

SITE DEVELOPMENT PLANS

PREPARED FOR

ARTIS SENIOR LIVING, LLC

TOWN OF OSSINING

WESTCHESTER COUNTY, NEW YORK

DATE: AUGUST 1, 2015
REVISED: NOVEMBER 9, 2015

SITE DATA

SITE LOCATION: 553 NORTH STATE ROAD
BRIARCLIFF MANOR, NEW YORK

OWNER/APPLICANT: ARTIS SENIOR LIVING, LLC
1651 OLD MEADOW ROAD, SUITE 100
McCLEAN VA, 22102

LOT SIZE: 1.53 ACRES

ZONING DISTRICT: GB - GENERAL BUSINESS



SHEET INDEX

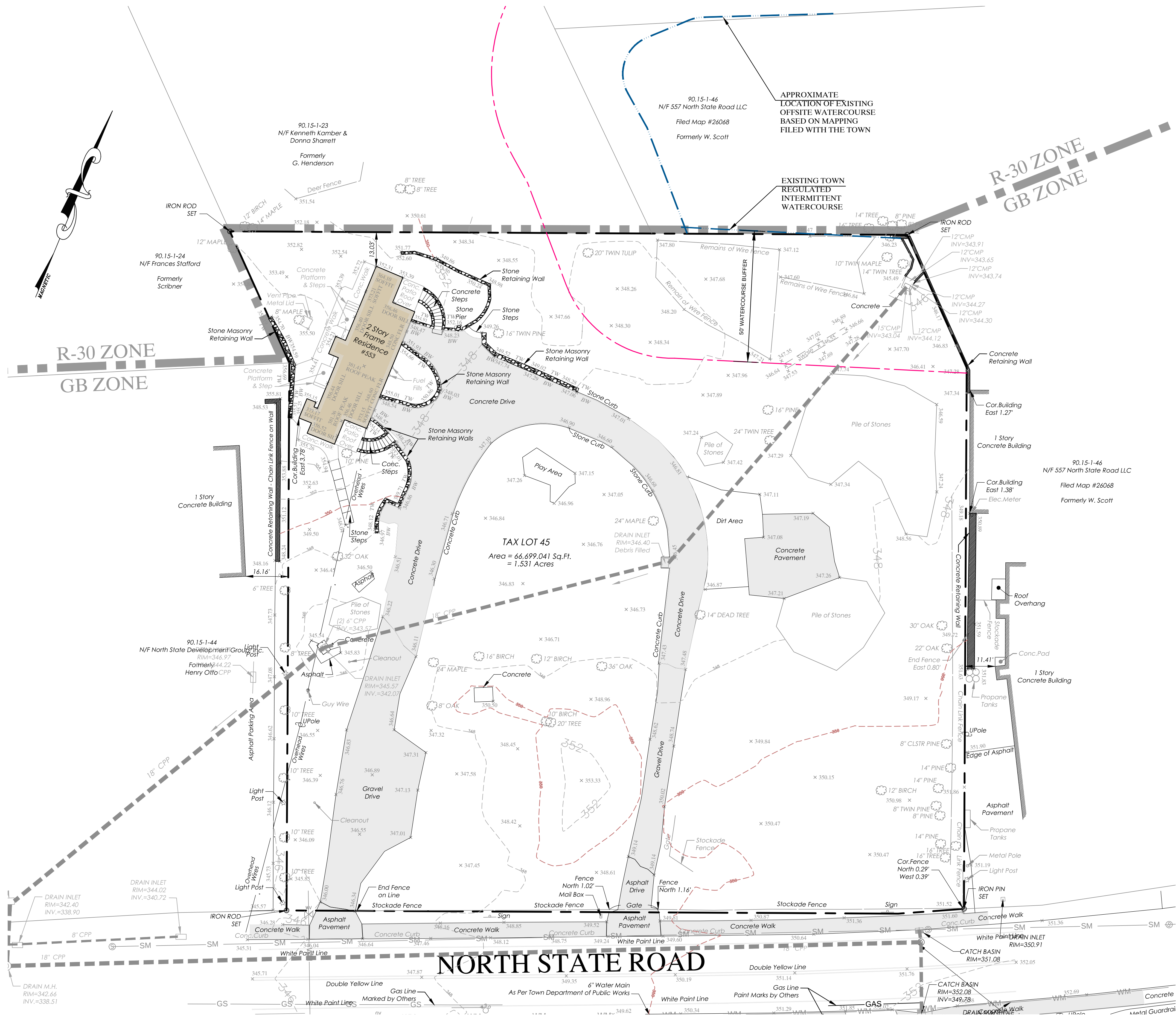
COVER SHEET	
EXISTING CONDITIONS PLANS	1 / 9
LAYOUT PLAN	2 / 9
GRADING & UTILITIES PLAN	3 / 9
EROSION & SEDIMENT CONTROL PLAN	4 / 9
LANDSCAPING PLAN	5 / 9
WETLAND MITIGATION PLAN	6 / 9
DETAILS	7 / 9
DETAILS	8 / 9
DETAILS	9 / 9

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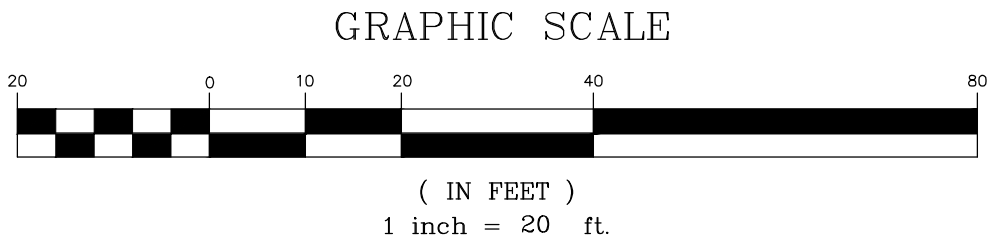
ENGINEERING , LANDSCAPE ARCHITECTURE & PLANNING, P.C.

500 Main Street • Armonk, N.Y. 10504
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LEGEND	
	EXISTING PROPERTY LINE
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT ELEVATION
	TOWN REGULATED WATERCOURSE
	50' WATERCOURSE BUFFER
	EXISTING ZONING BOUNDARY
	EXISTING FENCE
	EXISTING SEWER MAIN
	EXISTING DRAINAGE PIPE
	EXISTING WATER MAIN
	EXISTING HYDRANT
	EXISTING GAS MAIN
	EXISTING SIDEWALK
	EXISTING TREE

- GENERAL NOTES:
- SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITT'S LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20, 2014.
 - THE WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015. THE SURROUNDING WETLAND AREA WAS DEEMED TO BE NON-JURISTICTIONAL DUE TO IT'S SIZE.



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EXISTING CONDITIONS PLAN

ARTIS SENIOR LIVING

TOWN OF OSSINING

WESTCHESTER COUNTY, NEW YORK

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1.	NOVEMBER 9, 2015 - GENERAL REVISIONS

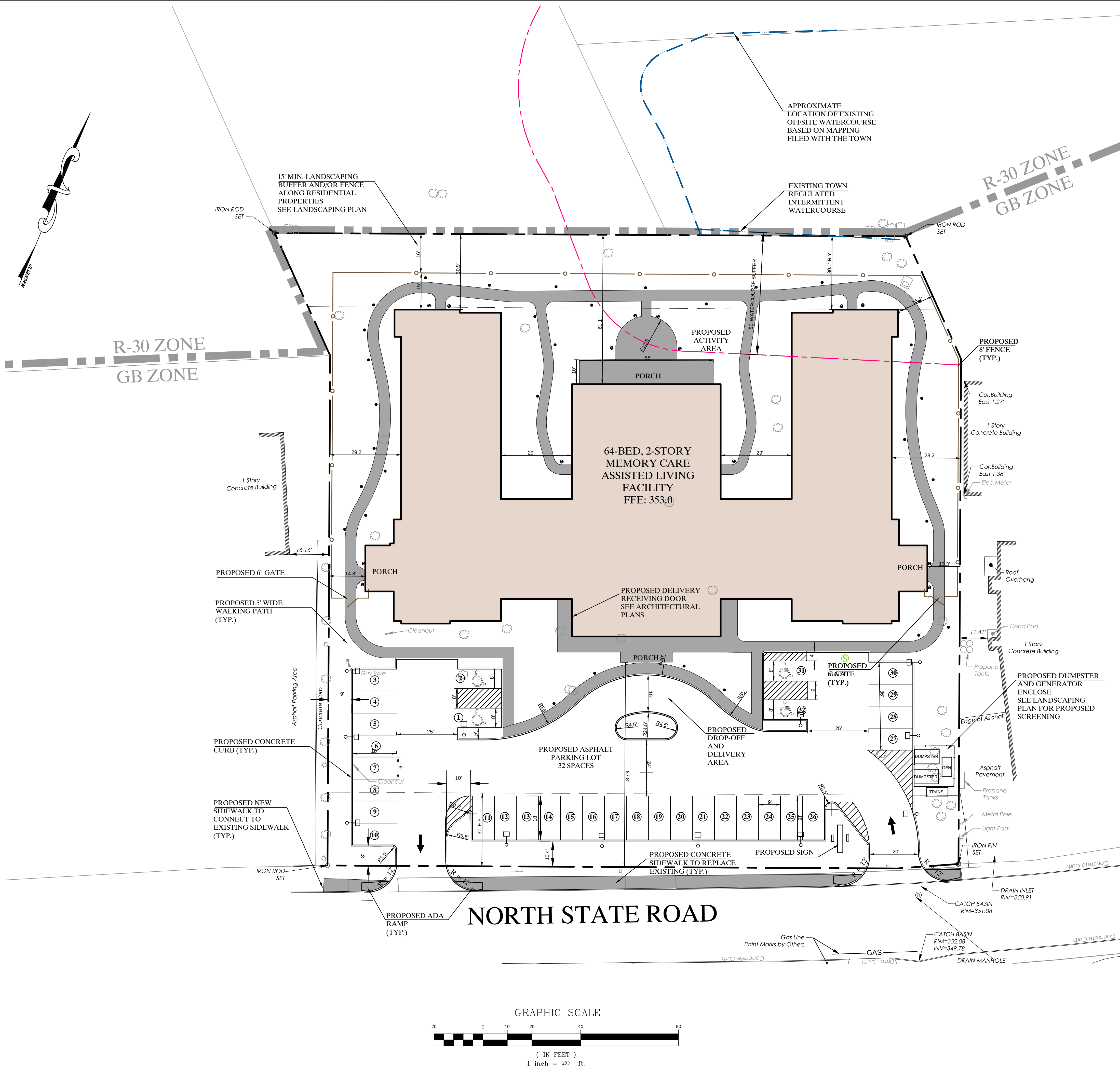
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PROJECT I.D.:

ART100

DATE:

AUGUST 1, 2015



GENERAL NOTES:

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3. ALL VEGETATION SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ANY VEGETATION NOT SO MAINTAINED SHALL BE REPLACE WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
4. ALL EXTERIOR LIGHTING SHOWN ON THESE PLANS SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
5. ALL UTILITY LINES ASSOCIATED WITH THIS PROJECT SHALL BE LOCATED UNDERGROUND.
6. SEE ARCHITECTURAL PLANS PREPARED BY DENNIS D. SMITH, AIA ARCHITECT FOR BUILDING INFORMATION.
7. SEE LIGHTING PLAN BY HALOPHANE FOR LIGHTING DESIGN INFORMATION.
8. ALL EXTERIOR LIGHTING SHOWN ON THIS PLAN SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.

ZONING (GB) TABLE - OSSINING		
REGULATION	MIN./MAX. DISTRICT REQUIREMENTS (GB)	PROPOSED
LOT AREA	20,000 SF (MIN)	66,676 SF
FRONTAGE	50 FEET (MIN)	255 FT
LOT WIDTH	100 FEET (MIN)	255 FT
LOT DEPTH	130 FEET (MIN)	259 FT
FRONT YARD SETBACK	30 FEET (MIN)	83.8 FT
SIDE YARD SETBACK	0 FEET (MIN)	13.3 FT
SIDE ALONG RESIDENTIAL	30 FEET (MIN)	N/A
REAR YARD ALONG RESIDENTIAL	30 FEET (MIN)	30.1 FT
BUILDING HEIGHT (FEET)	35 FEET (MAX)	35 FT
BUILDING HEIGHT (STORIES)	2.0 STORIES (MAX)	2.0 STORIES
BUILDING COVERAGE	30% (MAX)	29%
PARKING SPACES	0.5 SPACE PER BED	32 SPACES
	0.5 * 64 = 32 SPACES	

LEGEND

- EXISTING PROPERTY LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT ELEVATION
- TOWN REGULATED WATERCOURSE
- 50' WATERCOURSE BUFFER
- EXISTING ZONING BOUNDARY
- PROPOSED 8' FENCE
- SIDEWALK MARKER LIGHT FIXTURE
- BOLLARD LIGHT FIXTURE
- POLE MOUNTED LIGHT FIXTURE
- SIGN FLOOD LIGHT FIXTURE

