SITE DEVELOPMENT PLANS

PREPARED FOR ARTIS SENIOR LIVING, LLC

TOWN OF OSSINING

SITE DATA

553 NORTH STATE ROAD

ARTIS SENIOR LIVING, LLC

GB - GENERAL BUSINESS

McCLEAN VA, 22102

1.53 ACRES

BRIARCLIFF MANOR, NEW YORK

1651 OLD MEADOW ROAD, SUITE 100

SITE LOCATION:

LOT SIZE:

OWNER/APPLICANT:

ZONING DISTRICT:

WESTCHESTER COUNTY, NEW YORK

DATE: AUGUST 1, 2015
REVISED: NOVEMBER 9, 2015
REVISED: APRIL 6, 2016
REVISED: JUNE 20, 2016
REVISED: AUGUST 29, 2016



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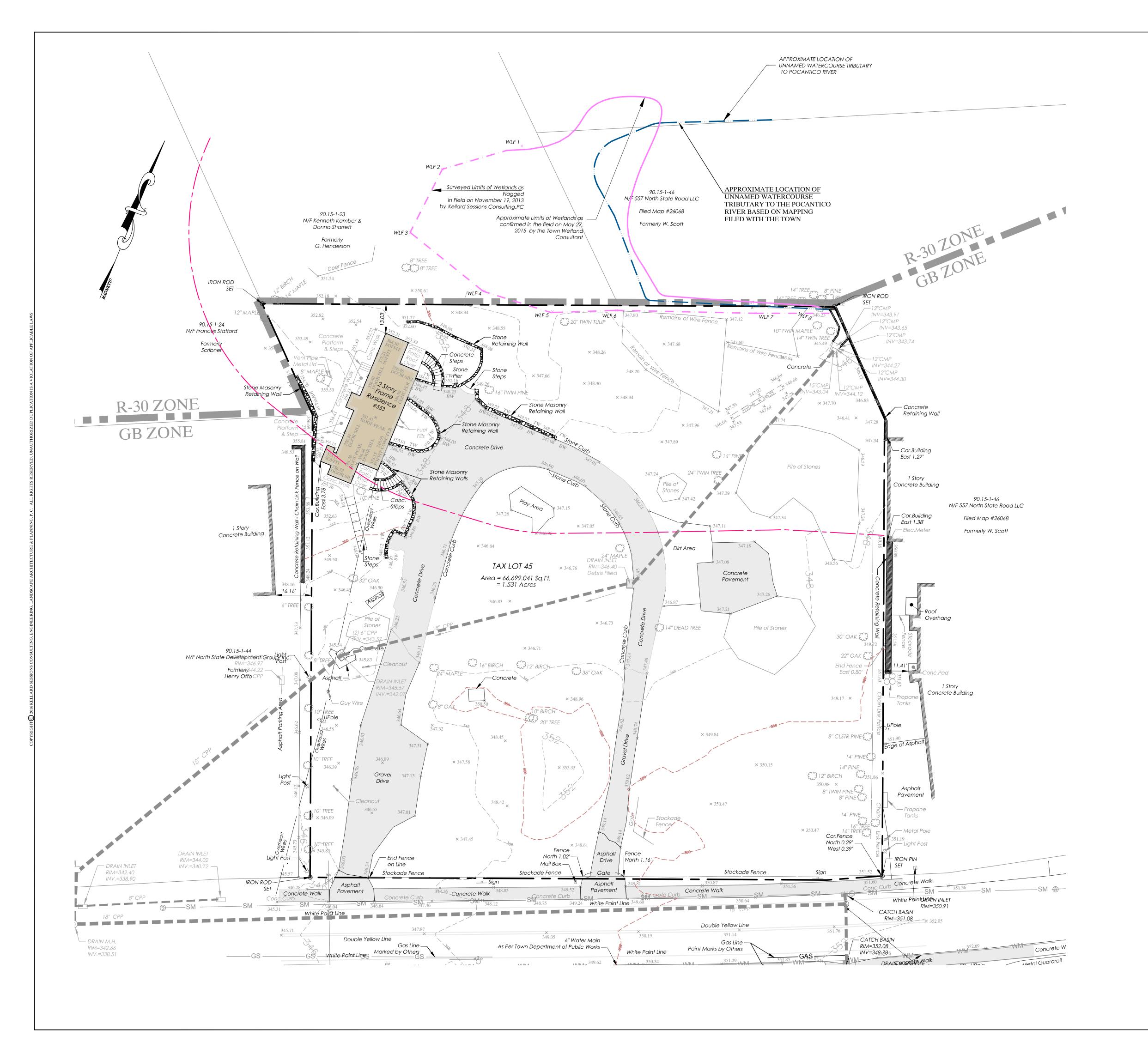
KELLARDSESSIONS

ENGINEERING, LANDSCAPE ARCHITECTURE & PLANNING, P.C.

