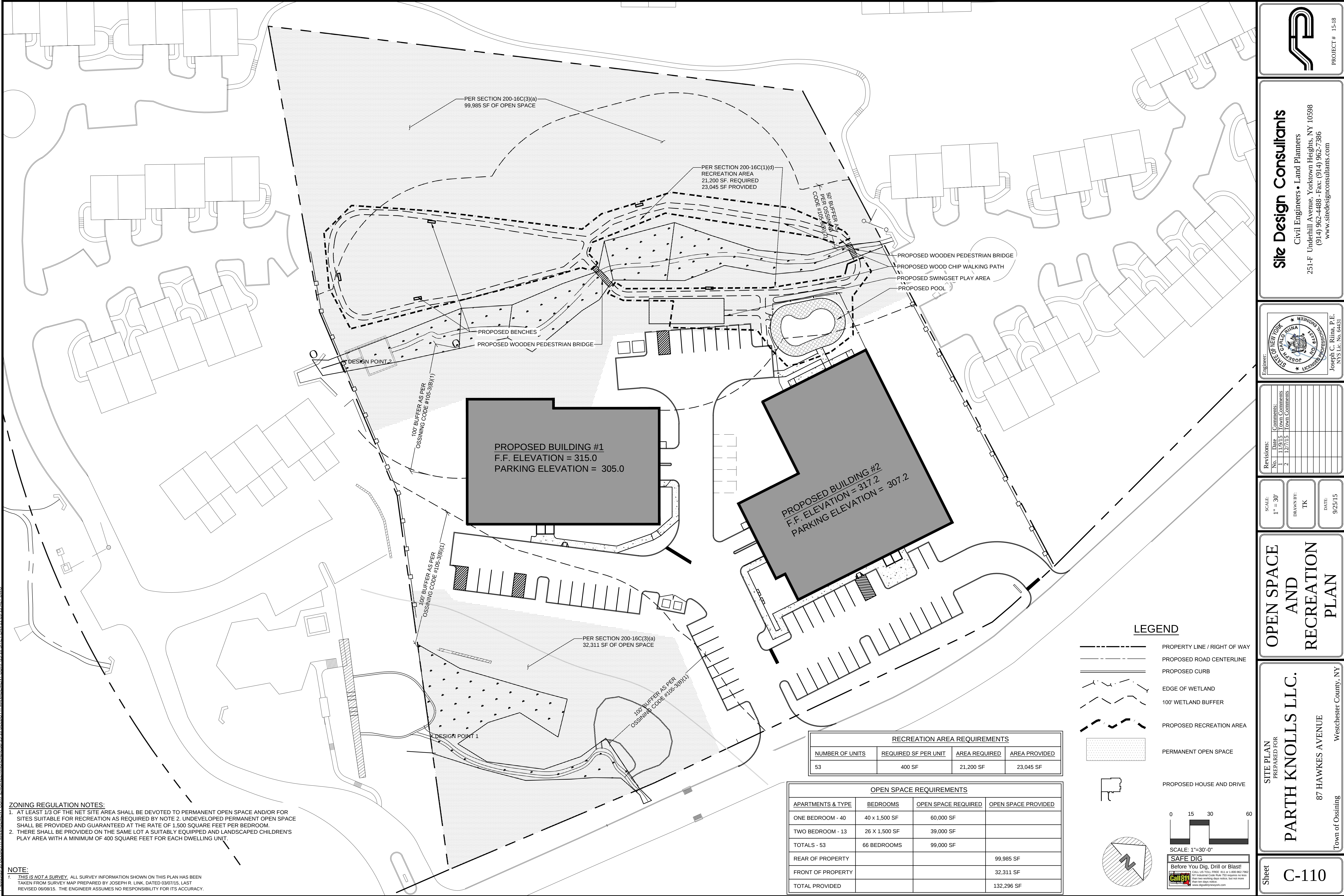
SCALE: 1" = 30'	DRAWN BY: TK	DATE: 9/25/15
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**ENVIRONMENTAL
CONSTRAINTS MAP**