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LAYOUT PLAN

ARTIS SENIOR LIVING

TOWN OF OSSINING

WESTCHESTER COUNTY, NEW YORK

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REVISIONS

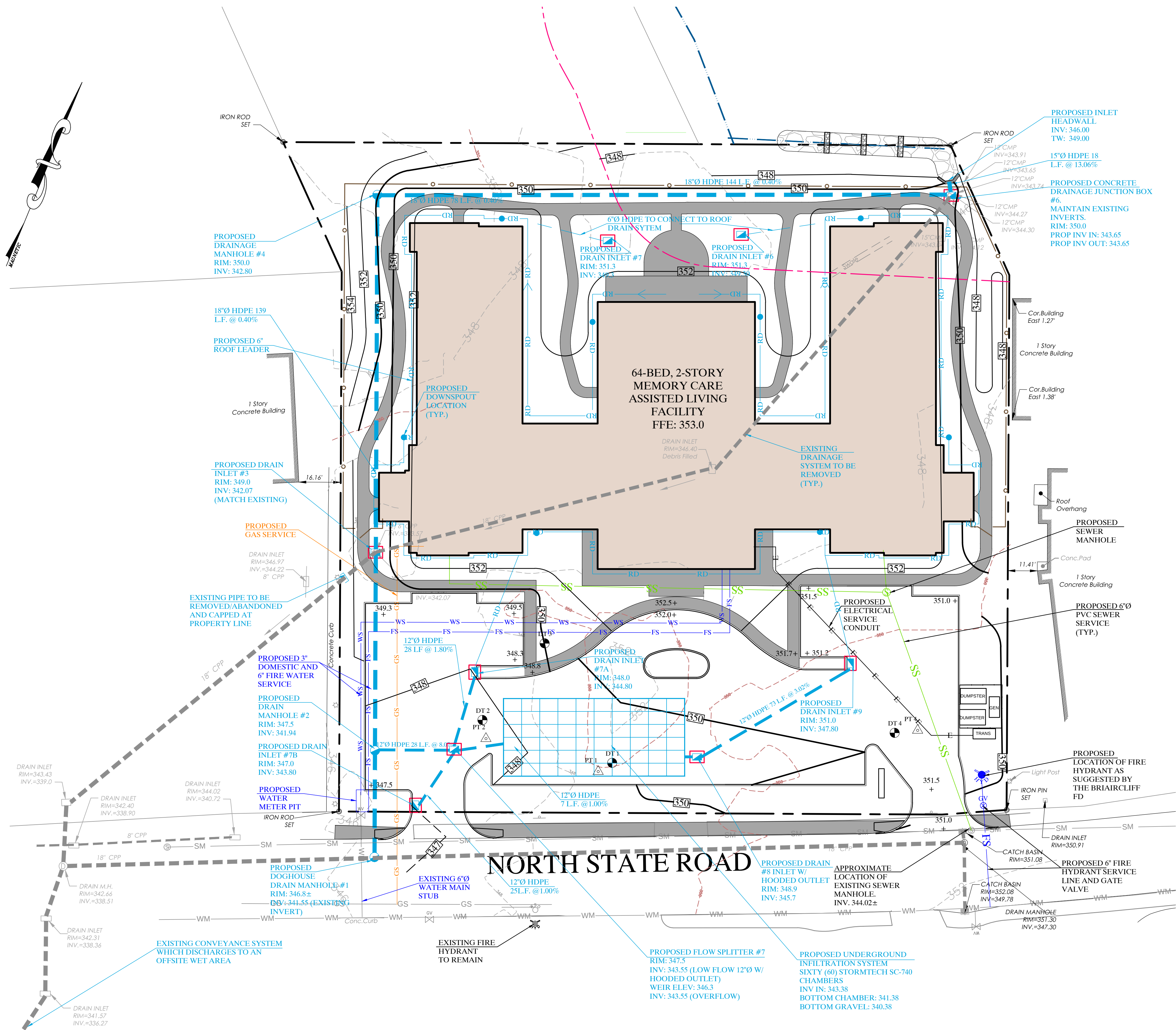
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6. SEE ARCHITECTURAL PLANS PREPARED BY DENNIS D. SMITH, AIA ARCHITECT FOR BUILDING INFORMATION.
7. ALL EXISTING SITE FEATURES SHALL BE DEMOLISHED AND REMOVED OFF SITE IN A SAFE A LEGAL MANNER; UNLESS OTHERWISE NOTED.
8. THERE WILL BE NO SURFACE FLOWS FROM THE ARTIS DEVELOPMENT DISCHARGING TO THE OFFSITE WETLAND/WATERCOURSE TO THE WEST. IN ADDITION, EXISTING FLOWS FROM THE OFFSITE WETLAND/WATERCOURSE WILL NOT BE DIMINISHED AS A RESULT OF THE ARTIS DEVELOPMENT.

SOIL TESTING RESULTS:

TP-1	0" TO 8"	TOPSOIL
	8" TO 24"	SLIGHTLY COMPACTED RED SILTY LOAM
	24" TO 84"	SLIGHTLY COMPACTED BROWN SAND W/ SILT
TP-2	0" TO 4"	TOPSOIL
	4" TO 84"	SLIGHTLY COMPACTED BROWN SAND W/ SILT WITH 8" COBBLES
TP-3	0" TO 4"	TOPSOIL
	4" TO 48"	SLIGHTLY COMPACTED BROWN SAND W/ SILT
	48" +	WEATHERED BOULDERS, VERY COMPACT
TP-4	0" TO 6"	TOPSOIL
	6" TO 36"	SLIGHTLY COMPACTED BROWN SANDY LOAM
	36" TO 72"	SLIGHTLY COMPACTED BROWN SAND
	72" +	GROUNDWATER

PERCOLATION TEST #1 = 6 MIN/INCH
PERCOLATION TEST #2 = 5 MIN/INCH
PERCOLATION TEST #4 = 5 MIN/INCH

LEGEND

	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED FIRE SERVICE
	PROPOSED FIRE SERVICE
	PROPOSED WATER SERVICE
	PROPOSED SEWER SERVICE
	PROPOSED ROOF DRAIN
	PROPOSED FOOT DRAIN
	PROPOSED HDPE DRAIN PIPE
	PROPOSED SEWER MANHOLE
	PROPOSED DRAIN INLET/CATCH BASIN
	PROPOSED DRAINAGE MANHOLE
	PROPOSED YARD DRAIN
	PROPOSED HEAD WALL
	PROPOSED HYDRANT
	PROPOSED GATE VALVE
	DEEP TEST HOLE LOCATION
	PERCOLATION TEST HOLE LOCATION

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GRADING AND UTILITY PLAN

ARTIS SENIOR LIVING

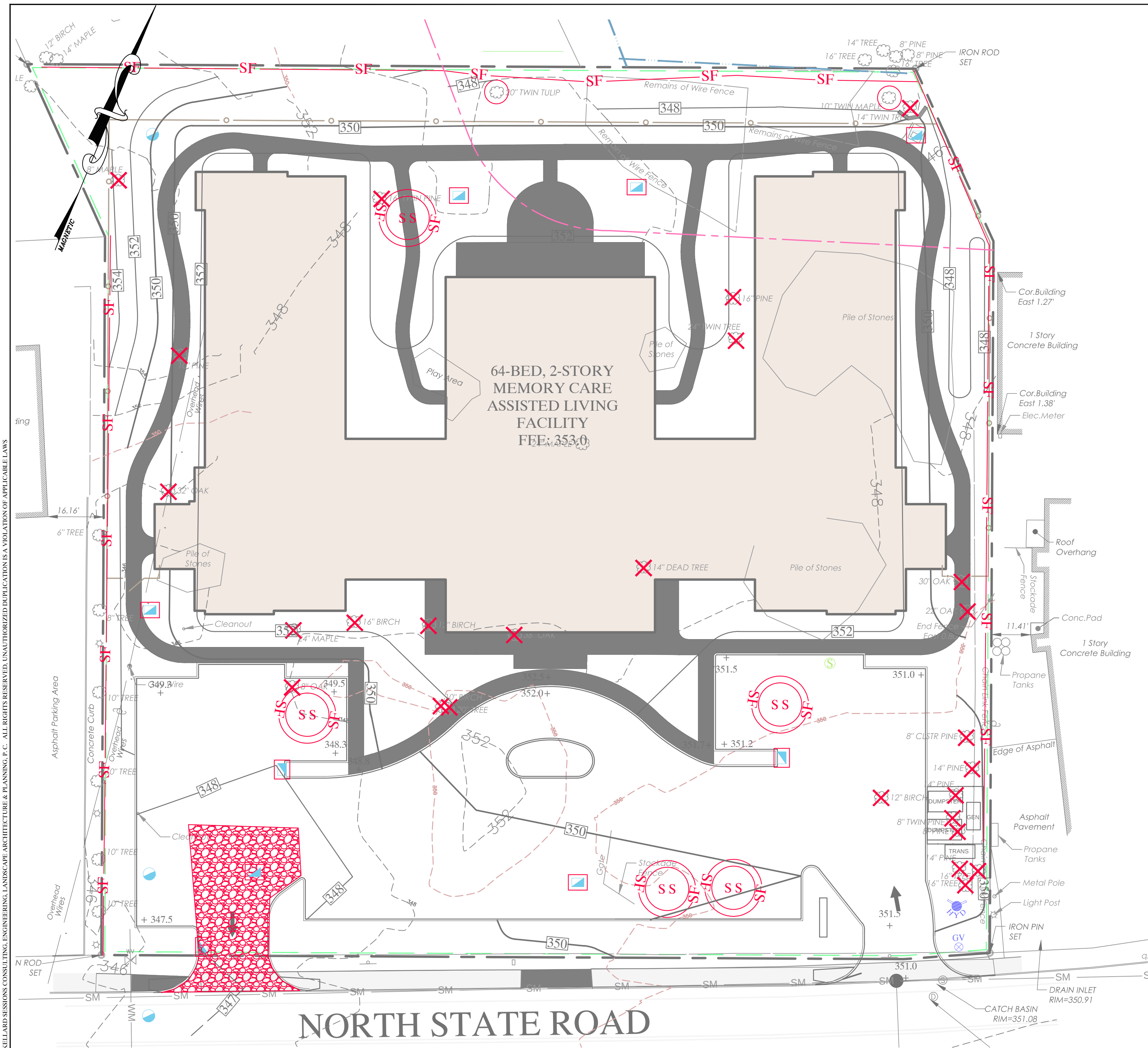
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DATE:	AUGUST 1, 2015

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

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LEGEND

EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR	---
EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR	---
EXISTING SPOT GRADE	X 447.07	PROPOSED CONCRETE CURB	---
TOWN REGULATED WATERCOURSE	---	PROPOSED DRAIN INLET W/ INLET PROTECTION	---
50' WATERCOURSE BUFFER	---	PROPOSED SILT FENCE	SF
EXISTING DRAINAGE PIPE	---	PROPOSED LIMIT OF DISTURBANCE	---
TREE TO BE PROTECTED	○	TEMPORARY SOIL STOCKPILE	SS
TREE TO BE REMOVED	×		

EROSION AND SEDIMENT CONTROL PLAN

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- New York Standards and Specifications for Erosion and Sediment Control, latest edition
- New York State SPDES General Permit for Stormwater Runoff from Construction Activity (GP-0-15-002)
- Town Code of Ossining Chapter 168 "Stormwater Management and Erosion and Sediment Control"

The primary aim of the soil erosion and sediment control plan is to reduce soil erosion from areas stripped of vegetation during and after construction and to prevent silt from reaching the drainage structures, infiltration systems and downstream properties. The infiltration systems will not be put into service until the contributing drainage areas to the system have been stabilized. As outlined in the construction sequencing notes below and on the Sediment & Erosion Control Plan, the Sediment & Erosion Control Plan is an integral component of the construction phasing and sequencing and will be implemented to control sediment and re-establish vegetation as soon as practicable. The plan will be implemented prior to the commencement of any earthmoving activities.

A copy of the contractor certification form is provided in Stormwater Pollution Prevention Plan Section F. This form will be signed by the contractor prior to the commencement of construction activity.

The owner/operator shall maintain at the construction site a copy of the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activities, GP-0-15-002, the Notice of Intent (NOI), the NOI acknowledgment letter, the Stormwater Pollution Prevention Plan Report for Artis Senior Living, the MS4 SWPPP Acceptance Form and inspection reports from the qualified inspector until all disturbed areas have achieved final stabilization and the Notice of Termination (NOT) has been filed with the NYSDEC.

The applicant or developer or their representative shall be on site at all times when construction or grading activity takes place. A qualified inspector shall conduct site inspections a minimum of once every seven (7) calendar days. The qualified inspector shall inspect and document the effectiveness of all erosion and sediment control practices. The qualified inspector shall prepare an inspection report subsequent to each and every inspection. The reports shall be forwarded to the Town's Stormwater Management Officer and also copied to the site logbook. The qualified inspector must be a licensed Professional Engineer, a Certified Professional in Erosion and Sediment Control (CPESC), a Registered Landscape Architect or someone working under the direct supervision of, and at the same company as, the Licensed Professional Engineer or Registered Landscape Architect, provided they have received four (4) hours of NYSDEC endorsed training in proper erosion and sediment control principles from a soil and water conservation district.

The proposed soil erosion and sediment control devices include the planned erosion control practices outlined below. Maintenance procedures for each erosion control practice are also provided herein. The owner or operator must ensure that all erosion and sediment control practices identified herein are maintained in effective operating condition at all times.

STABILIZED CONSTRUCTION ENTRANCE

A stabilized construction entrance shall be installed at the project entrance as indicated on the plans. The purpose of the stabilized construction entrance is to prevent vehicles leaving the site from tracking sediment, mud or any other construction-related materials from the site onto North State Road.

Maintenance/Inspection

The Contractor shall maintain the construction entrance in a manner which prevents or significantly reduces the tracking of sediment/soil onto North State Road. The Contractor shall inspect the construction entrance daily and after each rain event for displacement or loss of aggregate. The Contractor shall top-dress the construction entrance when displacement/loss of aggregate occurs, or if the aggregate becomes clogged or silted to the extent that the entrance can no longer perform its intended function. The Contractor shall inspect the vicinity of the construction entrance several times a day and immediately remove any sediment dropped or washed onto North State Road.

SILT FENCE

Silt fence (geotextile filter cloth) shall be placed in locations depicted on the approved plans. The purpose of the silt fence is to reduce the velocity of sediment-laden stormwater from small drainage areas and to intercept the transported sediment load. In general, silt fence shall be used at the perimeter of disturbed areas, toe of slopes or intermediately within slopes where obvious channel concentration of stormwater is not present. Silt fence shall always be installed parallel to the contours in order to prevent concentrated flows from developing along the silt fence.

Maintenance/Inspection

Silt fencing shall be inspected at a minimum of every seven (7) days. Inspections shall include ensuring that the fence material is tightly secured to the wood posts. In addition, overlapping filter fabric shall be secure and the fabric shall be maintained a minimum of eight (8) inches below grade. In the event that any "bulges" develop in the fence, that section of fence shall be replaced immediately with a new fence section. Any visible sediment build-up against the fence shall be removed and deposited on-site a minimum of 100 feet from any wetland.

INLET PROTECTION

After the project's drain inlets have been installed and the site is completely constructed and stabilized, these drain inlets will receive stormwater from the driveway and overland watersheds. The inlet protection barrier will allow stormwater to be filtered prior to reaching the inlet grate.

Maintenance/Inspection

Inlet protection devices shall be inspected at a minimum of every seven (7) days. Care shall be taken to ensure that all inlet protection devices are properly located and secure and do not become displaced. Any accumulated sediments shall be removed from the device and deposited not less than 100 feet from a wetland.

SOIL/MATERIAL STOCKPILING

All soil/material stripped from the construction area during grubbing and grading shall be stockpiled in locations illustrated on the approved plans, or in practical locations on-site.