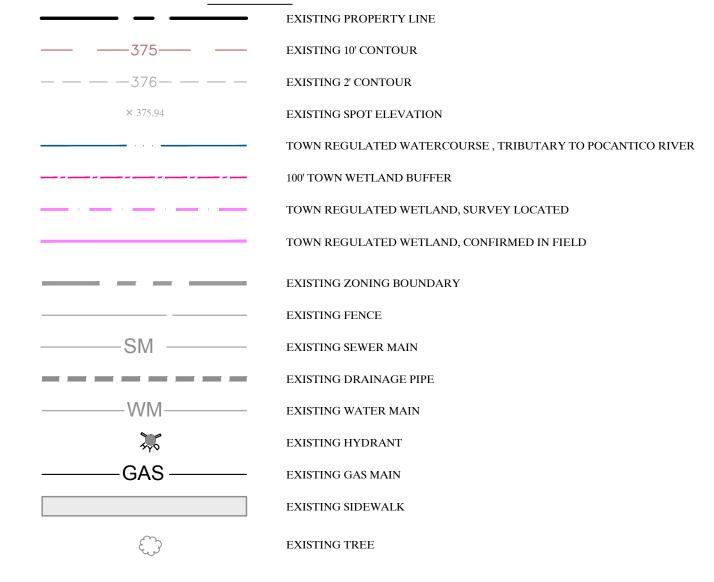
500 Main Street • Armonk, N.Y. 10504

T: (914) 273-2323
F: (914) 273-2329

CONSULTING

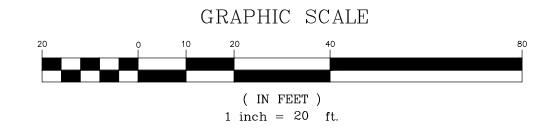


LEGEND

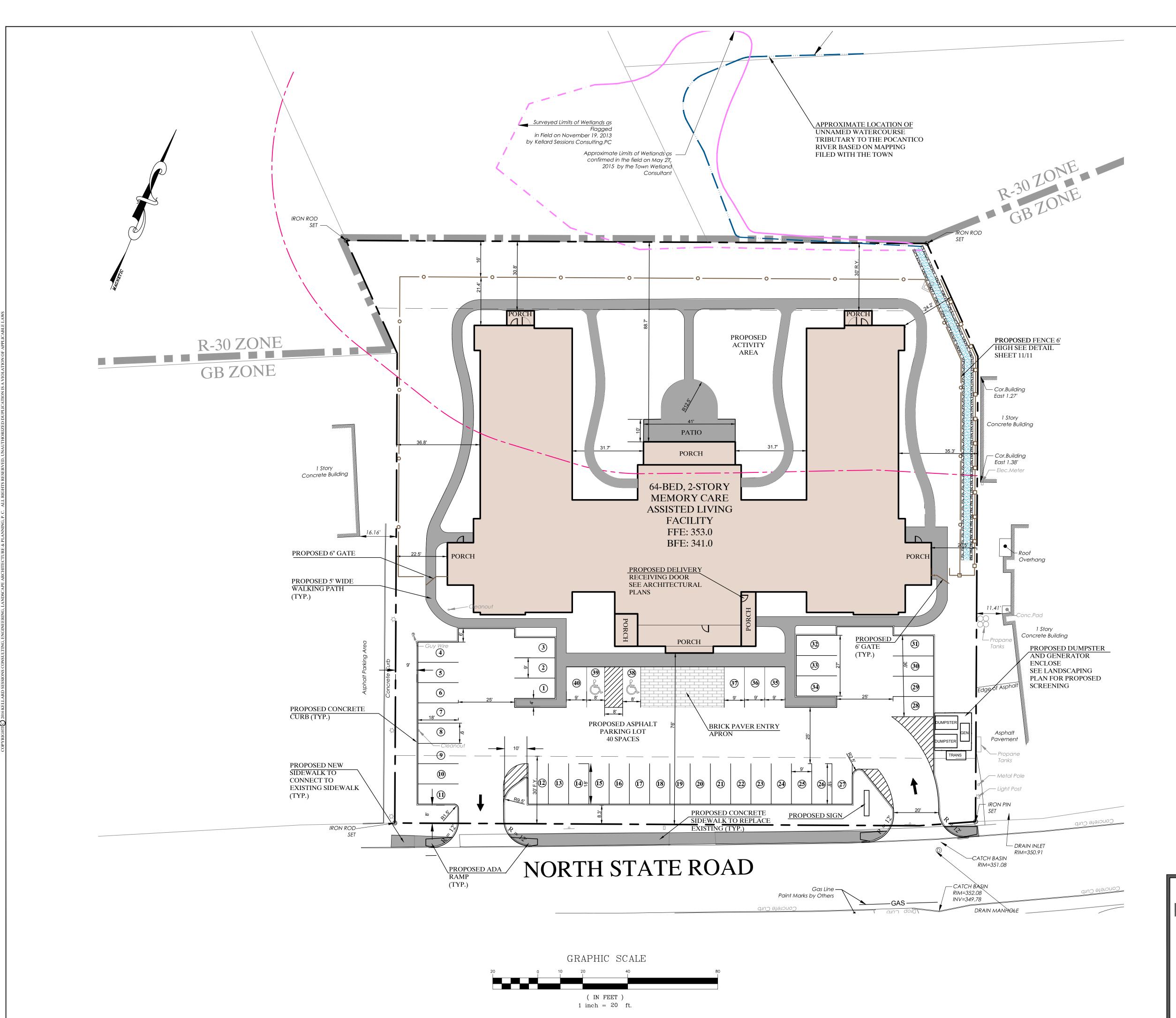


GENERAL NOTES:

- 1. SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20, 2014.
- 2. THE WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015.



EXISTIN	I G	CONDITIONS P	LAN
ARTIS SENIOR LIVING			
TOWN OF OSSINING		WESTCHESTER	COUNTY, NEW YORK
	10. 9. 8. 7.		1
	6. 5. 4.	AUGUST 29, 2016 - GENERAL REVISIONS	PROJECT I.D.:
	3.	JUNE 20, 2016 - GENERAL REVISIONS APRIL 6, 2016 - WETLAND REVISIONS	ART100
	1.	NOVEMBER 9, 2015 - GENERAL REVISIONS REVISIONS	DATE: AUGUST 1, 2015
	ART	TOWN OF OSSINING 10. 9. 8. 7. 6.	TOWN OF OSSINING 10. 9. 8. 7. 6. 5. 4. AUGUST 29, 2016 - GENERAL REVISIONS 3. JUNE 20, 2016 - GENERAL REVISIONS 2. APRIL 6, 2016 - WETLAND REVISIONS 1. NOVEMBER 9, 2015 - GENERAL REVISIONS



GENERAL NOTES:

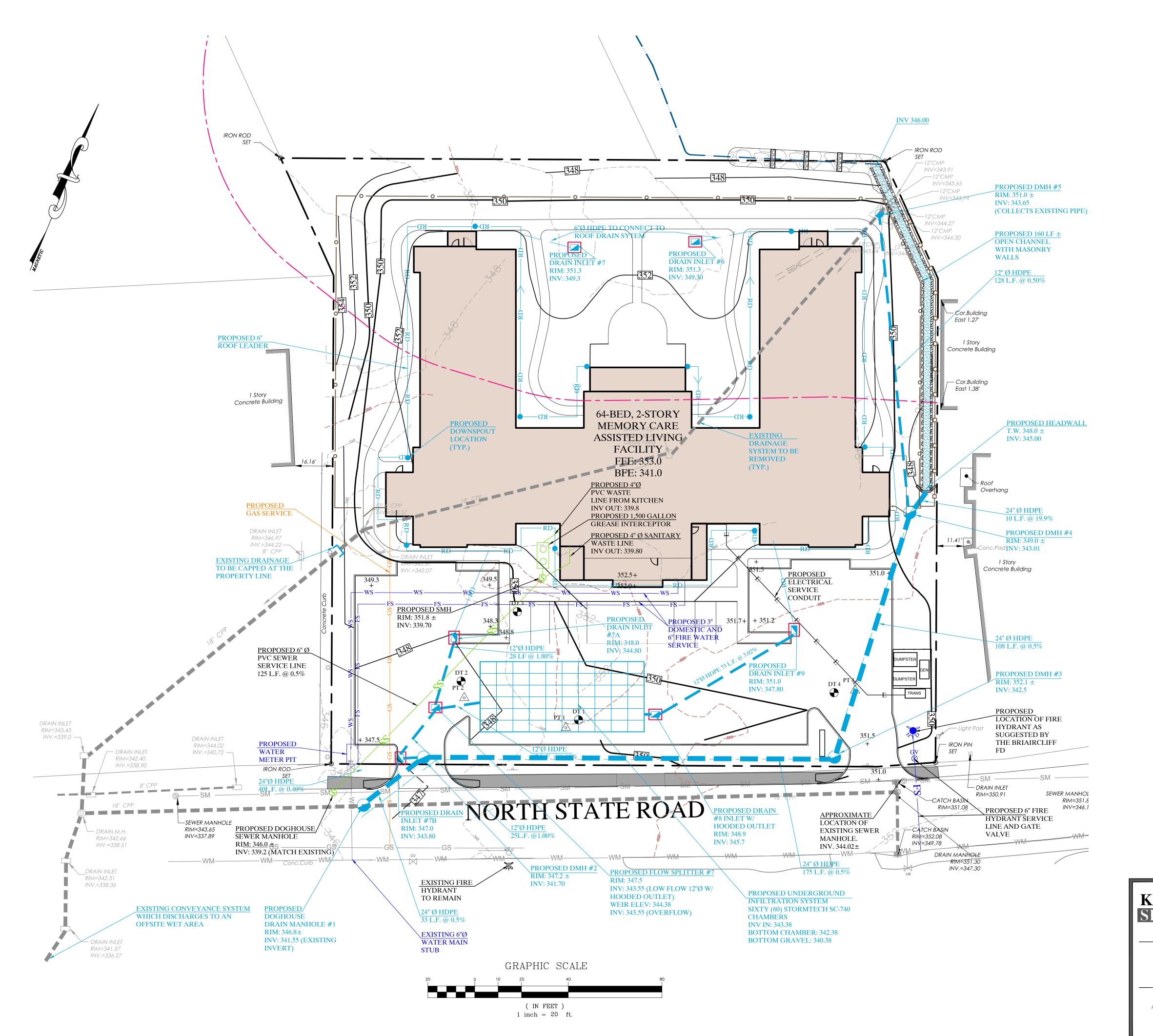
- 1. SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20, 2014.
- 2. THE WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015.
- 3. ALL VEGETATION SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ANY VEGETATION NOT SO MAINTAINED SHALL BE REPLACE WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- 4. ALL EXTERIOR LIGHTING SHOWN ON THESE PLANS SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- 5. ALL UTILITY LINES ASSOCIATED WITH THIS PROJECT SHALL BE LOCATED UNDERGROUND.
- 6. SEE ARCHITECTURAL PLANS PREPARED BY DENNIS D. SMITH, AIA ARCHITECT FOR BUILDING INFORMATION.
- 7. SEE LIGHTING PLAN BY ARCHITECT FOR LIGHTING DESIGN INFORMATION.
- 8. ALL EXTERIOR LIGHTING SHOWN ON THIS PLAN SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.

REGULATION	MIN./MAX. DISTRICT REQUIREMENTS (GB)	PROPOSED
LOT AREA	20,000 SF (MIN)	66,676 SF
FRONTAGE	50 FEET (MIN)	255 FT
LOT WIDTH	100 FEET (MIN)	255 FT
LOT DEPTH	130 FEET (MIN)	259 FT
FRONT YARD SETBACK	30 FEET (MIN)	76 FT
SIDE YARD SETBACK	0 FEET (MIN)	20.5 FT
SIDE ALONG RESIDENTIAL	30 FEET (MIN)	N/A
REAR YARD ALONG RESIDENTIAL	30 FEET (MIN)	30 FT
BUILDING HEIGHT (FEET)	35 FEET (MAX)	35 FT
BUILDING HEIGHT (STORIES)	2.0 STORIES (MAX)	2.0 STORIES
BUILDING COVERAGE	30% (MAX)	27%
PARKING SPACES	0.5 SPACE PER BED	40 SPACES
	0.5 * 64 = 32 SPACES	

LEGEND EXISTING PROPERTY LINE EXISTING 10' CONTOUR EXISTING 2' CONTOUR × 375.94 EXISTING SPOT ELEVATION TOWN REGULATED WATERCOURSE 100' TOWN WETLAND BUFFER TOWN REGULATED WETLAND, SURVEY LOCATED TOWN REGULATED WETLAND, CONFIRMED IN FIELD EXISTING ZONING BOUNDARY PROPOSED 8' FENCE SIDEWALK MARKER LIGHT FIXTURE BOLLARD LIGHT FIXTURE \frown POLE MOUNTED LIGHT FIXTURE SIGN FLOOD LIGHT FIXTURE

KELLARD	LAYOUT PLAN			
SESSIONS CONSULTING ARTIS SENIOR LIVING				
ENGINEERING,	TOWN OF OSSINING	WESTCHESTER	COUNTY, NEW YORK	
LANDSCAPE		10.		
ARCHITECTURE &	1	9.		
PLANNING, P.C.	1	8.		
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500 MAIN STREET	l II	5.		
ARMONK, N.Y. 10504	1	4. AUGUST 29, 2016 - GENERAL REVISIONS		
P: (914) 273-2323	1	3. JUNE 20, 2016 - GENERAL REVISIONS	PROJECT I.D.:	
F: (914) 273-2329	1 1	2. APRIL 6, 2016 - WETLAND REVISIONS	ART100	
WWW.KELSES.COM	1 1	1. NOVEMBER 9, 2015 - GENERAL REVISIONS	DATE:	
W W.MELDED.COM		REVISIONS	AUGUST 1, 2015	

UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW



GENERAL NOTES:

- 1. SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20,
- 2. THE WATERCOURSE SHOWN HEREON WAS CONFIRMED IN THE FIELD BY THE THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015. THE SURROUNDING WETLAND AREA WAS DEEMED TO BE NON-JURISTICTIONAL DUE TO IT'S SIZE.
- 3. ALL VEGETATION SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ANY VEGETATION NOT SO MAINTAINED SHALL BE REPLACE WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- 4. ALL EXTERIOR LIGHTING SHOWN ON THESE PLANS SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES
- 5. ALL UTILITY LINES ASSOCIATED WITH THIS PROJECT SHALL BE LOCATED UNDERGROUND.
- 6. SEE ARCHITECTURAL PLANS PREPARED BY DENNIS D. SMITH, AIA ARCHITECT FOR BUILDING INFORMATION.
- 7. ALL EXISTING SITE FEATURES SHALL BE DEMOLISHED AND REMOVED OFF SITE IN A SAFE A LEGAL MANNER; UNLESS OTHERWISE NOTED.
- 8. THERE WILL BE NO SURFACE FLOWS FROM THE ARTIS DEVELOPMENT DISCHARGING TO THE OFFSITE WETLAND/WATERCOURSE TO THE WEST. IN ADDITION, EXISTING FLOWS FROM THE OFFSITE WETLAND/WATERCOURSE WILL NOT BE DIMINISHED AS A RESULT OF THE ARTIS DEVELOPMENT.

SOIL TESTING RESULTS:

8" TO 24" SLIGHTLY COMPACTED RED SILTY LOAM

0" TO 4" TOPSOIL

4" TO 84" SLIGHTLY COMPACTED BROWN SAND W/ SILT WITH 8" COBBLES

24" TO 84" SLIGHTLY COMPACTED BROWN SAND W/ SILT

0" TO 4" TOPSOIL 4" TO 48" SLIGHTLY COMPACTED BROWN SAND W/ SILT

WEATHERED BOULDERS, VERY COMPACT

0" TO 6" TOPSOIL

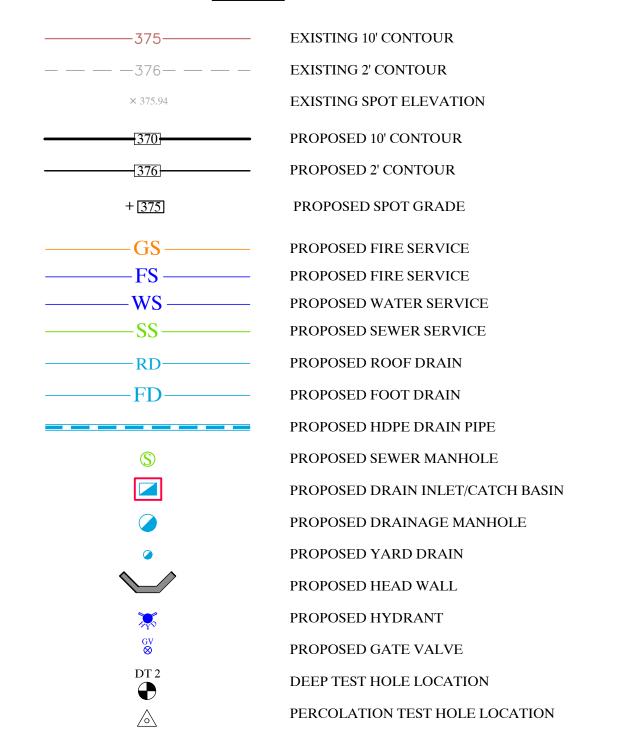
6" TO 36" SLIGHTLY COMPACTED BROWN SANDY LOAM

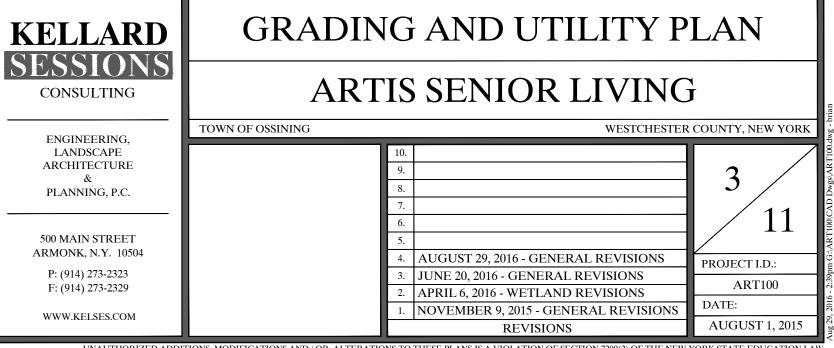
36" TO 72" SLIGHTLY COMPACTED BROWN SAND GROUNDWATER