SITE PLAN
PREPARED FOR
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
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Sheet
C-109

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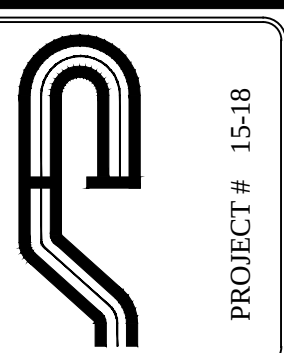


ZONING REGULATION NOTES:

- AT LEAST 1/3 OF THE NET SITE AREA SHALL BE DEVOTED TO PERMANENT OPEN SPACE AND/OR FOR SITES SUITABLE FOR RECREATION AS REQUIRED BY NOTE 2. UNDEVELOPED PERMANENT OPEN SPACE SHALL BE PROVIDED AND GUARANTEED AT THE RATE OF 1,500 SQUARE FEET PER BEDROOM.
- THERE SHALL BE PROVIDED ON THE SAME LOT A SUITABLY EQUIPPED AND LANDSCAPED CHILDREN'S PLAY AREA WITH A MINIMUM OF 400 SQUARE FEET FOR EACH DWELLING UNIT.

NOTE:

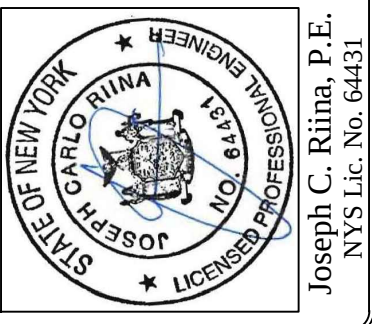
- THIS IS NOT A SURVEY.** ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JOSEPH R. LINK, DATED 03/07/15, LAST REVISED 06/08/15. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



PROJECT # 15-18

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Revisions:		Comments:	
No.	Date	Town Comments	Town Comments
1	11/9/15		
2	12/7/15		

SCALE:
1" = 30'

DRAWN BY:
TK

DATE:
9/25/15

OPEN SPACE AND RECREATION PLAN

SITE PLAN
PREPARED FOR
PARTH KNOLLS LLC.

87 HAWKES AVENUE

Westchester County, NY
Town of Ossining

Sheet

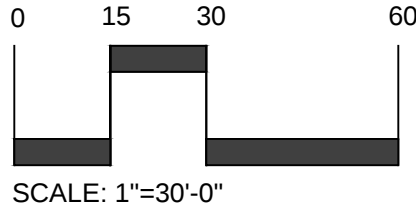
C-110



NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY JOSEPH R. LINK, DATED 03/07/15, LAST REVISED 06/08/15. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED CURB
- EDGE OF WETLAND
- 100' WETLAND BUFFER

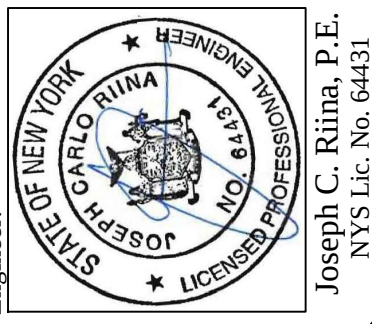


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Engineer:
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:	
No.	Date
1	11/9/15
2	12/7/15

SCALE: 1" = 30'