Maintenance/Inspection

All stockpiles shall be inspected (for signs of erosion or problems with seed establishment) at a minimum of once every seven (7) days. Soil stockpiles shall be protected from erosion by vegetating the stockpile with a rapidly-germinating grass seed and surrounded with either silt fence or staked weed-free haybales. In the non-growing season, the stockpiles shall be protected by a tarpaulin covering the entire stockpile.

SURFACE STABILIZATION

All disturbed areas will be protected from erosion with the use of vegetative measures (e.g., grass seed mix, sod) hydromulch, weed-free hay or Curlex Excelsior Erosion Control Blankets.

Erosion control barriers consisting of silt fencing shall be placed around exposed areas during construction. Any areas stripped of vegetation during construction will be vegetated and/or mulched to prevent erosion of the exposed soils. In site areas where significant erosion potential exists (steep slopes/slopes exceeding 2:1) and/or where specifically directed, Curlex Excelsior Erosion Control Blankets (Manufactured by American Excelsior or approved equal) shall be installed. Mulch is also used alone for temporary stabilization in non-growing months.

Materials that may be used for mulching include weed-free straw/ hay/salt hay, wood fiber, synthetic soil stabilizers, mulch netting, erosion control blankets or sod. A permanent vegetative cover will be established upon completion of construction of those areas which have been brought to finish grade and to remain undisturbed.

GENERAL LAND GRADING

The applicant or their representatives shall be on-site at all times when construction or grading activity takes place and shall inspect and document the effectiveness of all sediment and erosion control practices.

The intent of the erosion controls is to control all disturbed areas, such that soils are protected from erosion by temporary methods and, ultimately by permanent vegetation. All cut and fill slopes shall be kept to a maximum slope of 2:1. In the event that a slope must exceed a 2:1 slope, it shall be stabilized with stone rip-rap. On fill slopes, all material will be placed in layers not to exceed 9 inches in depth and adequately compacted. Where practicable, diversion swales shall be constructed on the top of all fill embankments to divert any overland flows away from the fill slope.

DUST CONTROL

Where vegetative or mulch cover is not practicable in disturbed areas of the site, dust shall be controlled by the use of water sprinkling. The surface shall be sprayed until wet. Dust control shall continue until such time as the entire site is adequately stabilized with permanent vegetative cover.

POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES

Pollution prevention practices for preventing litter, construction chemicals (if applicable) and construction debris from becoming a pollutant source in stormwater discharge includes daily pickup of construction debris, inspection, designated storage areas, and physical controls such as silt fencing and inlet protection. Inspections will also be conducted to ensure that dust control measures are utilized as necessary. During construction, maintenance, construction and waste materials will be stored within suitable areas/dumpsters, as appropriate, to minimize the exposure of the materials to stormwater and spill prevention. All maintenance and construction waste will be disposed of in a safe manner in accordance with all applicable regulations.

GENERAL CONSTRUCTION SEQUENCING

Outlined below is a brief listing of the construction sequencing for the project.

Prior to any interior site activity, the owner, contractor, owner's engineer and Town Engineer shall hold a pre-construction meeting.

Final stabilization as defined by the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activities GP-0-15-002 is the establishment of a uniform perennial vegetative cover with a density of eighty (80) percent over the previous surface once all soil disturbance activities have ceased. Cover can be vegetative (e.g., grass, trees, seed and mulch, shrubs or turf) or non-vegetative (e.g., geotextiles, rip-rap or gabions, pavement, roofs, etc.).

The applicant shall notify the Town of Ossining enforcement official at least 48 hours before any of the following as required by the Stormwater Management Officer:

- Start of construction.
- Installation of sediment and erosion control measures.
- Completion of site clearing.
- Completion of rough grading.
- Completion of final grading.
- Closure of the construction season.
- Completion of final landscaping.
- Successful establishment of landscaping in public areas.

The owners/contractor is required to submit As-Built plans for any stormwater management practices located on site after final construction is completed. The plan must show the final design specifications for all stormwater management facilities and must be certified by a New York State licensed land surveyor or professional engineer.

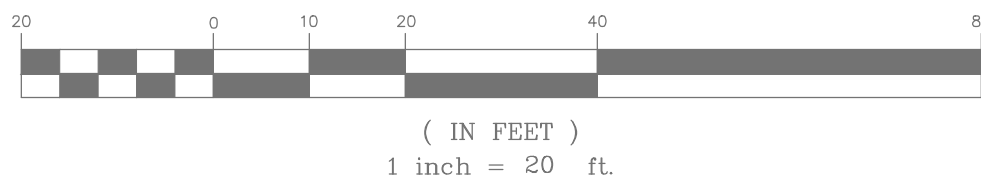
Construction Sequencing

- Owner/operator to obtain all necessary permits/approvals.
- Owner/operator to conduct a pre-construction meeting.
- Contractor to stake clearing limits of disturbance for the project.
- Contractor to install perimeter erosion controls.
- Contractor to install stabilized construction entrance.
- Contractor to install silt fence in locations as indicated on the Erosion & Sediment Control Plan.
- Contractor to commence demolition of all existing site features.
- Contractor to commence clearing and grubbing for structures, parking and utilities.
- Contractor to initiate general excavation of the parking lot, foundations and drainage facilities.
- Contractor to stockpile excavated soil in soil stockpile locations to reclaim for further use (i.e., landscaping).
- Contractor to construct facility.
- Contractor to make necessary utility service connections.
- Contractor to initiate installation of drainage facilities.
- The outlet of the drain inlet immediately upstream of the infiltration system shall be plugged or capped. This will keep the infiltration system off line during construction.
- Contractor to install inlet protection around installed drainage facilities.
- Contractor to complete storm drainage facilities.
- Contractor to rough grade parking lot, if required.
- Contractor to provide dust control during construction as necessary.
- Contractor to finish final grade of parking lot.
- Contractor to re-vegetate disturbed areas.
- Contractor shall final stabilize all drainage areas tributary to each stormwater facility.
- Contractor to install wetland mitigation measures.
- Contractor shall remove silt fence, inlet protection, drain inlet plug and all erosion control practices upon final stabilization.
- Re-vegetation of disturbed areas.
- Once site is stabilized, infiltration system to be placed on-line.
- Contractor to install landscaping.
- Remove sediment and erosion controls upon site stabilization.

Contact Person

The entity responsible for implementing the maintenance program will be the owner, its successors and/or assigns. The current owners are Artis Senior Living, LLC, 1651 Old Meadow Road, McLean, Virginia 22102, (703) 992-7985.

GRAPHIC SCALE

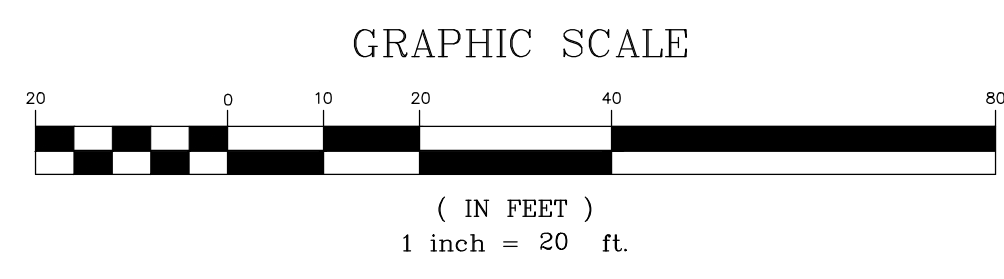


KELLARD SESSIONS CONSULTING		EROSION & SEDIMENT CONTROL PLAN	
ENGINEERING, LANDSCAPE ARCHITECTURE & PLANNING, P.C.		TOWN OF OSSINING WESTCHESTER COUNTY, NEW YORK	
500 MAIN STREET ARMONK, N.Y. 10504 P: (914) 273-2523 F: (914) 273-2529 WWW.KELSES.COM		ARTIS SENIOR LIVING	
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		REVISIONS	
		1. NOVEMBER 9, 2015 - GENERAL REVISIONS	

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND/OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW

MAGNETIC

1. ULTIMATE SPACING AND LOCATION OF PROPOSED TREES / SHRUBS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD FOLLOWING CONSTRUCTION OF OFFICE BUILDING AND PARKING LOT.
2. LANDSCAPE ARCHITECT SHALL HAVE THE OPTION FOR PLANT SUBSTITUTION DEPENDING UPON ACTUAL SITE CONDITIONS ENCOUNTERED (i.e. BEDROCK DEPTH, SUN EXPOSURE / ANGLE, ETC.)
3. RAISED PLANTING BEDS (i.e. BERMS) MAYBE REQUIRED FOR PLANTING AREAS WITH SHALLOW BEDROCK DEPTH.
4. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING PAVEMENTS, UTILITIES, STRUCTURES, ETC. TO REMAIN AND SHALL REPAIR AND/OR REPLACE ANY SUCH DAMAGE AT HIS EXPENSE.
5. THE CONTRACTOR SHALL PROVIDE A 12" MINIMUM DEPTH OF TOPSOIL FOR ALL PLANTING BEDS.
6. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SCHEDULE PROVIDED WITHIN THIS SITE PLAN PACKAGE. A MINIMUM OF 50% OF PLANTS PROVIDED SHALL BE THE LARGER END OF THE SIZE RANGE.
7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS AND BE NURSERY-GROWN.
8. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE DESIGN ENGINEER (IF APPLICABLE). COORDINATION BETWEEN DRAINAGE SYSTEMS AND PLANT LOCATIONS SHOULD TAKE PLACE WITH THE LANDSCAPE ARCHITECT/CONTRACTOR/DESIGN ENGINEER.
9. UNLESS SPECIFIED OTHERWISE BY THE LANDSCAPE ARCHITECT, ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
10. ALL PLANTS SHALL BE BALLED AND WRAPPED AS SPECIFIED. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
11. NO SUBSTITUTIONS FOR PLANT MATERIAL TYPE OR SIZE WILL BE ALLOWED UNLESS SUCH SUBSTITUTION HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT.
12. ALL PLANT MATERIAL SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND BY THE LANDSCAPE ARCHITECT TO BE IN AN UNHEALTHY CONDITION. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
13. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. FOLLOWING PLANTING, ALL TREES AND SHRUBS ARE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT.
14. A MINIMUM OF FOUR (4) INCHES (DEPTH) OF PREMIUM DARK BROWN BARK MULCH SHALL BE PLACED AROUND ROOT BALLS OF TREES/SHRUBS. THE MULCH AREA SHALL BE AT LEAST TWO TIMES THE DIAMETER OF THE PLANT CONTAINER OR ROOT BALL.
15. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL REMOVE STAKES AFTER ONE FULL GROWING SEASON.
16. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTling PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
17. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDISCANTANT WITHIN 24 HOURS AFTER PLANTING. IN ADDITION, ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDISCANTANT AT THE BEGINNING OF THEIR FIRST WINTER.
18. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.
19. CONTRACTOR/OWNER SHALL MAKE PROVISIONS TO PROTECT ALL PLANTS FROM DEER BROWSE WITH ONE OR MORE OF THE FOLLOWING: FENCING NETTING, SPRAY REPELLENT.
20. ALL EXISTING TREES / SHRUBS SHALL BE INSPECTED FOR VINES. ALL VINES SHALL BE CUT AND, WHERE PRACTICABLE, REMOVED FROM THE TREE / SHRUB.



	EXISTING PROPERTY LINE
	EXISTING WETLAND FLAG DELINEATION
	EXISTING WETLAND AREA
	100' WETLAND BUFFER
	PROPOSED DECIDUOUS FLOWING TREE
	PROPOSED DECIDUOUS SHADE TREE
	PROPOSED SHRUBS
	PROPOSED GROUNDCOVER / PERENNIALS

KELLARD SESSIONS CONSULTING	LANDSCAPING PLAN ARTIS SENIOR LIVING
	TOWN OF OSSING WESTCHESTER COUNTY, NEW YORK

500 MAIN STREET ARMONK, N.Y. 10504 P: (914) 273-2323 F: (914) 273-2329 WWW.KELSESON.COM	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%; text-align: center;">10.</td> <td style="width: 95%;"></td> </tr> <tr><td style="text-align: center;">9.</td><td></td></tr> <tr><td style="text-align: center;">8.</td><td></td></tr> <tr><td style="text-align: center;">7.</td><td></td></tr> <tr><td style="text-align: center;">6.</td><td></td></tr> <tr><td style="text-align: center;">5.</td><td></td></tr> <tr><td style="text-align: center;">4.</td><td></td></tr> <tr><td style="text-align: center;">3.</td><td></td></tr> <tr><td style="text-align: center;">2.</td><td></td></tr> <tr><td style="text-align: center;">1.</td><td></td></tr> </table> NOVEMBER 9, 2015 - GENERAL REVISIONS REVISIONS	10.		9.		8.		7.		6.		5.		4.		3.		2.		1.	
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1. SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20, 2014.
2. THE INTERMITTENT WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015. THE SURROUNDING WETLAND AREA WAS DEEMED BY THE TOWN'S WETLAND CONSULTANT TO BE NON-JURISTICTIONAL DUE TO ITS SIZE.
3. ALL PROPOSED OFF-SITE WORK AND LAND DISTURBANCE REQUIRE THE APPROVAL OF THE OFF-SITE PROPERTY OWNER. THE OFF-SITE MITIGATION SHOWN HEREON ASSUMES THAT PERMISSION HAS BEEN GRANTED TO DO SUCH WORK.
4. THERE WILL BE NO SURFACE FLOWS FROM THE ARTIS DEVELOPMENT DISCHARGING TO THE OFFSITE WETLAND/WATERCOURSE TO THE WEST. IN ADDITION, EXISTING FLOWS FROM THE OFFSITE WETLAND/WATERCOURSE WILL NOT BE DIMINISHED AS A RESULT OF THE ARTIS DEVELOPMENT.