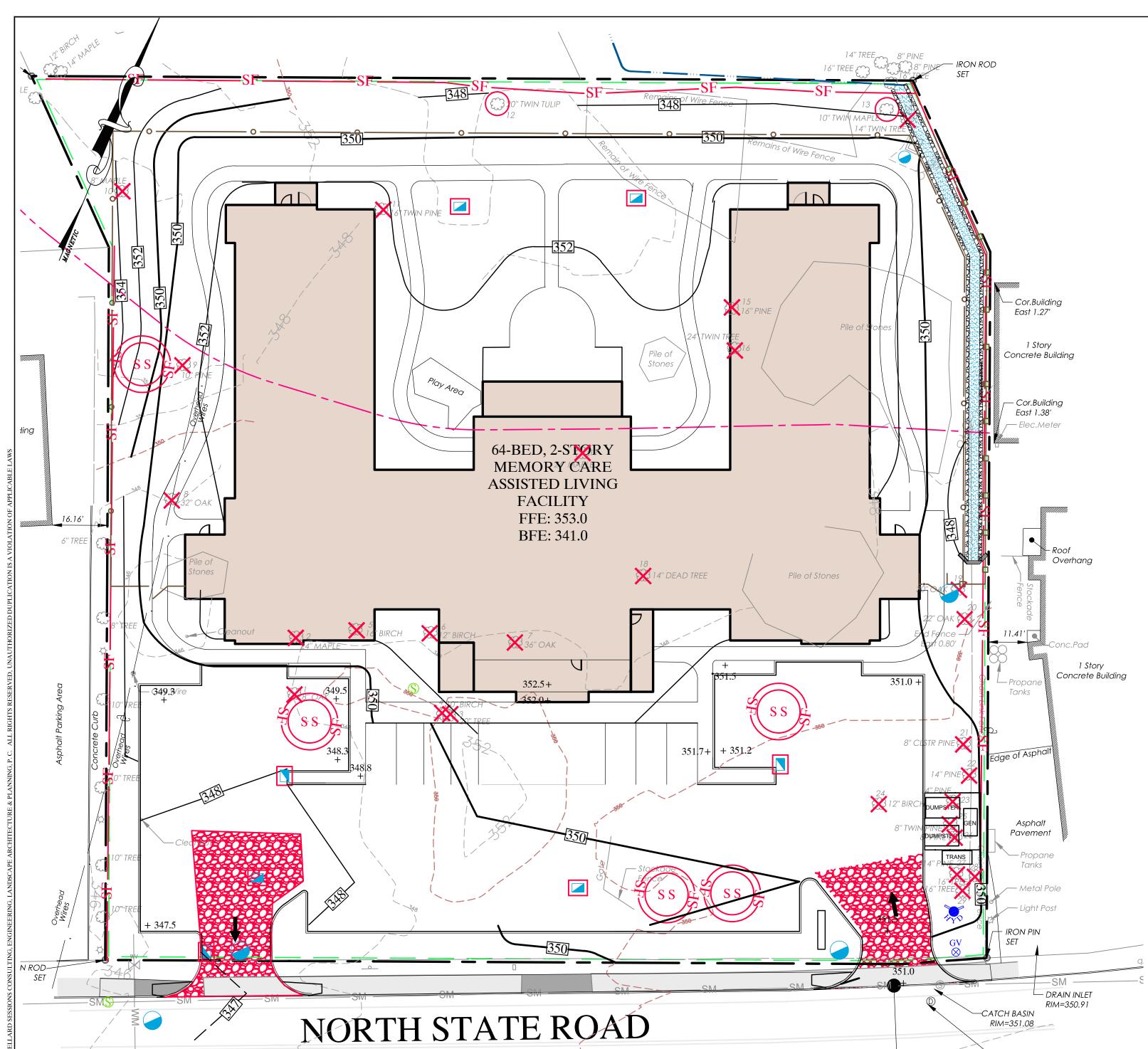
PERCOLATION TEST #1 = 6 MIN/INCH

PERCOLATION TEST #2 = 5 MIN/INCH PERCOLATION TEST #4 = 5 MIN/INCH

LEGEND







LEGEND EXISTING 2' CONTOUR _ _ _ _ _ _ _ _ _ PROPOSED 2' CONTOUR **EXISTING 10' CONTOUR** ___ __ __ PROPOSED 10' CONTOUR **EXISTING SPOT GRADE** \times 447.07 PROPOSED CONCRETE CURB TOWN REGULATED WETLAND PROPOSED DRAIN INLET W/ INLET PROTECTION 100' WATERCOURSE BUFFER PROPOSED SILT FENCE **EXISTING DRAINAGE PIPE** PROPOSED LIMIT OF DISTURBANCE TREE TO BE PROTECTED TEMPORARY SOIL STOCKPILE TREE TO BE REMOVED

1	8" OAK		X
2	24" MAPLE		X
3	20" TREE		X
4	10" BIRCH		X
5	16" BIRCH		X
6	12" BIRCH		X
7	36" OAK		X
8	32" OAK		X
9	10" PINE		X
10	8" MAPLE		X
11	16" TWIN PINE		X
12	20" TWIN TULIP	X	
13	10" TWIN MAPLE	X	
14	14" TWIN TREE		X
15	16" PINE		X
16	24" TWIN TREE		X
17	24" MAPLE		X
18	14" DEAD TREE		X
19	30" OAK		X
20	22" OAK		X
21	8" CLSTR PINE		X
22	14" PINE		X
23	14" PINE		X
24	12" BIRCH		X
25	8" TWIN PINE		X
26	8" PINE		X
27	14" PINE		X
28	16" TREE		X
29	16" TREE		X

TAG # TREE SIZE AND SPECIE TO REMAIN TO BE REMOVED

EROSION AND SEDIMENT CONTROL PLAN

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- New York Standards and Specifications for Erosion and Sediment Control, latest edition
- New York State SPDES General Permit for Stormwater Runoff from Construction Activity (GP-0-15-002)
- Town Code of Ossining Chapter 168 "Stormwater Management and Erosion and Sediment Control"

The primary aim of the soil erosion and sediment control plan is to reduce soil erosion from areas stripped of vegetation during and after

construction and to prevent silt from reaching the drainage structures, infiltration systems and downstream properties. The infiltration systems will not be put into service until the contributing drainage areas to the system have been stabilized. As outlined in the construction sequencing notes below and on the Sediment & Erosion Control Plan, the Sediment & Erosion Control Plan is an integral component of the construction phasing and sequencing and will be implemented to control sediment and re-establish vegetation as soon as practicable. The plan will be implemented prior to the commencement of any earthmoving activities.

A copy of the contractor certification form is provided in Stormwater Pollution Prevention Plan Section F. This form will be signed by the contractor prior to the commencement of construction activity.

The owner/operator shall maintain at the construction site a copy of the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activities, GP-0-15-002, the Notice of Intent (NOI), the NOI acknowledgment letter, the Stormwater Pollution Prevention Plan Report for Artis Senior Living, the MS4 SWPPP Acceptance Form and inspection reports from the qualified inspector until all disturbed areas have achieved final stabilization and the Notice of Termination (NOT) has been filed with the NYSDEC.

The applicant or developer or their representative shall be on site at all times when construction or grading activity takes place. A qualified inspector shall conduct site inspections a minimum of once every seven (7) calendar days. The qualified inspector shall inspect and document the effectiveness of all erosion and sediment control practices. The qualified inspector shall prepare an inspection report subsequent to each and every inspection. The reports shall be forwarded to the Town's Stormwater Management Officer and also copied to the site logbook. The qualified inspector must be a licensed Professional Engineer, a Certified Professional in Erosion and Sediment Control (CPESC), a Registered Landscape Architect or someone working under the direct supervision of, and at the same company as, the Licensed Professional Engineer or Registered Landscape Architect, provided they have received four (4) hours of NYSDEC endorsed training in proper erosion and sediment control principles from a soil and water conservation district.

The proposed soil erosion and sediment control devices include the planned erosion control practices outlined below. Maintenance procedures for each erosion control practice are also provided herein. The owner or operator must ensure that all erosion and sediment control practices identified herein are maintained in effective operating condition at all times.