DRAWN BY: TK

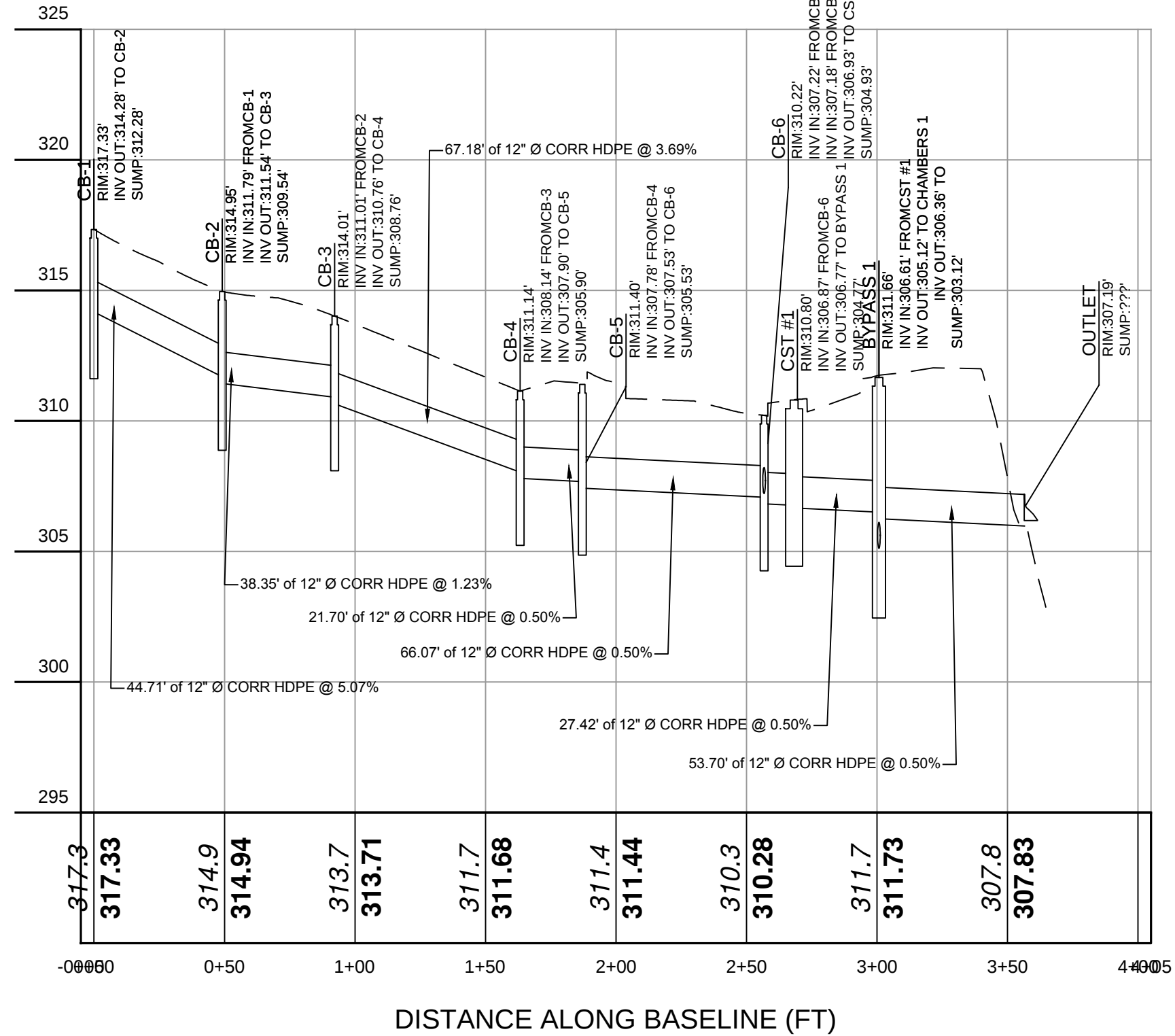
DATE: 9/25/15

LIGHTING PLAN