3. ULTIMATE SPACING AND LOCATION OF PROPOSED TREES / SHRUBS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD FOLLOWING CONSTRUCTION OF OFFICE BUILDING AND PARKING LOT.
2. LANDSCAPE ARCHITECT SHALL HAVE THE OPTION FOR PLANT SUBSTITUTION DEPENDING UPON ACTUAL SITE CONDITIONS ENCOUNTERED (i.e. BEDROCK DEPTH, SUN EXPOSURE/ ANGLE, ETC.)
3. RAISED PLANTING BEDS (i.e. BERMS) MAYBE REQUIRED FOR PLANTING AREAS WITH SHALLOW BEDROCK DEPTH.
4. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING PAVEMENTS, UTILITIES, STRUCTURES, ETC. TO REMAIN AND SHALL REPAIR AND/OR REPLACE ANY SUCH DAMAGE AT HIS EXPENSE.
5. THE CONTRACTOR SHALL PROVIDE A 12" MINIMUM DEPTH OF TOPSOIL FOR ALL PLANTING BEDS.
6. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SCHEDULE PROVIDED WITHIN THIS SITE PLAN PACKAGE. A MINIMUM OF 50% OF PLANTS PROVIDED SHALL BE THE LARGER END OF THE SIZE RANGE.
7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS AND BE NURSERY-GROWN.
8. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE DESIGN ENGINEER (IF APPLICABLE). COORDINATION BETWEEN DRAINAGE SYSTEMS AND PLANT LOCATIONS SHOULD TAKE PLACE WITH THE LANDSCAPE ARCHITECT/CONTRACTOR/DESIGN ENGINEER.
9. UNLESS SPECIFIED OTHERWISE BY THE LANDSCAPE ARCHITECT, ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
10. ALL PLANTS SHALL BE BALLED AND WRAPPED AS SPECIFIED. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
11. NO SUBSTITUTIONS FOR PLANT MATERIAL TYPE OR SIZE WILL BE ALLOWED UNLESS SUCH SUBSTITUTION HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT.
12. ALL PLANT MATERIAL SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND BY THE LANDSCAPE ARCHITECT TO BE IN AN UNHEALTHY CONDITION. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
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20. ALL EXISTING TREES / SHRUBS SHALL BE INSPECTED FOR VINES. ALL VINES SHALL BE CUT AND, WHERE PRACTICABLE, REMOVED FROM THE TREE / SHRUB.

PRIOR TO COMMENCING THE INVASIVE SPECIES REMOVAL, THE APPLICANT'S CONSULTANT WILL MEET IN THE FIELD WITH THE TOWN'S WETLAND CONSULTANT TO DETERMINE THE EXTENT OF THE AREAS TO BE RESTORED. ONCE THE BOUNDARY OF THE RESTORATION AREAS IS ESTABLISHED, THE PERIMETER SHALL BE STAKED AND SILT FENCE ERECTED TO PREVENT ANY SEDIMENT FROM BEING TRANSPORTED DOWNGRADE DURING THE RESTORATION PERIOD.

THE ONLY EFFECTIVE METHOD FOR THE REMOVAL OF JAPANESE KNOTWEED IS BY HERBICIDE (GLYPHOSATE) APPLICATION. THERE ARE TWO (2) OPTIONS TO APPLY THE GLYPHOSATE:

- APPROVAL TO USE THE HERBICIDE METHOD WILL BE REQUIRED FORM THE TOWN'S WETLAND CONSULTANT PRIOR TO COMMENCEMENT.

FOLLOWING THE REMOVAL OF JAPANESE KNOTWEED, THE REMAINING SOILS WITHIN THE EXISTING BERM SHOULD ALSO BE TREATED WITH GLYPHOSATE TO KILL ANY REMAINING SEED STOCK / ROOT MASS. FINAL GRADE THE EXISTING BERM WITH 4"-6" OF NEW, CLEAN SOIL. PLANT BERM AS SHOWN HEREON.

OVERSEED OFFSITE INVASIVE PLANT REMOVAL
AREA WITH "NEW ENGLAND
CONSERVATION/WILDLIFE MIX AT 1,750 SF/LB.

Limits of Wetlands as Flagged
in Field on November 19, 2013
by Kellard Sessions Consulting, PC

90.15-1-23
N/F Kenneth Kamber &
Donna Sharrett

Limits of Wetlands as confirmed in
the field on May 27, 2015. The Town
of
305
Wetland Consultant

90.15-1-24
Frances Stafford
Remarks:

16 THIN PINE

3566

Technical drawing of a mechanical part, likely a bracket or support. The drawing shows a cross-section of a component with a vertical plate and a horizontal base. Dimensions are indicated: 35, 30, 3, and 48. A dashed line indicates a section cut.

64-BE
MEMO

TAX LOT 45

North State Development Group, Inc.

Henry Otto

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE	ROOT
WS	White Spruce	<i>Picea Glauca</i>	14	7' - 8' ht.	B&B
BC	Bush Cinquefoil	<i>Potentilla "Klondike"</i>	43	3 gal.	Cont.
AV	Arrowwood Viburnum	<i>Viburnum Dentatum</i>	45	4' - 5' ht.	B&B
I	Inkberry	<i>Ilex Glabra "Shamrock"</i>	10	30" - 36" ht.	B&B
CS	Common Spicebush	<i>Lindera Benzoin</i>	24	3' - 4' ht.	B&B

	EXISTING PROPERTY LINE
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT ELEVATION
	TOWN REGULATED WATERCOURSE
	50' WATERCOURSE BUFFER
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED HDPE DRAIN PIPE
	PROPOSED DRAIN INLET/CATCH BASIN
	PROPOSED DRAINAGE MANHOLE
	PROPOSED HEAD WALL

GENERAL AREA OF PROPOSED OFFSITE INVASIVE SHRUB
REMOVAL
(JAPANESE BARBERRY, JAPANESE STILTGRASS AND
MULTIFLORA ROSE). OVERSEED WITH "NEW ENGLAND
CONSERVATION/WILDLIFE MIX" BY NEW ENGLAND
WETLAND PLANTS, INC. (1,750 SF/LB).

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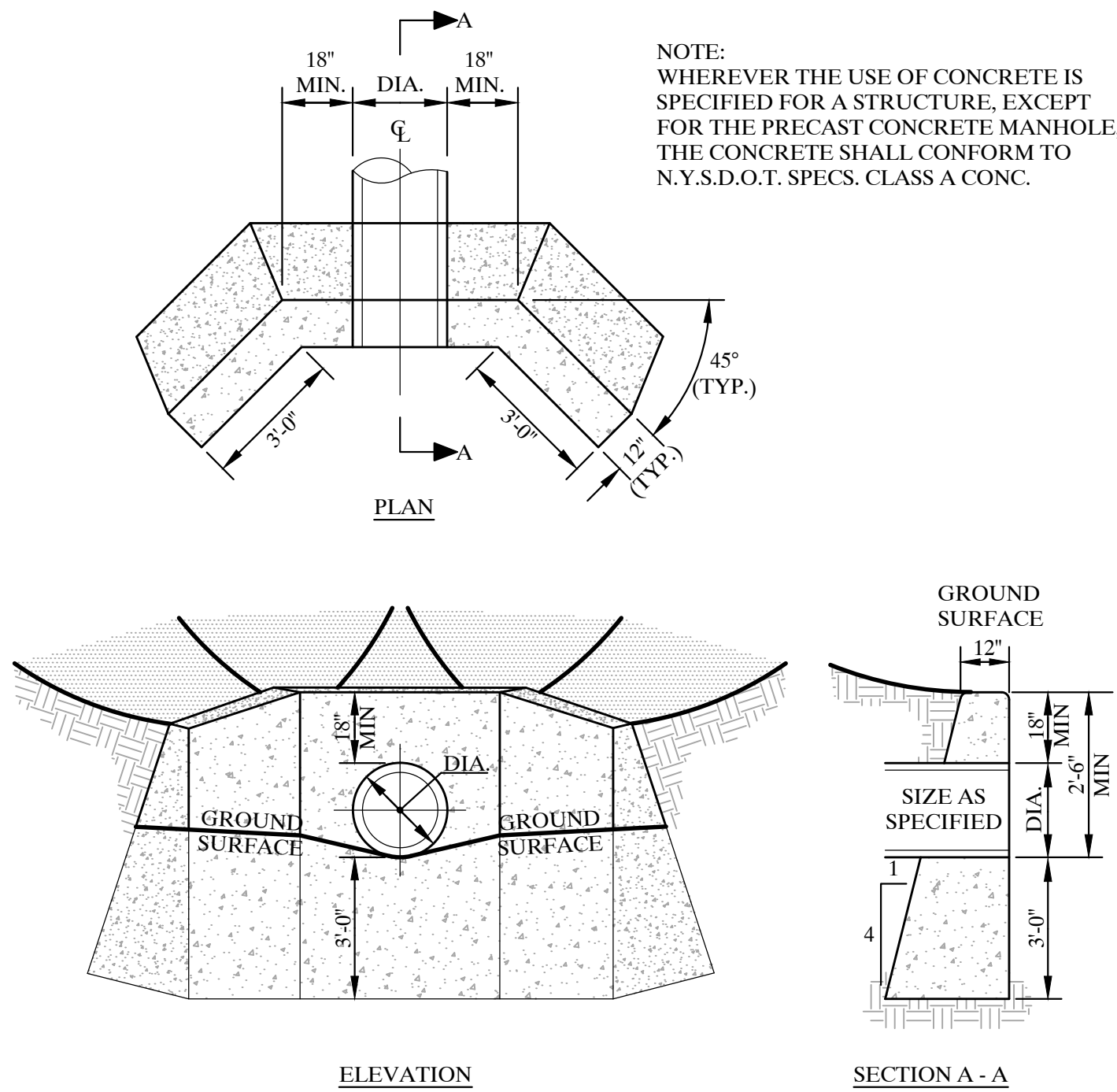
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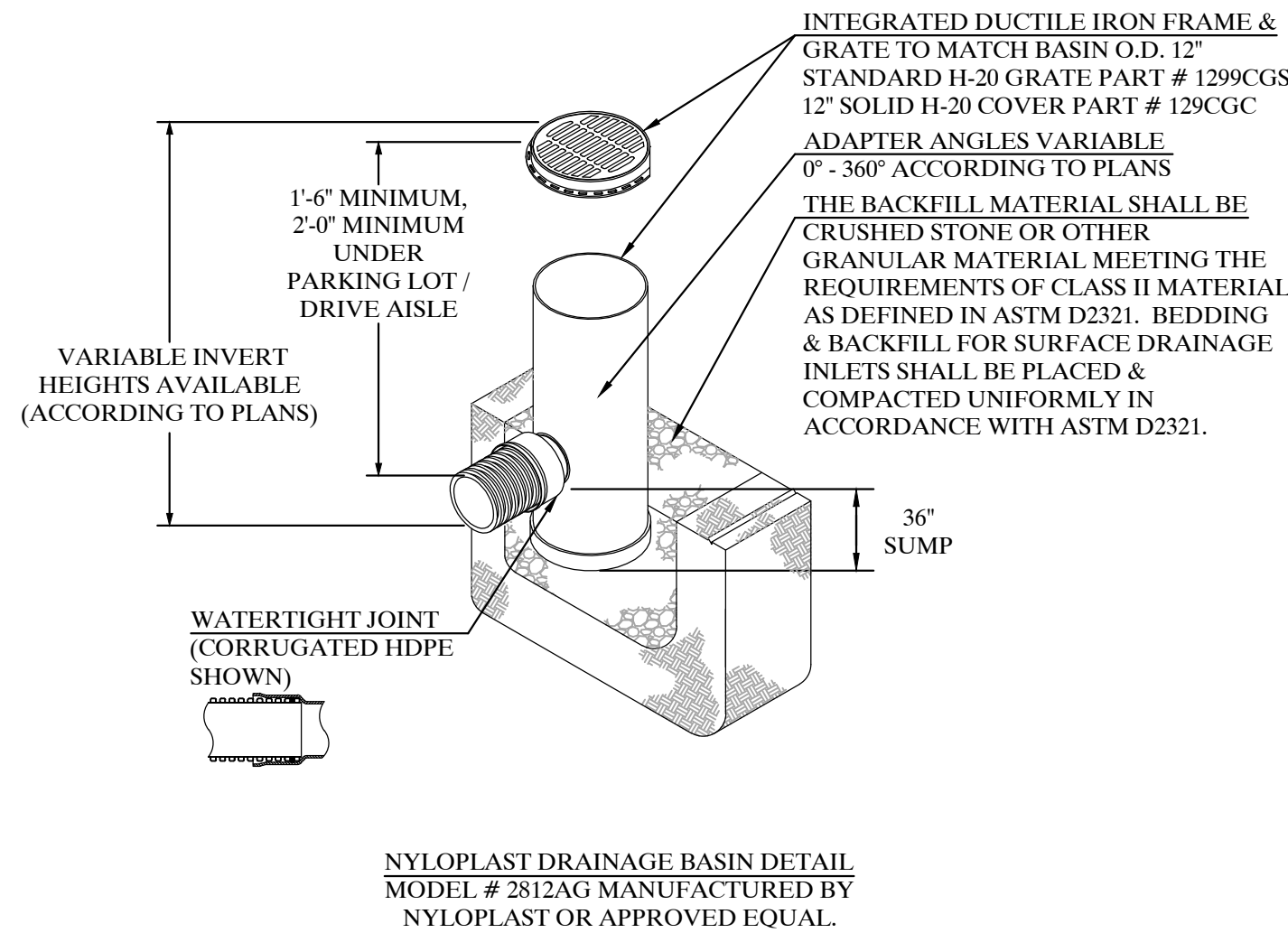
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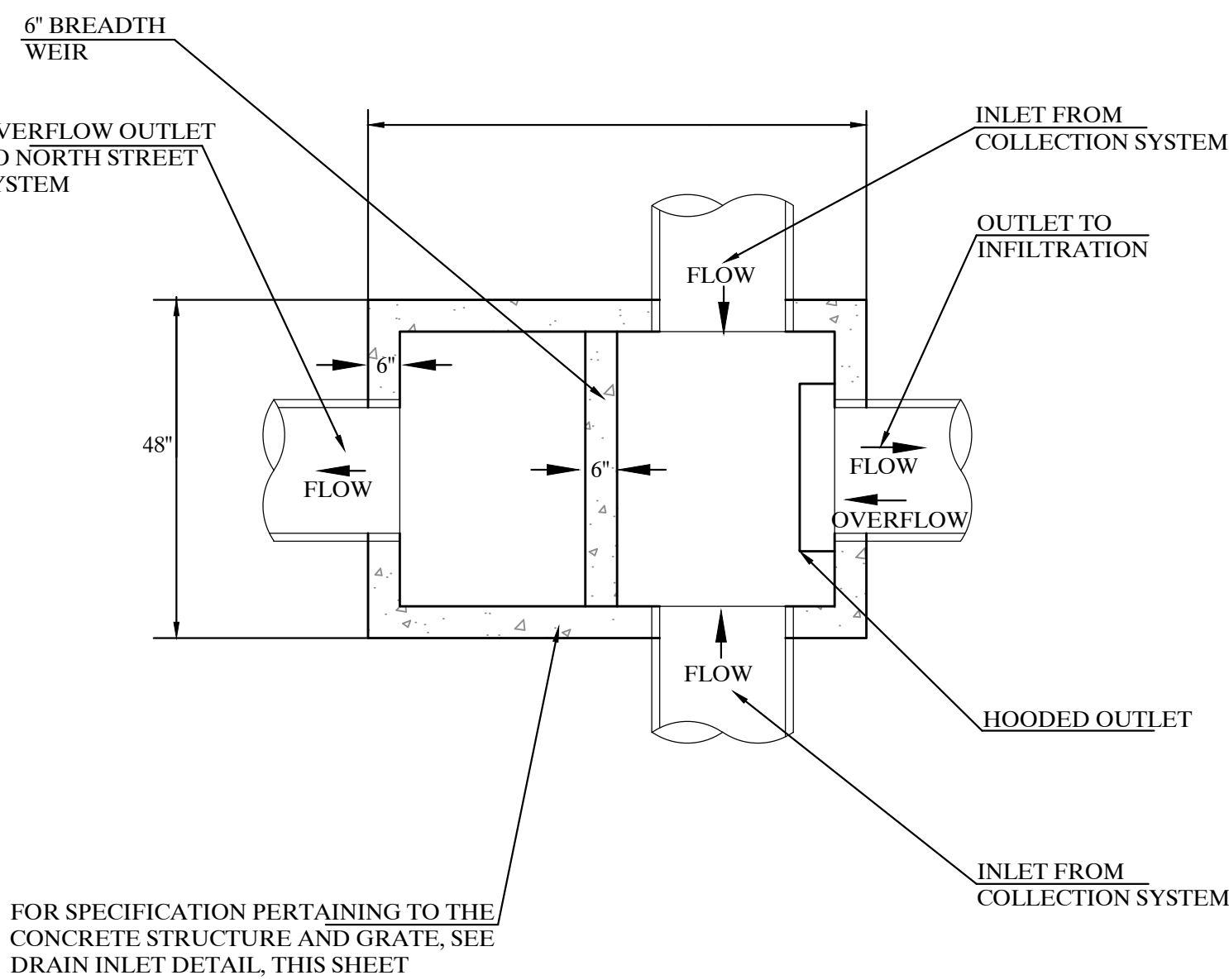
HEADWALL DETAIL (N.T.S.)