STABILIZED CONSTRUCTION ENTRANCE

A stabilized construction entrance shall be installed at the project entrance as indicated on the plans. The purpose of the stabilized construction entrance is to prevent vehicles leaving the site from tracking sediment, mud or any other construction-related materials from the site onto North State Road.

Maintenance/Inspection

The Contractor shall maintain the construction entrance in a manner which prevents or significantly reduces the tracking of sediment/soil onto North State Road. The Contractor shall inspect the construction entrance daily and after each rain event for displacement or loss of aggregate. The Contractor shall top-dress the construction entrance when displacement/loss of aggregate occurs, or if the aggregate becomes clogged or silted to the extent that the entrance can no longer perform its intended function. The Contractor shall inspect the vicinity of the construction entrance several times a day and immediately remove any sediment dropped or washed onto North State Road.

SILT FENCE

Silt fence (geotextile filter cloth) shall be placed in locations depicted on the approved plans. The purpose of the silt fence is to reduce the velocity of sediment-laden stormwater from small drainage areas and to intercept the transported sediment load. In general, silt fence shall be used at the perimeter of disturbed areas, toe of slopes or intermediately within slopes where obvious channel concentration of stormwater is not present. Silt fence shall always be installed parallel to the contours in order to prevent concentrated flows from developing along the silt fence.

Maintenance/Inspection

Silt fencing shall be inspected at a minimum of every seven (7) days. Inspections shall include ensuring that the fence material is tightly secured to the wood posts. In addition, overlapping filter fabric shall be secure and the fabric shall be maintained a minimum of eight (8) inches below grade. In the event that any "bulges" develop in the fence, that section of fence shall be replaced immediately with a new fence section. Any visible sediment build-up against the fence shall be removed and deposited on-site a minimum of 100 feet from any wetland.

INLET PROTECTION

After the project's drain inlets have been installed and the site is completely constructed and stabilized, these drain inlets will receive stormwater from the driveway and overland watersheds. The inlet protection barrier will allow stormwater to be filtered prior to reaching the inlet grate.

Maintenance/Inspection

Inlet protection devices shall be inspected at a minimum of every seven (7) days. Care shall be taken to ensure that all inlet protection devices are properly located and secure and do not become displaced. Any accumulated sediments shall be removed from the device and deposited not less than 100 feet from a wetland.

SOIL/MATERIAL STOCKPILING

All soil/material stripped from the construction area during grubbing and grading shall be stockpiled in locations illustrated on the approved plans, or in practical locations on-site.

$\underline{Maintenance/Inspection}$

All stockpiles shall be inspected (for signs of erosion or problems with seed establishment) at a minimum of once every seven (7) days. Soil stockpiles shall be protected from erosion by vegetating the stockpile with a rapidly-germinating grass seed and surrounded with either silt fence or staked weed-free haybales. In the non-growing season, the stockpiles shall be protected by a tarpaulin covering the entire stockpile.

SURFACE STABILIZATION

All disturbed areas will be protected from erosion with the use of vegetative measures (e.g., grass seed mix, sod) hydromulch, weed-free hay or Curlex Excelsior Erosion Control Blankets.

Erosion control barriers consisting of silt fencing shall be placed around exposed areas during construction. Any areas stripped of vegetation during construction will be vegetated and/or mulched to prevent erosion of the exposed soils. In site areas where significant erosion potential exists (steep slopes/slopes exceeding 2:1) and/or where specifically directed, Curlex Excelsior Erosion Control Blankets (Manufactured by American Excelsior or approved equal) shall be installed. Mulch is also used alone for temporary stabilization in non-growing months.

Materials that may be used for mulching include weed-free straw/ hay/salt hay, wood fiber, synthetic soil stabilizers, mulch netting, erosion control blankets or sod. A permanent vegetative cover will be established upon completion of construction of those areas which have been brought to finish grade and to remain undisturbed.

GENERAL LAND GRADING

The applicant or their representatives shall be on-site at all times when construction or grading activity takes place and shall inspect and document the effectiveness of all sediment and erosion control practices.

The intent of the erosion controls is to control all disturbed areas, such that soils are protected from erosion by temporary methods and, ultimately by permanent vegetation. All cut and fill slopes shall be kept to a maximum slope of 2:1. In the event that a slope must exceed a 2:1 slope, it shall be stabilized with stone rip-rap. On fill slopes, all material will be placed in layers not to exceed 9 inches in depth and adequately compacted. Where practicable, diversion swales shall be constructed on the top of all fill embankments to divert any overland flows away from the fill slope.

DUST CONTROL

Where vegetative or mulch cover is not practicable in disturbed areas of the site, dust shall be controlled by the use of water sprinkling. The surface shall be sprayed until wet. Dust control shall continue until such time as the entire site is adequately stabilized with permanent vegetative cover.

POLLUTION PREVENTION MEASURES FOR CONSTRUCTION RELATED ACTIVITIES

Pollution prevention practices for preventing litter, construction chemicals (if applicable) and construction debris from becoming a pollutant source in stormwater discharge includes daily pickup of construction debris, inspection, designated storage areas, and physical controls such as silt fencing and inlet protection. Inspections will also be conducted to ensure that dust control measures are utilized as necessary. During construction, maintenance, construction and waste materials will be stored within suitable areas/dumpsters, as appropriate, to minimize the exposure of the materials to stormwater and spill prevention. All maintenance and construction waste will be disposed of in a safe manner in accordance with all applicable regulations.

GENERAL CONSTRUCTION SEQUENCING

Outlined below is a brief listing of the construction sequencing for the project.

Prior to any interior site activity, the owner, contractor, owner's engineer and Town Engineer shall hold a pre-construction meeting.

Final stabilization as defined by the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activities GP-0-15-002 is the establishment of a uniform perennial vegetative cover with a density of eighty (80) percent over the pervious surface once all soil disturbance activities have ceased. Cover can be vegetative (e.g., grass, trees, seed and mulch, shrubs or turf) or non-vegetative (e.g., geotextiles, rip-rap or gabions, pavement, roofs, etc.).

The applicant shall notify the Town of Ossining enforcement official at least 48 hours before any of the following as required by the Stormwater Management Officer:

- 1. Start of construction.
- 2. Installation of sediment and erosion control measures.
- Completion of site clearing.
 Completion of rough grading.
- 5. Completion of final grading.
- 6. Closure of the construction season.
- 7. Completion of final landscaping.
- Successful establishment of landscaping in public areas.