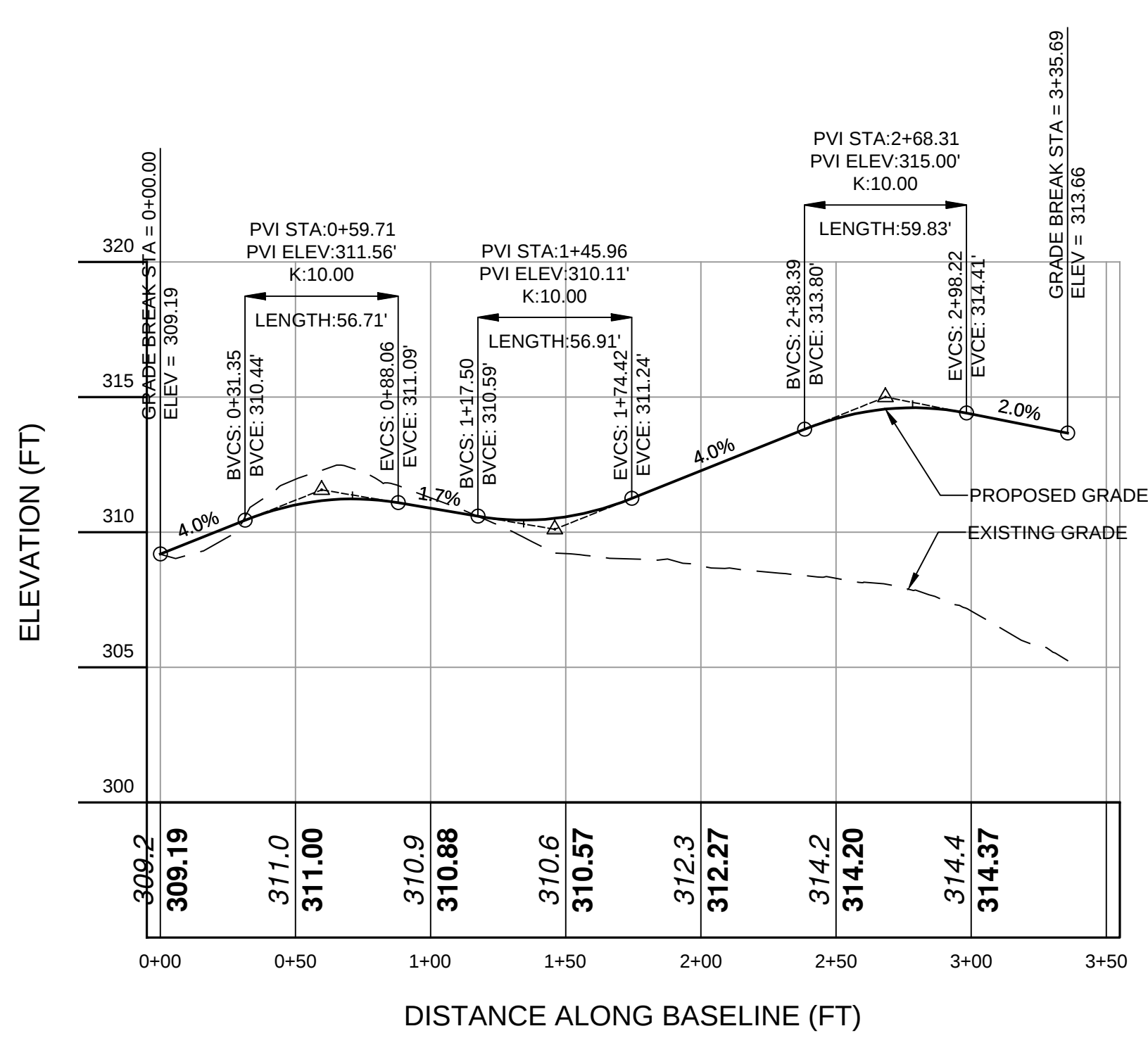
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