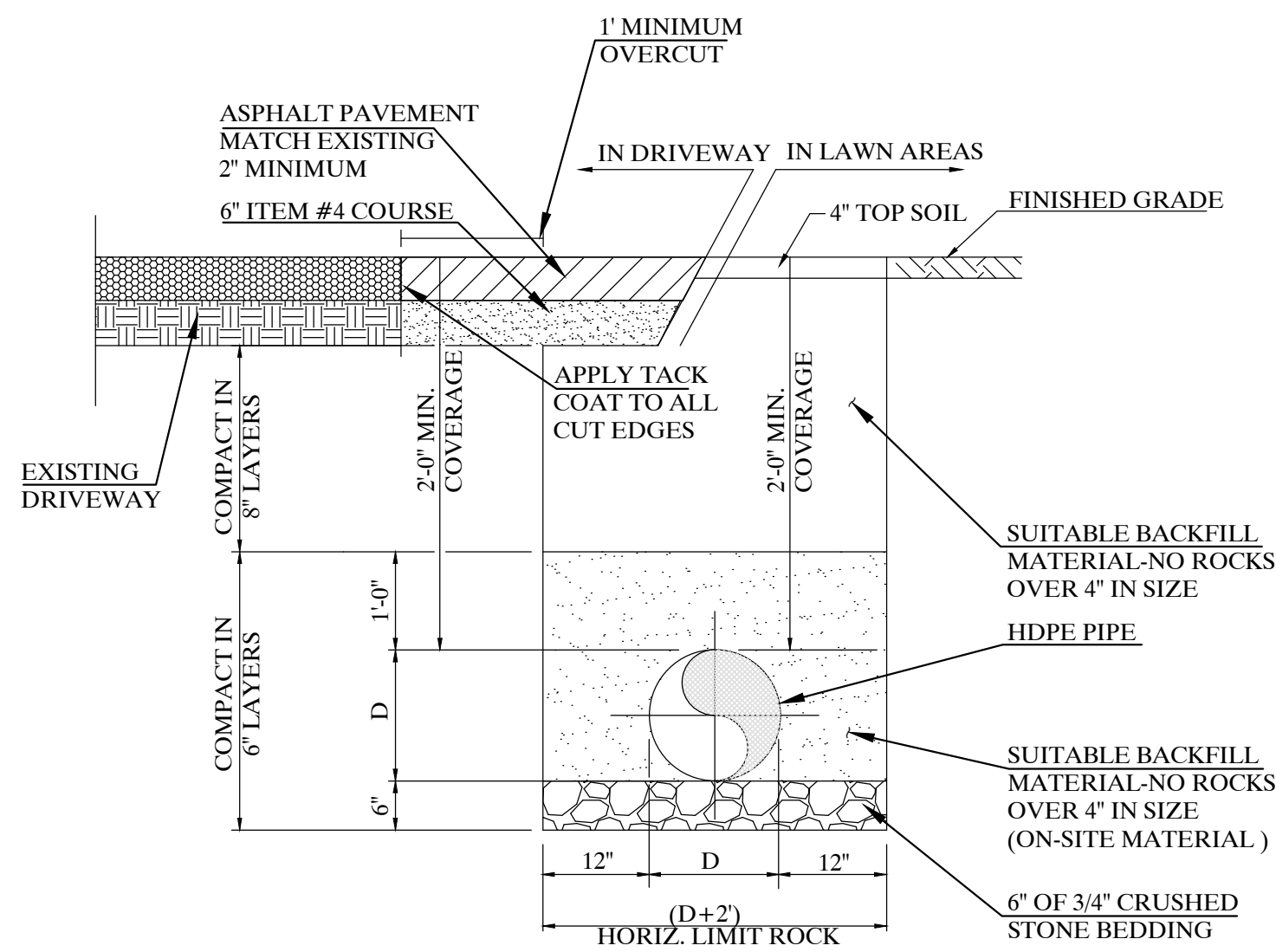
NYOPLAST DRAINAGE BASIN DETAIL (N.T.S.)



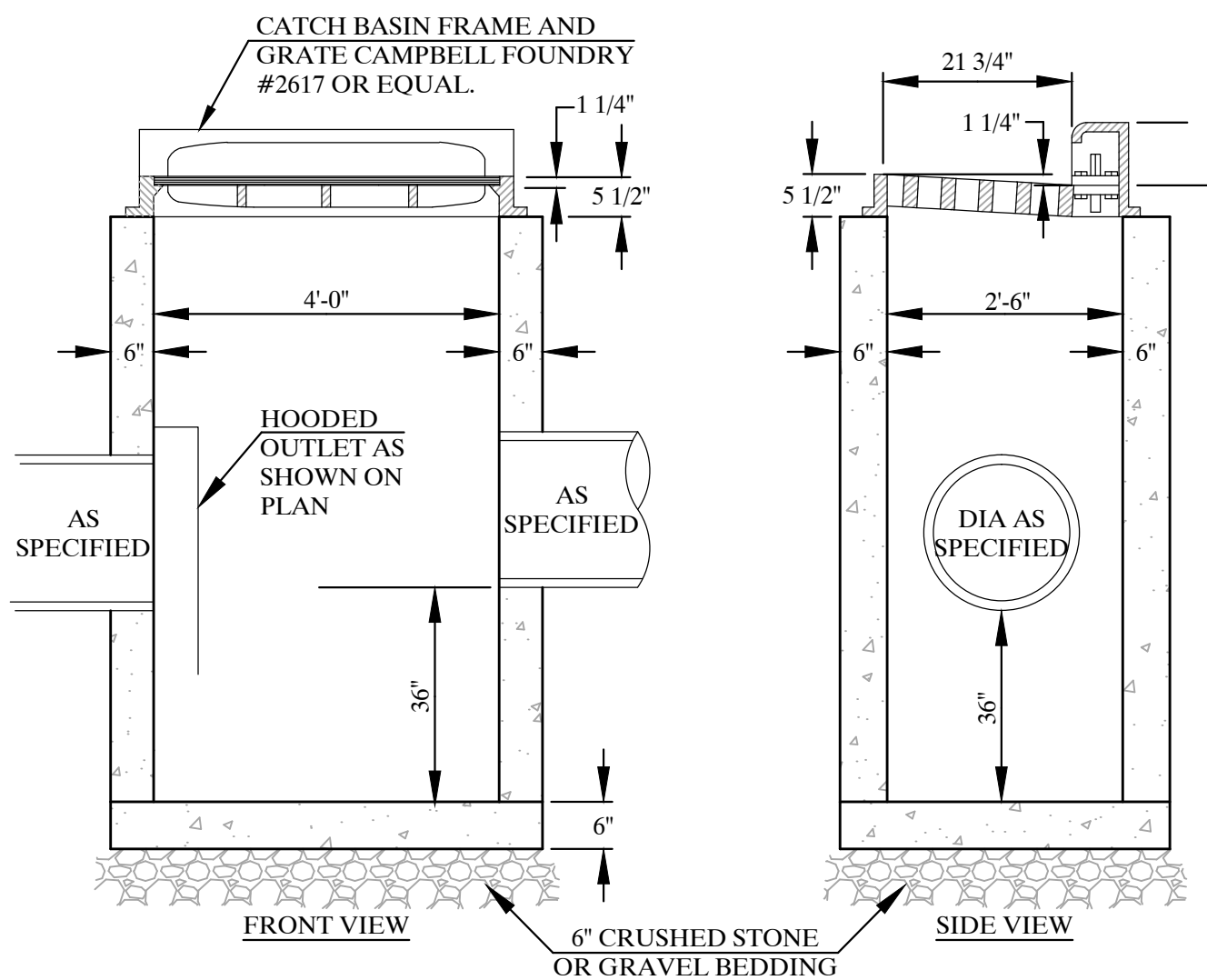
FLOW SPLITTER DETAIL (N.T.S.)



PIPE TRENCH DETAIL (N.T.S.)

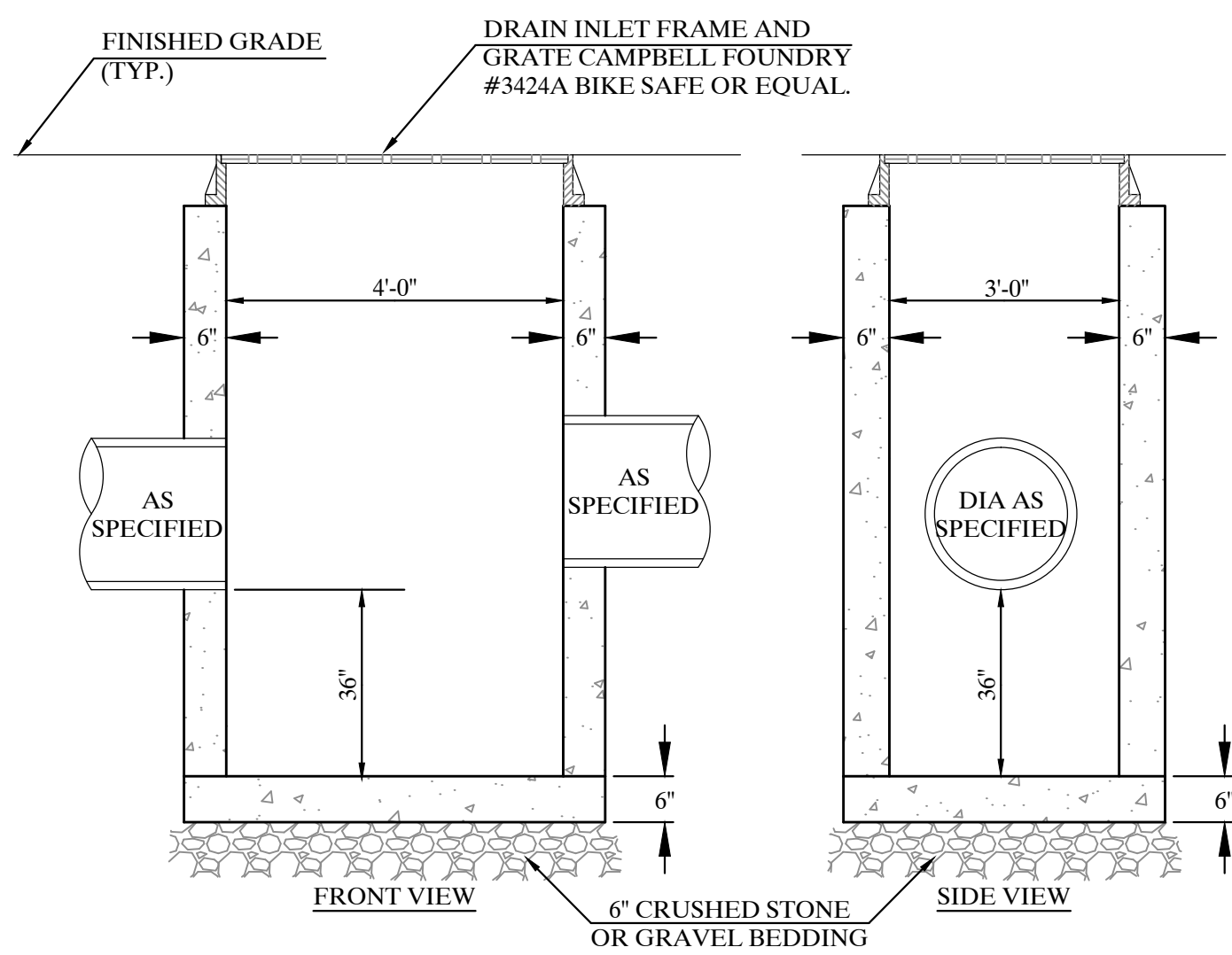


CATCH BASIN DETAIL (N.T.S.)