The owners/contractor is required to submit As-Built plans for any stormwater management practices located on site after final construction is completed. The plan must show the final design specifications for all stormwater management facilities and must be certified by a New York State licensed land surveyor or professional engineer.

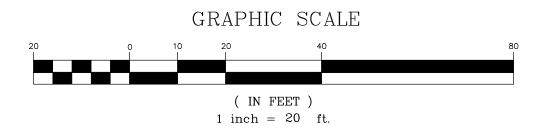
Construction Sequencing

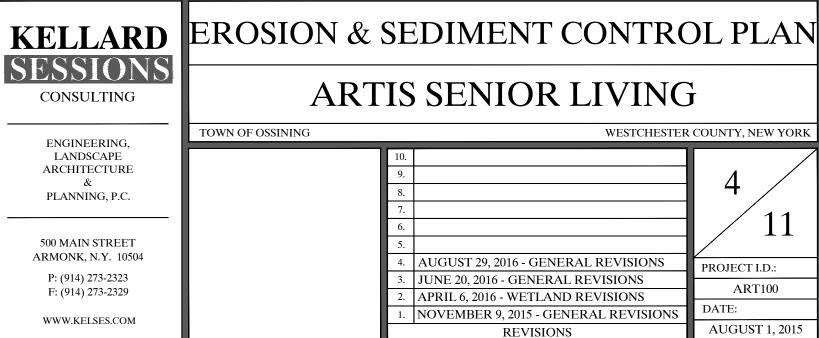
- Owner/operator to obtain all necessary permits/approvals.
- Owner/operator to conduct a pre-construction meeting.
 Contractor to stake clearing limits of disturbance for the project.
- 4. Contractor to install perimeter erosion controls.
- 5. Contractor to install stabilized construction entrance.
- 6. Contractor to install silt fence in locations as indicated on the Erosion & Sediment Control Plan.
- 7. Contractor to commence demolition of all existing site features.
- 8. Contractor to commence clearing and grubbing for structures, parking and utilities.
- 9. Contractor to initiate general excavation of the parking lot, foundations and drainage facilities.
 10. Contractor to stockpile excavated soil in soil stockpile locations to reclaim for further use (i.e., landscaping).
- 10. Contractor to stockpile excavated soil in soil stockpile locations to reclaim for 1 l. Contractor to construct facility.
- 12. Contractor to make necessary utility service connections.
- 13. Contractor to initiate installation of drainage facilities.
- 14. The outlet of the drain inlet immediately upstream of the infiltration system shall be plugged or capped. This will keep the infiltration
- system off line during construction.

 15. Contractor to install inlet protection around installed drainage facilities.
- 16. Contractor to complete storm drainage facilities.
- 17. Contractor to rough grade parking lot, if required.
- 18. Contractor to provide dust control during construction as necessary.19. Contractor to finish final grade of parking lot.
- 20. Contractor to re-vegetate disturbed areas.
- 21. Contractor shall final stabilize all drainage areas tributary to each stormwater facility.
- Contractor to install wetland mitigation measures.
 Contractor shall remove silt fence, inlet protection, drain inlet plug and all erosion control practices upon final stabilization.
- 24. Re-vegetation of disturbed areas.
- 25. Once site is stabilized, infiltration system to be placed on-line.
- 26. Contractor to install landscaping.Remove sediment and erosion con
- 27. Remove sediment and erosion controls upon site stabilization.

Contact Person

The entity responsible for implementing the maintenance program will be the owner, its successors and/or assigns. The current owners are Artis Senior Living, LLC, 1651 Old Meadow Road, McLean, Virginia 22102, (703) 992-7985.





UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION I

		ARTIS SENIOR LIVING PLANT LIST			
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE	ROOT
		DECIDIOUS TREES	•		
ERB	Eastern Red Bud	Cercis Canadensis "Forest Pansy"	4	3" - 3-1/2" cal.	B&B
FT	White Fringe Tree	Chionanthus virginicus	2	3" - 3-1/2" cal.	B&B
RM	Red Maple	Acer rubrum	2	3" - 3-1/2" cal.	B&B
		EVERGREEN TREES			
TA	Techny Arborvitae	Thuja Occidentalis Techny	5	8' - 9' ht.	B&B
GGA	Green Giant Arborvitae	Thuja Green Giant	6	7' - 8' ht.	B&B
		FLOWERING TREES			
ISL	Ivory Silk Lilac	Syringa Reticulata	8	2-1/2" - 3" cal.	B&B
BGM	Blood Good Maple	Acer Plamtum	2	6' - 7' ht.	B&B
		SHRUBS			
GTC	Green Thread Cypress	Chamaecyparis Pisifera Filifera	2	7' - 8' ht.	B&B
NBJH	Northern Beauty Holly	Ilexcrenata Northern Beauty	13	3' - 4' ht.	Cont.
HYD	Hydrangea Anna Bell	Hydrangea Arboresens Anna Bell	18	7 gal.	Cont.
BL	Bloomerang Lilac	Syringa Penda Bloomerang	3	4' - 5' ht.	B&B
VS	Virginia Sweetspire	Itea Virginia L. "Henry's Garnet"	36	5 gal.	Cont.
SSJW	Shrubby St. John's Wort	Hypericum Prolificum	17	3 gal.	Cont.
IB	Inkberry	llex glabra	25	5 gal.	Cont.
MA	Mountain Andromeda	Pieris floribunda	15	5 gal.	Cont.
AZ	Tradition Azalea	Azalea Tradition	27	5 gal.	Cont.
		GRASSES, PERENNIALS AND GROUND CO	OVERS		
PD	Prairie Dropseed	Sborobolus Heterolepis	26	3 gal. @ 30" oc	Cont.
LBS	Little Blue Stem	Schizachyrium Scoparium	27	5 gal. @ 42" oc	Cont.
BW	Butterfly Weed	Asclepias Tuberosa "Hello Yellow"	90	1 gal. @ 18" oc	Cont.
RUB	Black Eyed Susan	Rudbeckia Fulida Goldstrum	89	1 gal. @ 18" oc	Cont.
ВН	Box Huckleberry	Gaylussacia brachycera	45	2 gal.	Cont.