Sheet **C-111**

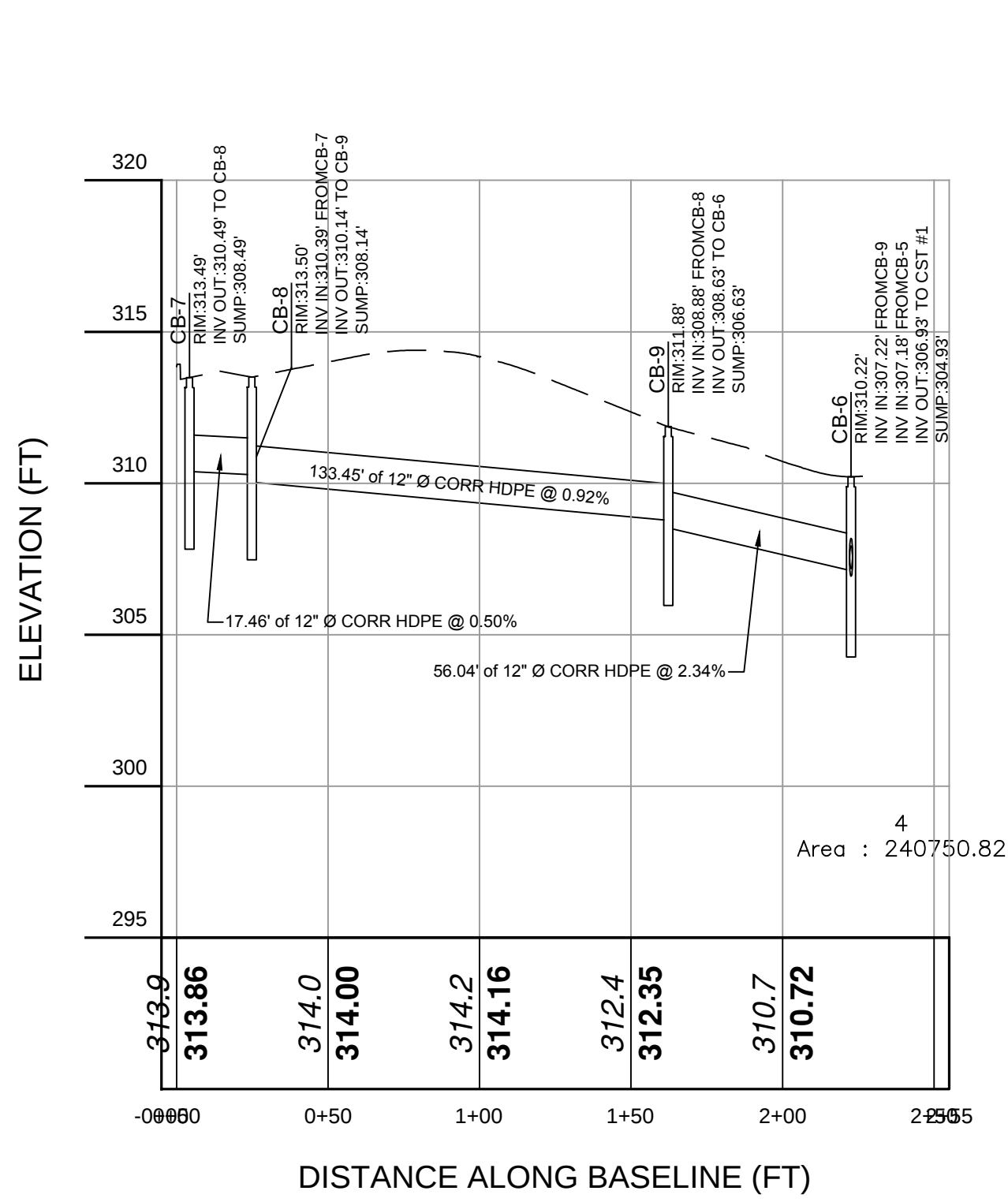
EV201515-18 BELDOTT MANAGEMENT CORP/ENGINEERING/CADD/15-18 BELDOTT MANAGEMENT CORP/15-18 SITE PLAN/11-20-15 ALL DWG