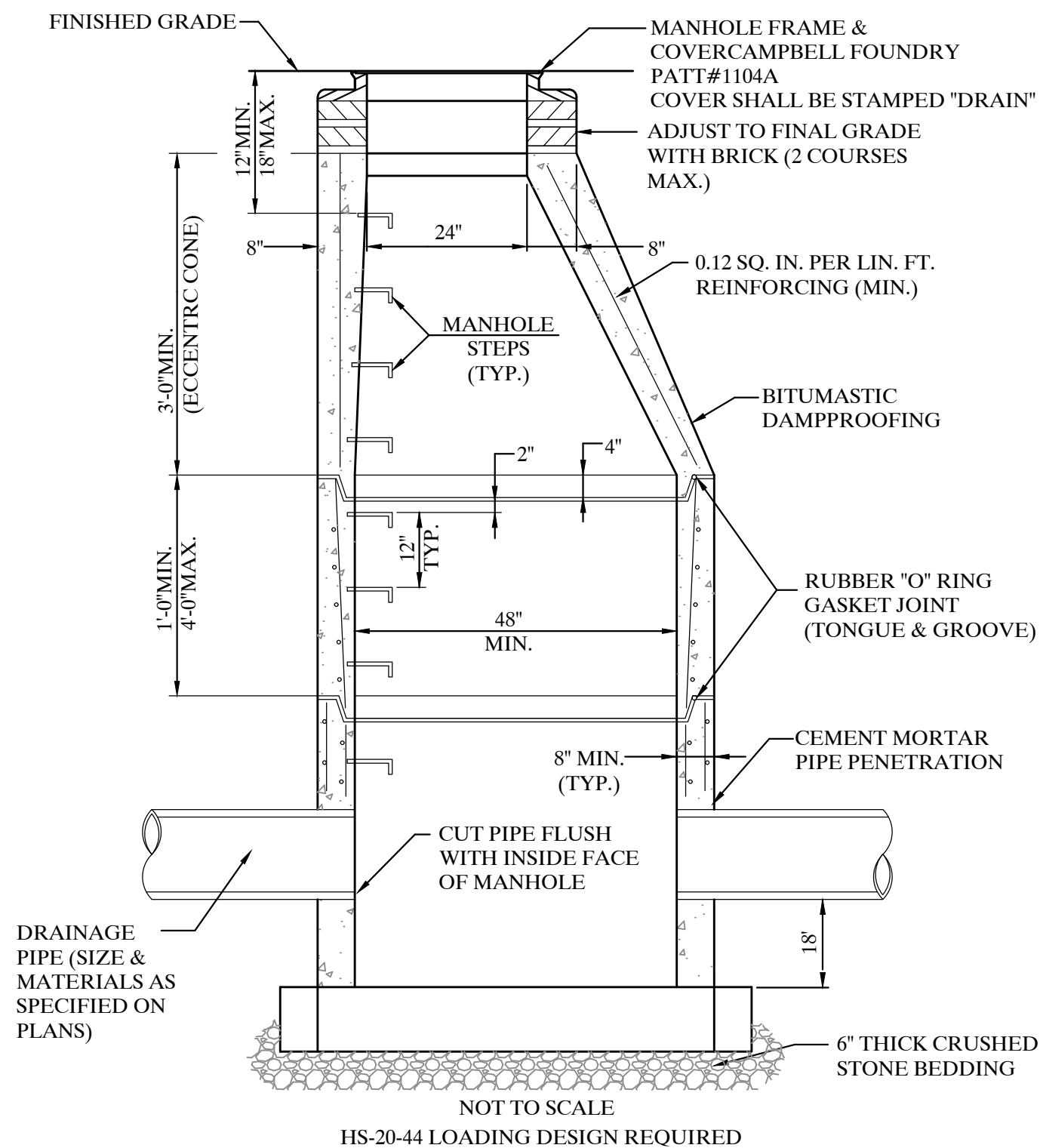
NOTE: TYPE A CATCH BASIN AS SHOWN HERE ON WILL BE UTILIZED WHERE THE NEED FOR A DROP INLET EXISTS. THE CURB TYPE CASTING SHALL BE SUBSTITUTED WITH CAMPBELL FOUNDRY FRAME AND GRATE # 3433 OR EQUAL.

PRECAST CONCRETE DRAIN INLET DETAIL (N.T.S.)

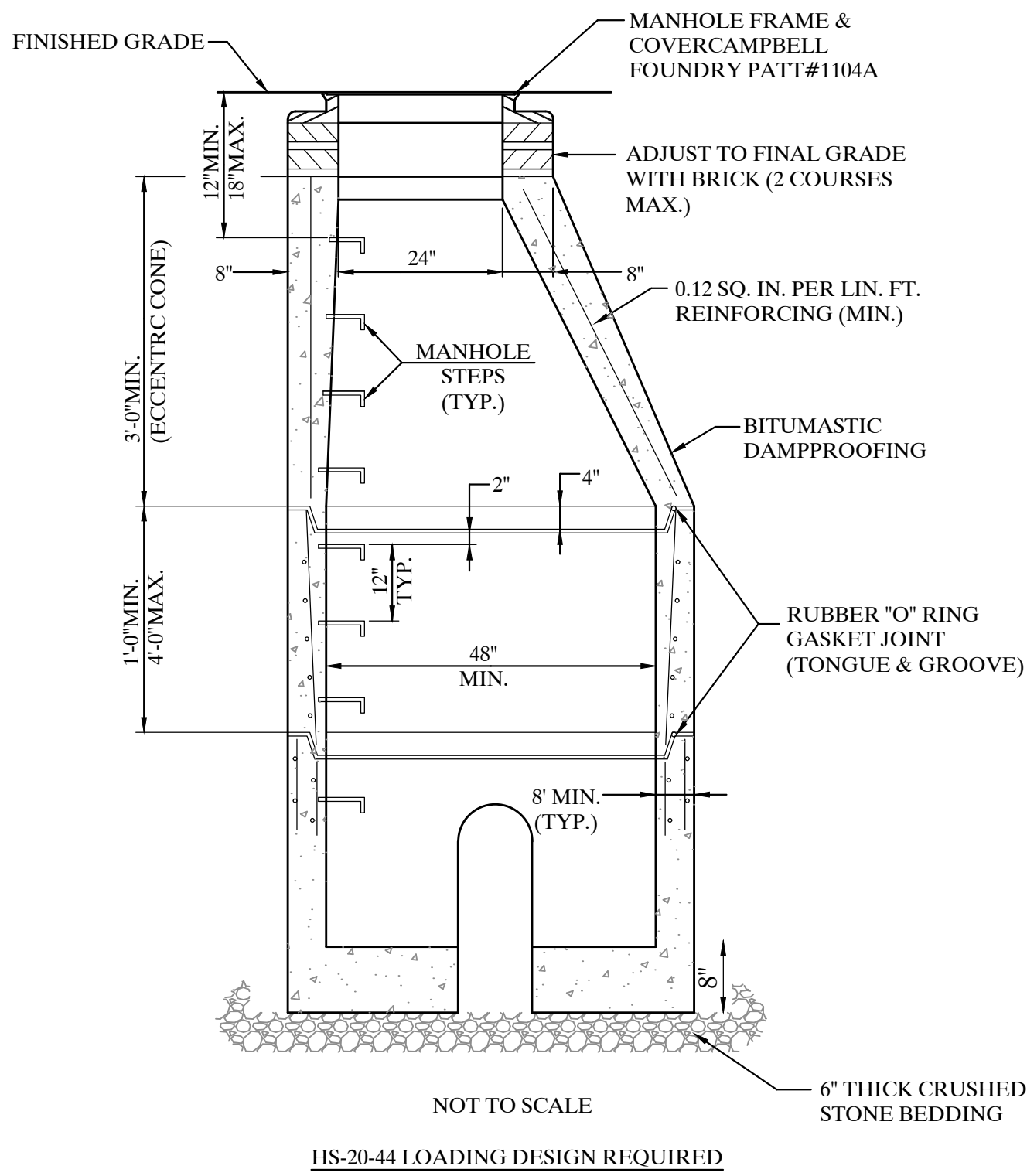


NOT TO SCALE
HS-20-44 LOADING DESIGN REQUIRED

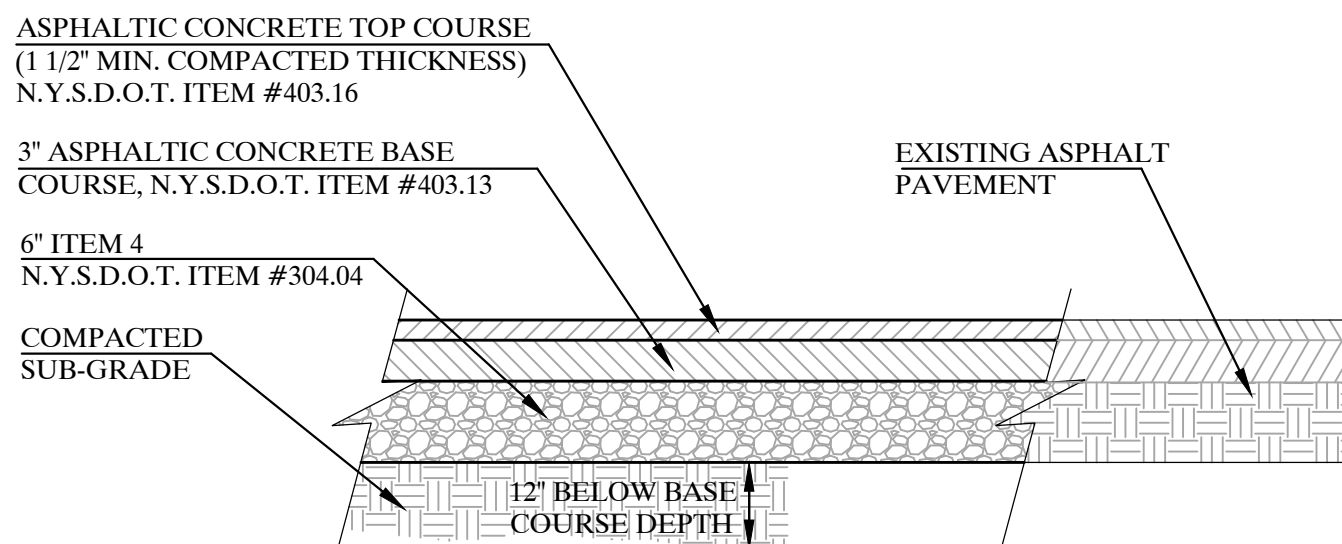
DRAINAGE MANHOLE DETAIL (N.T.S.)



DRAINAGE MANHOLE W/ DOGHOUSE BASE DETAIL (N.T.S.)



ASPHALT PAVEMENT DETAIL (FULL DEPTH) (N.T.S.)



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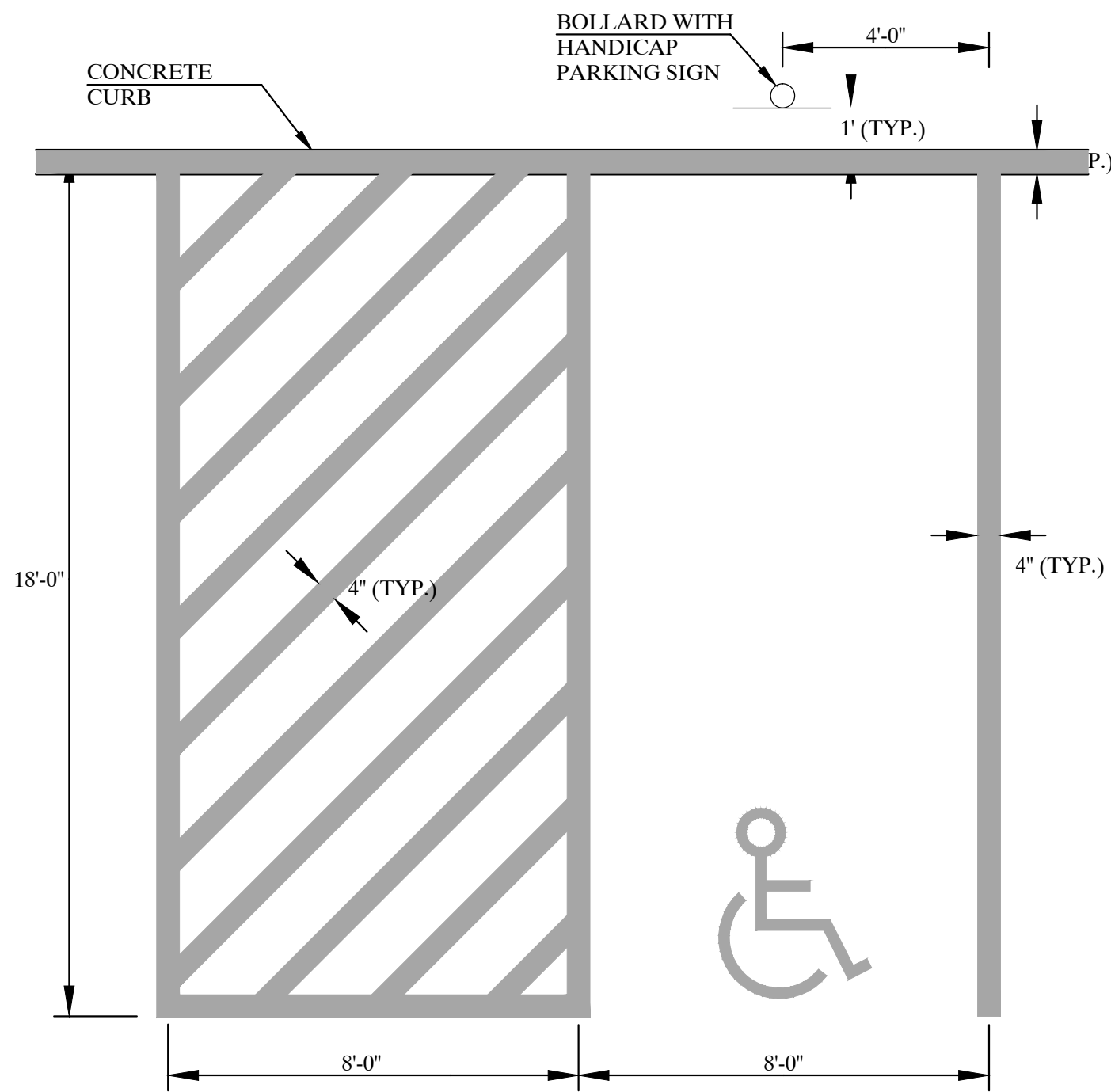
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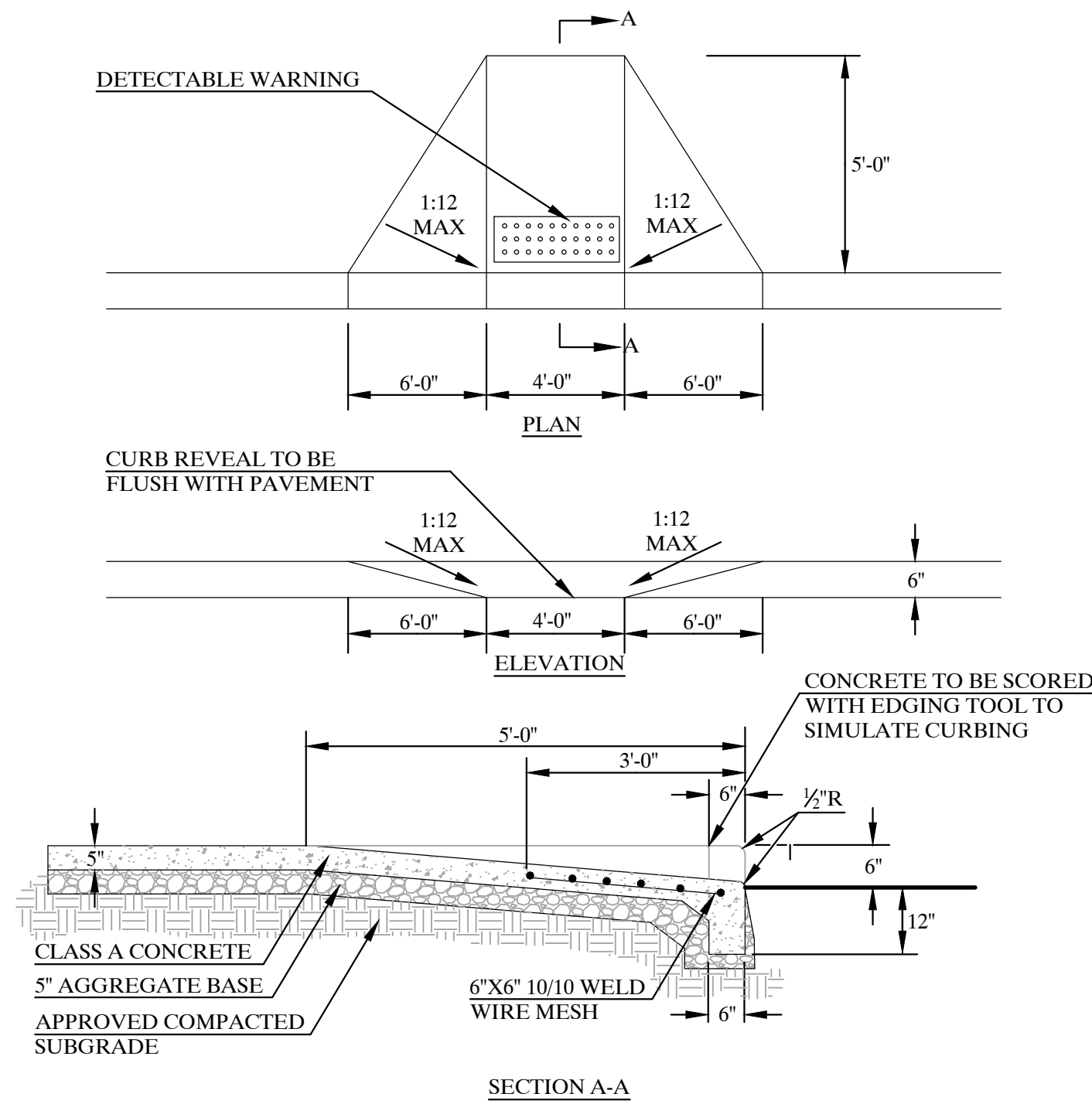
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HANDICAP PARKING STALL DETAIL (N.T.S.)

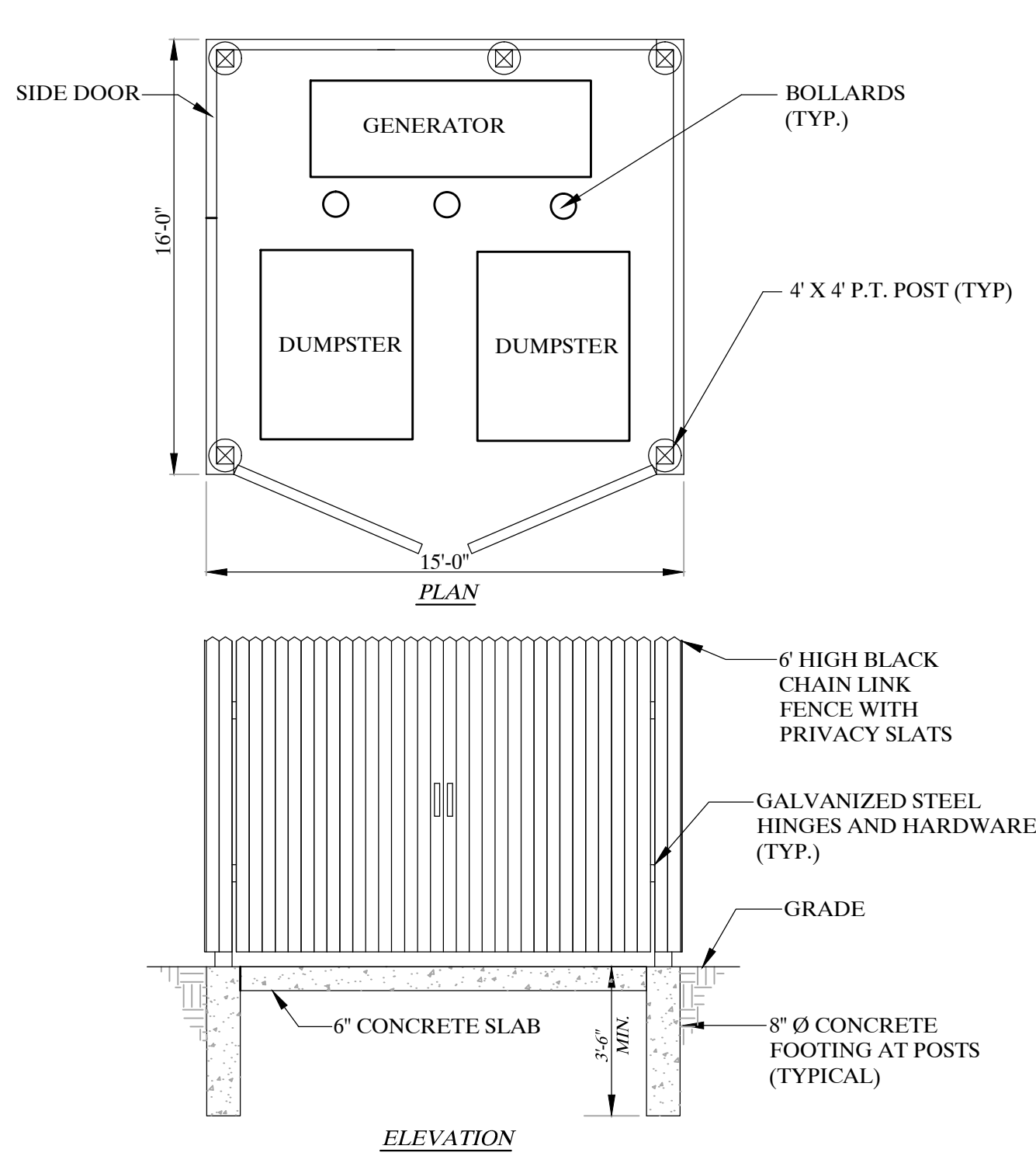


NOTE:
1. ASPHALT MARKINGS FOR HANDICAP PARKING STALLS SHALL HAVE BE 4 INCHES WIDE AND MADE WITH BLUE EPOXY PAINT.

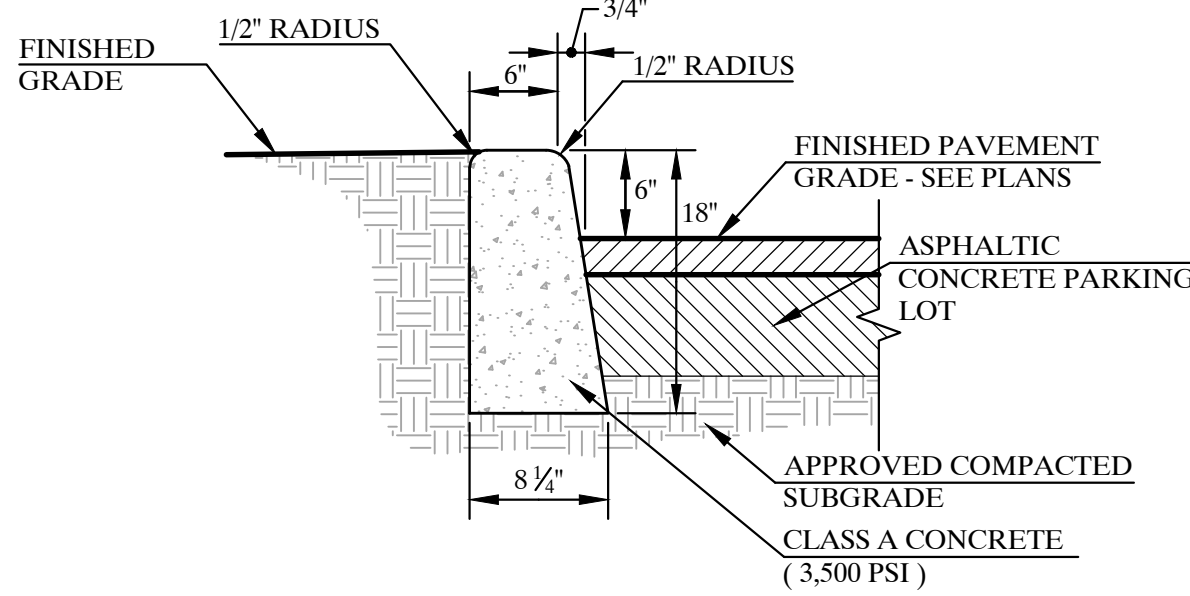
HANDICAP RAMP DETAIL (N.T.S.)



DUMPSTER ENCLOSURE (N.T.S.)

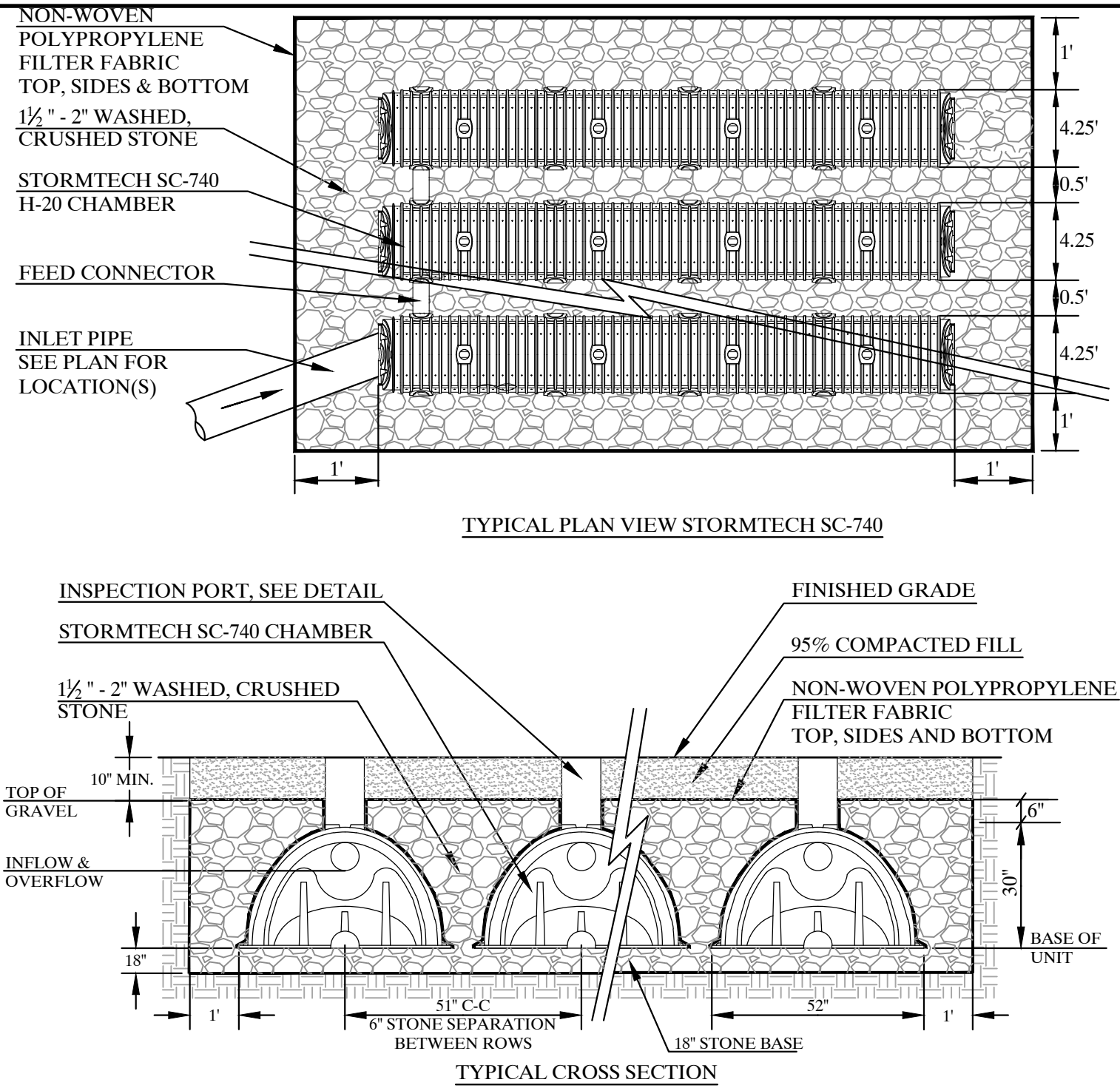


CAST IN PLACE CONCRETE CURB DETAIL (N.T.S.)