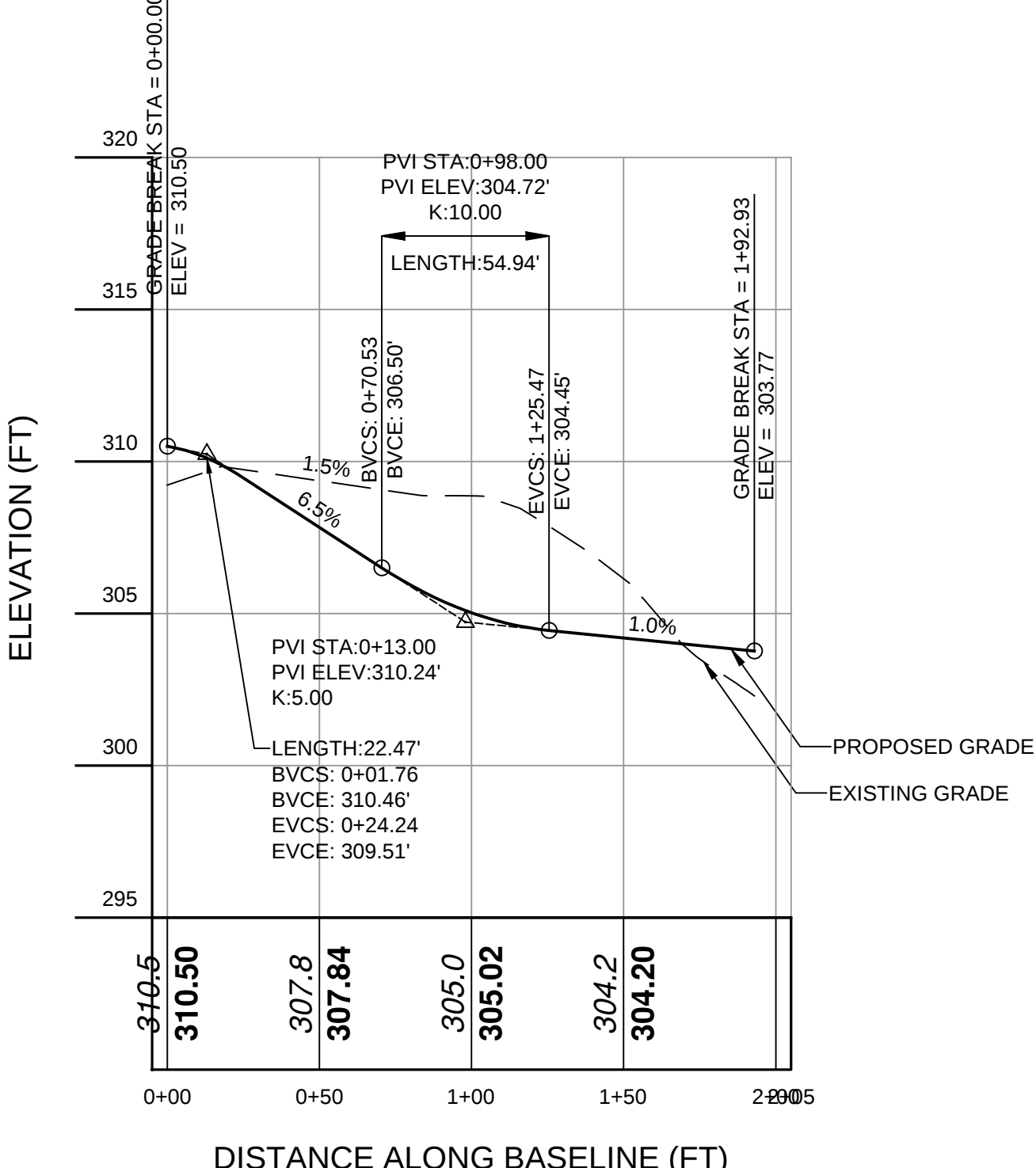
CB-1 TO OUTLET
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