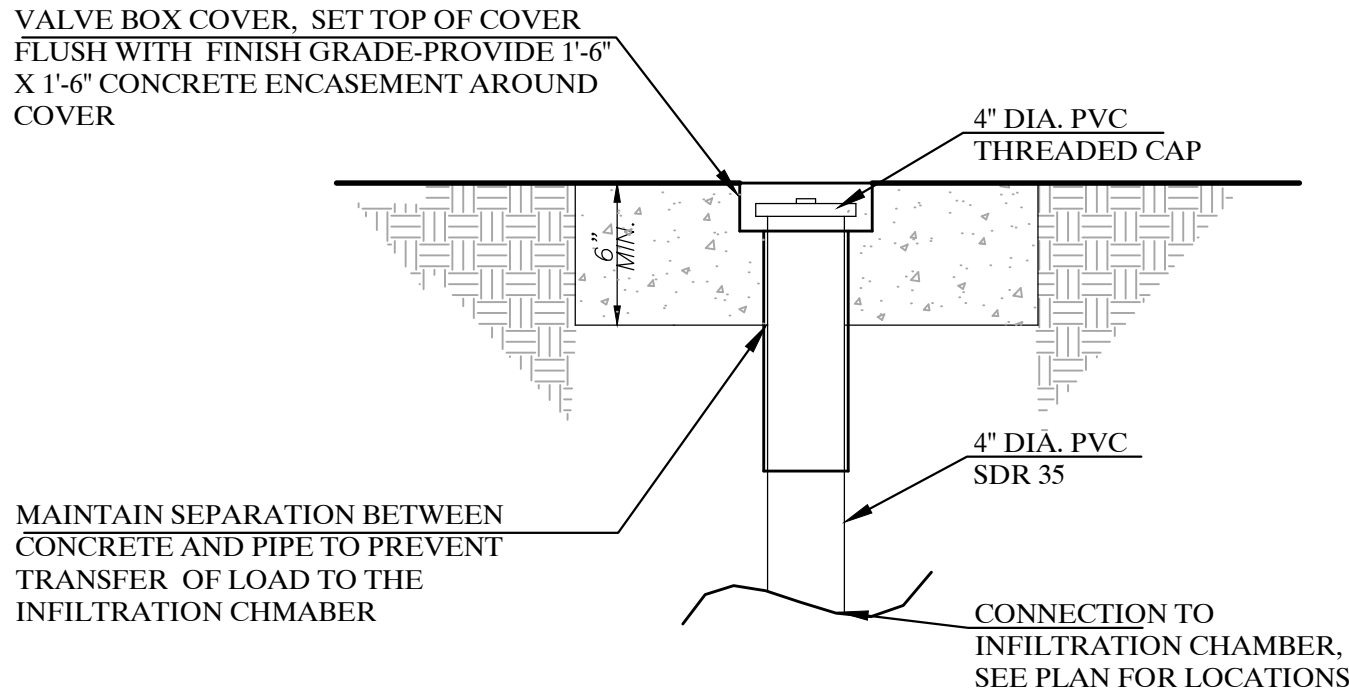


NOTES:
1. INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
2. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
3. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
4. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT MATCH EXPANSION JOINTS.

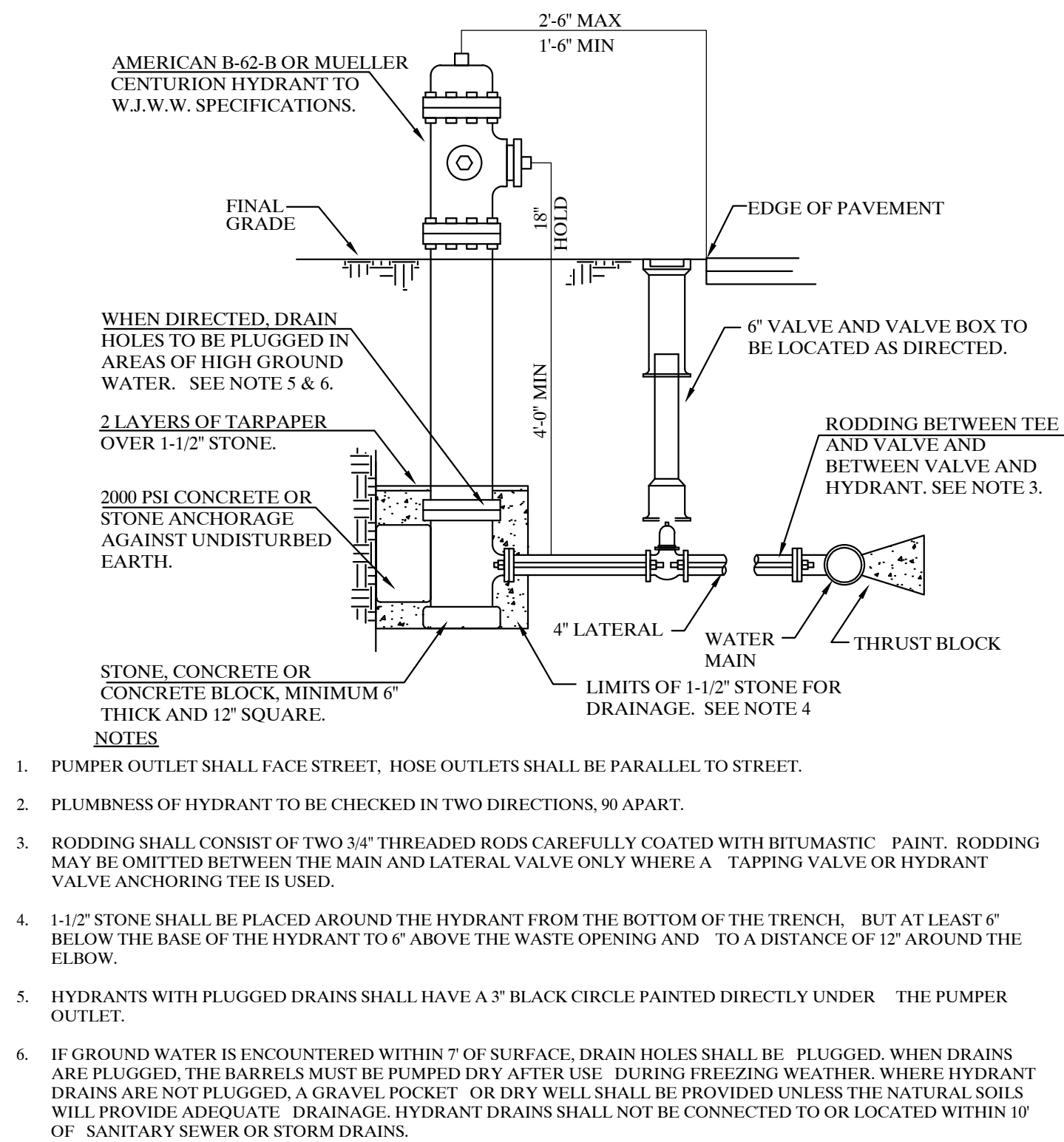
UNDERGROUND INFILTRATION SYSTEM (N.T.S.)



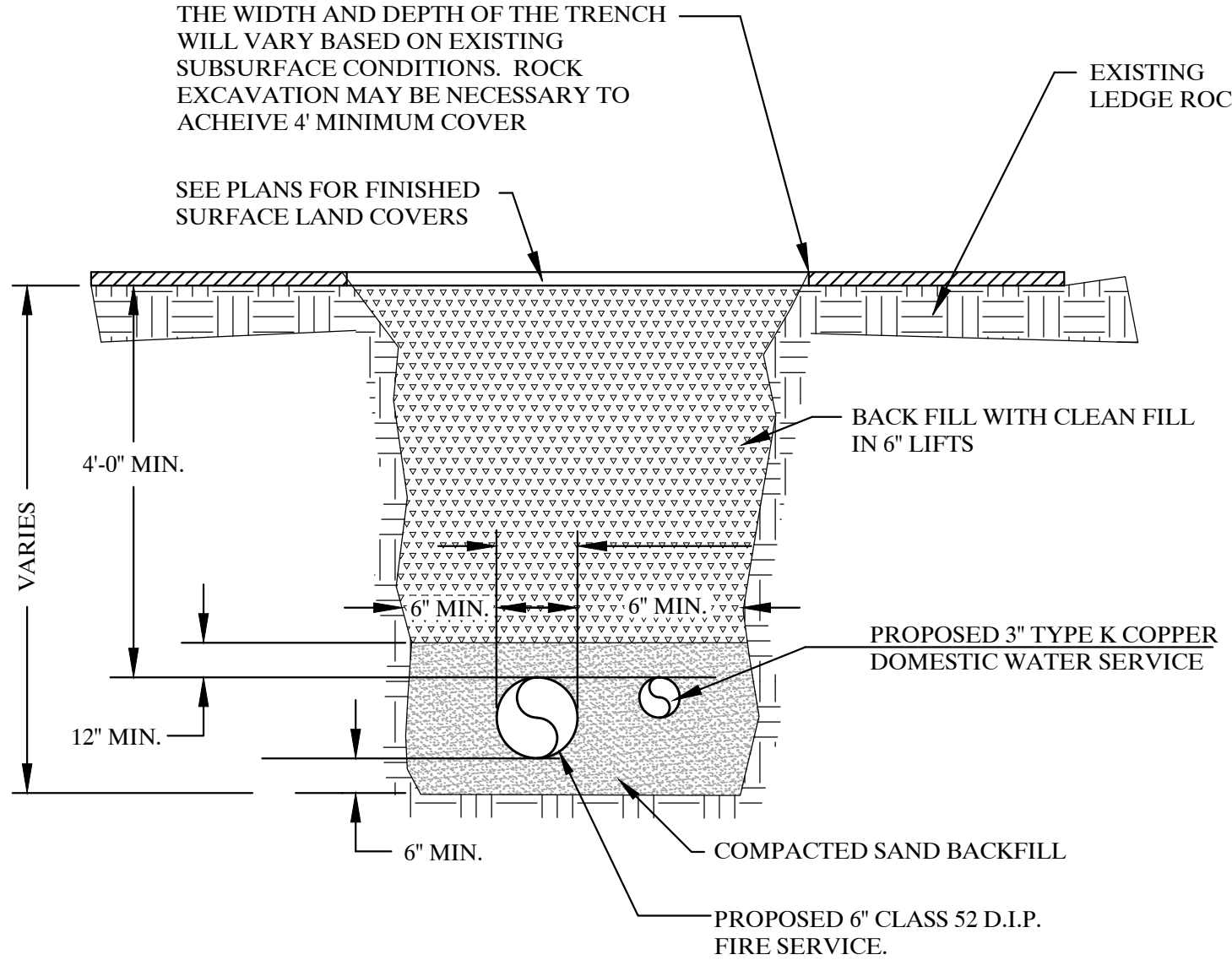
INSPECTION PORT DETAIL (N.T.S.)



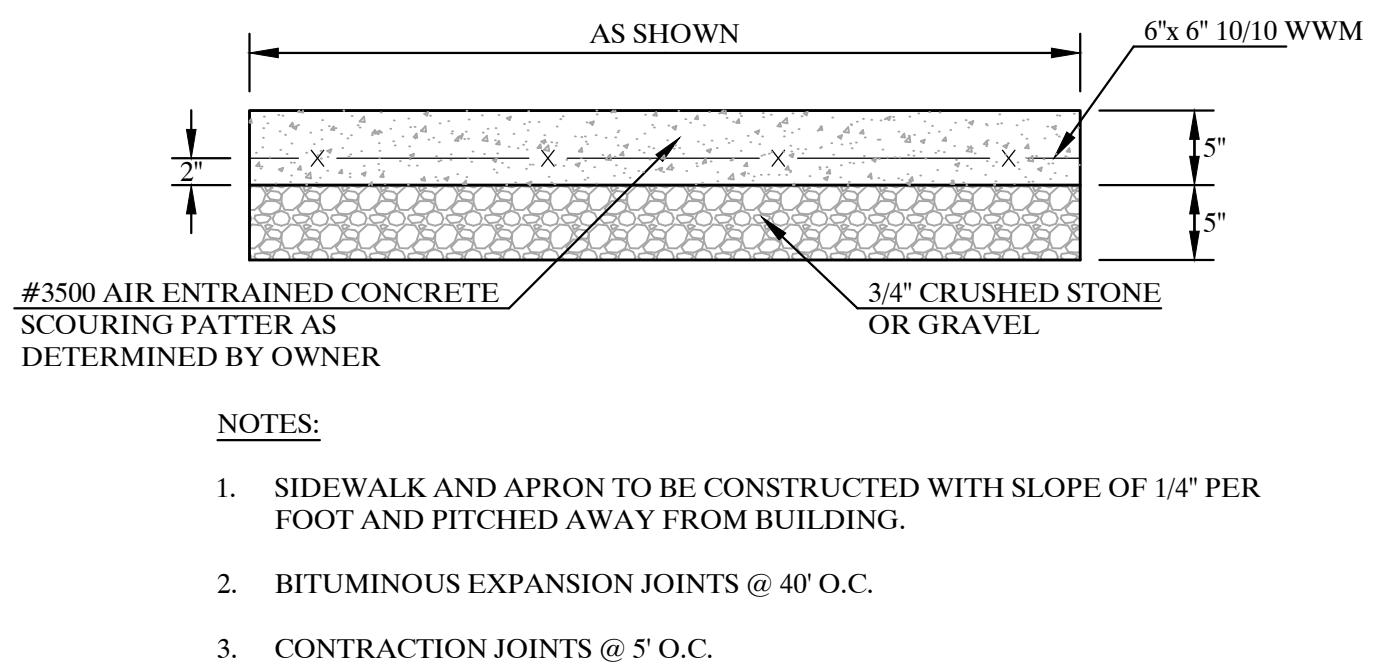
HYDRANT DETAIL (N.T.S.)



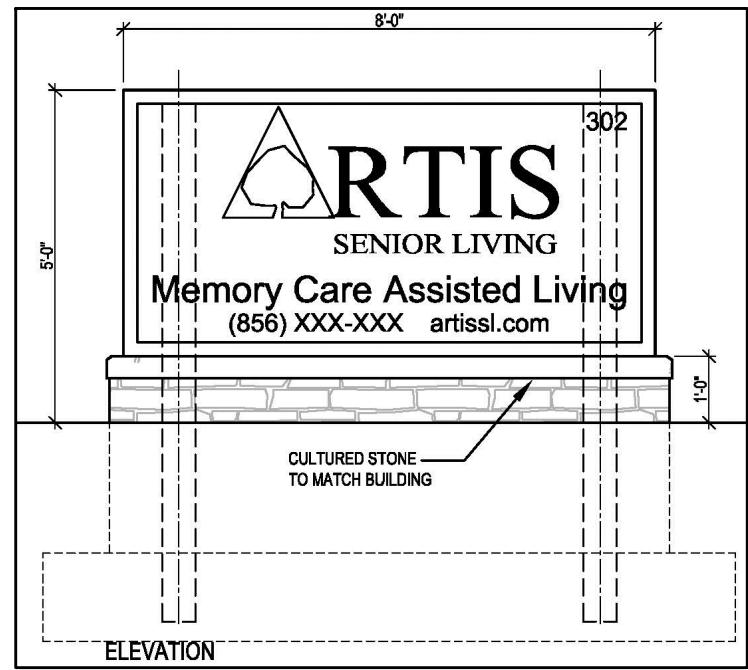
WATER MAIN TRENCH DETAIL (N.T.S.)



CONCRETE SIDEWALK AND APRON DETAIL (N.T.S.)



MONUMENT SIGN DETAIL (N.T.S.)



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