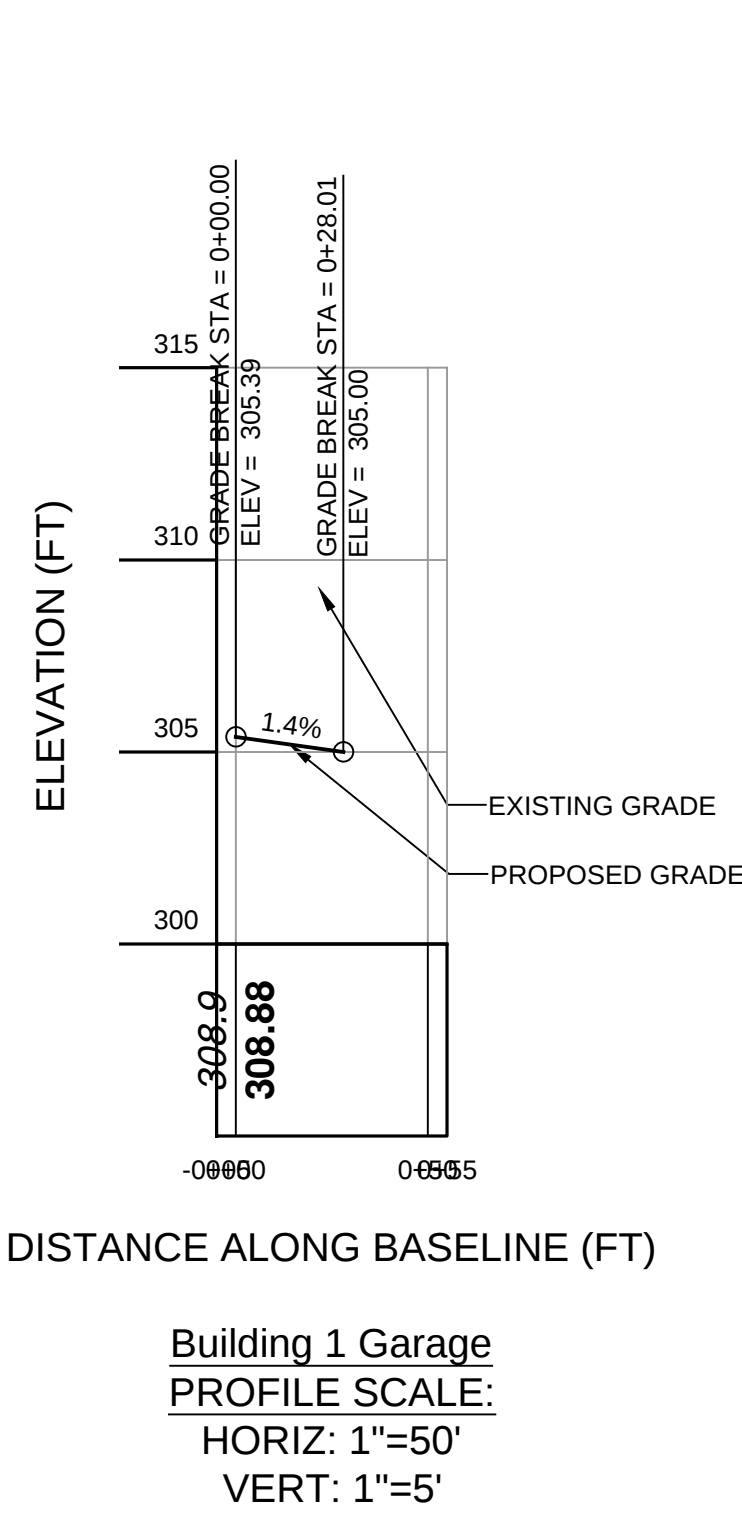
BUILDING 2 DRIVEWAY
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



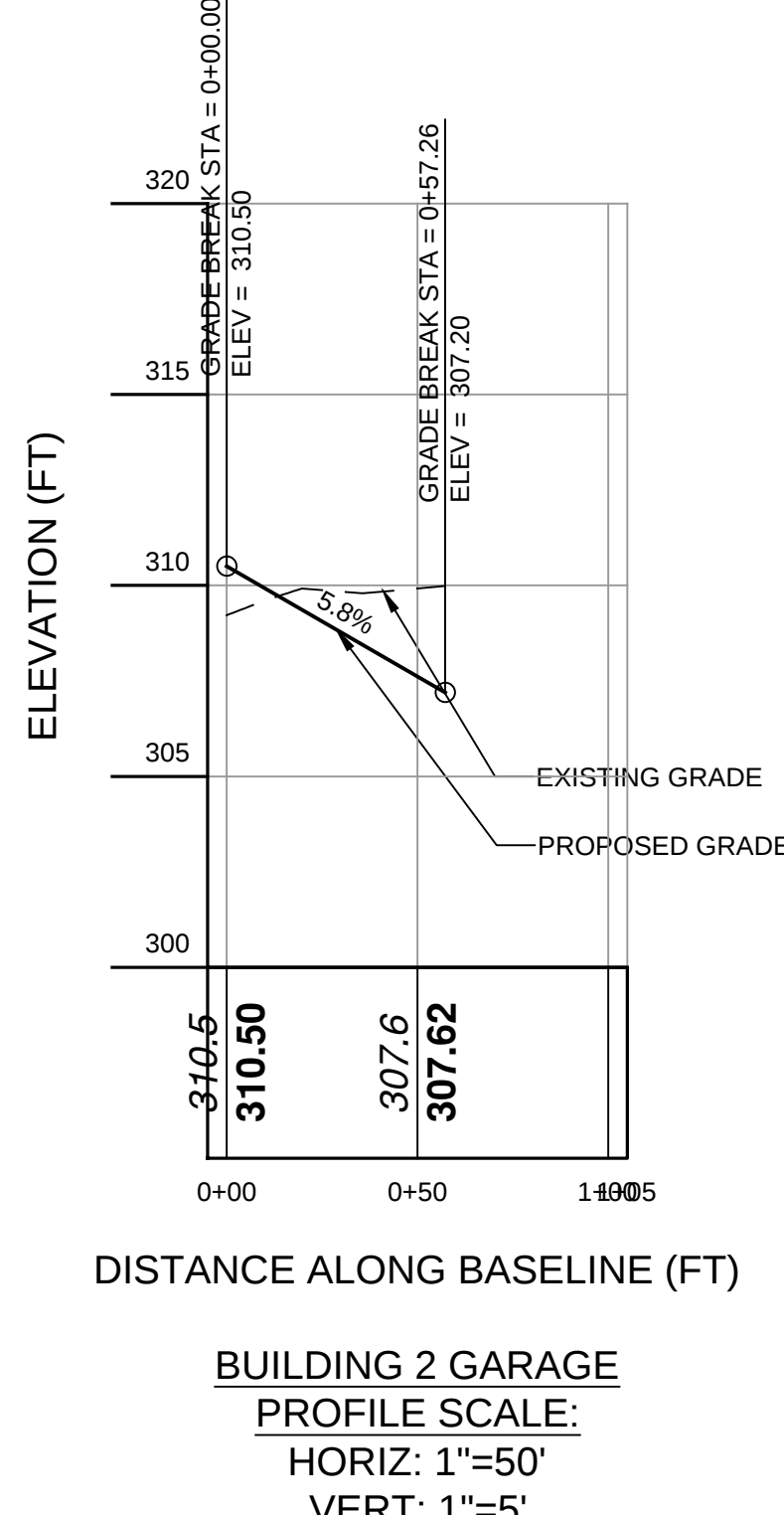
CB-6 TO CST
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



DRIVEWAY TO LOWER PARKING
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



Building 1 Garage
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'



BUILDING 2 GARAGE
PROFILE SCALE:
HORIZ: 1"=50'
VERT: 1"=5'

Sheet

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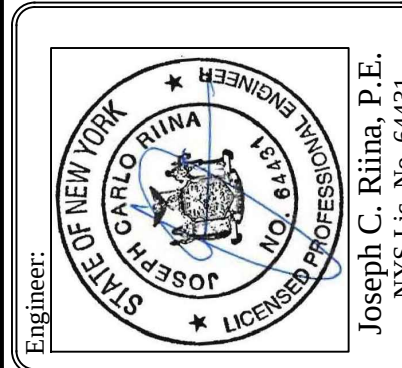
SITE PLAN
PREPARED FOR
PARTH KNOLLS LLC.
87 HAWKES AVENUE
Town of Ossining
Westchester County, NY

PROFILES

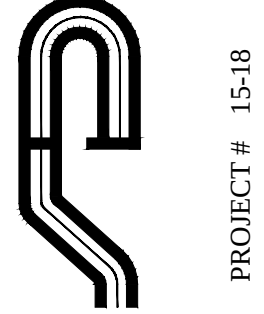
SCALE:

DRAWN BY:
TK
DATE:
9/25/15

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