Muscari Big Blue

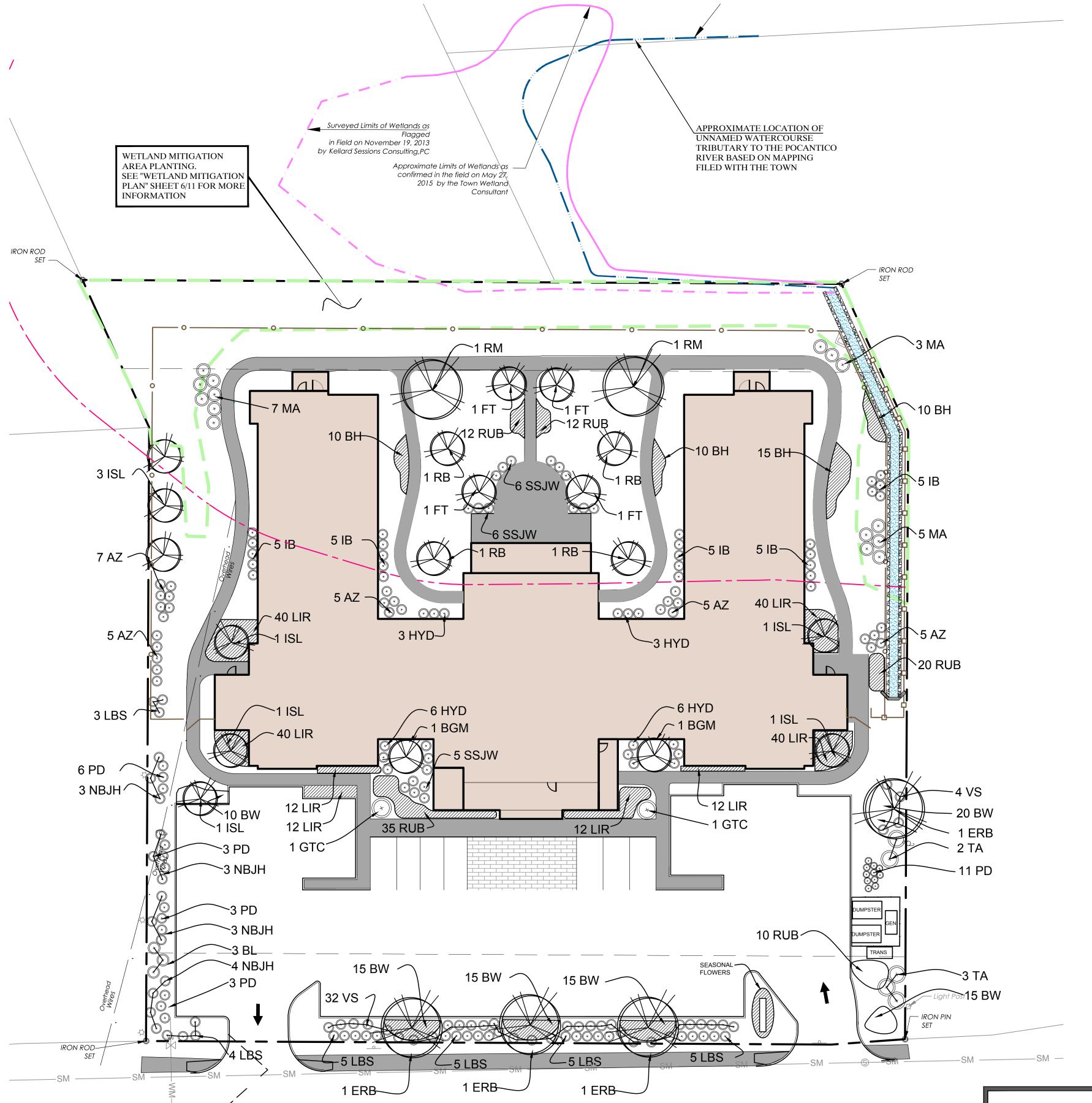
GENERAL PLANTING NOTES:

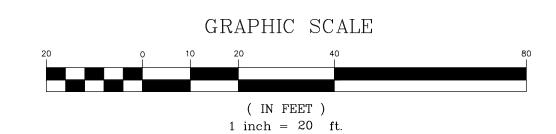
LIR Liriope Big Blue

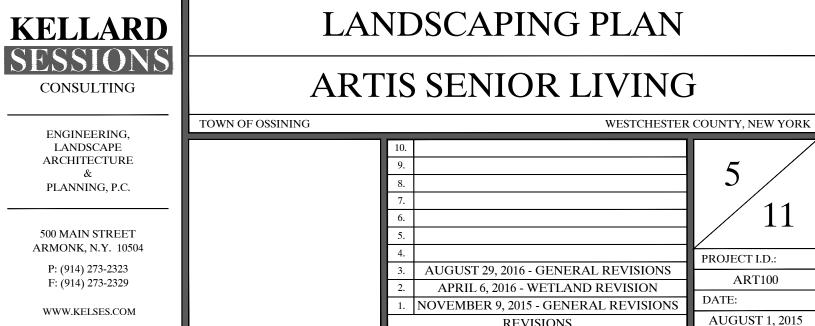
1. ULTIMATE SPACING AND LOCATION OF PROPOSED TREES / SHRUBS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD FOLLOWING CONSTRUCTION OF OFFICE BUILDING AND PARKING LOT.

208 1 gal. @ 18" oc Cont.

- 2. LANDSCAPE ARCHITECT SHALL HAVE THE OPTION FOR PLANT SUBSTITUTION DEPENDING UPON ACTUAL SITE CONDITIONS ENCOUNTERED (i.e. BEDROCK DEPTH, SUN EXPOSURE/ ANGLE, ETC.)
- 3. RAISED PLANTING BEDS (i.e. BERMS) MAYBE REQUIRED FOR PLANTING AREAS WITH SHALLOW BEDROCK DEPTH.
- 4. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING PAVEMENTS, UTILITIES, STRUCTURES, ETC. TO REMAIN AND SHALL REPAIR AND/OR REPLACE ANY SUCH DAMAGE AT HIS EXPENSE.
- 5. THE CONTRACTOR SHALL PROVIDE A 12" MINIMUM DEPTH OF TOPSOIL FOR ALL PLANTING BEDS.
- 6. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SCHEDULE PROVIDED WITHIN THIS SITE PLAN PACKAGE. A MINIMUM OF 50% OF PLANTS PROVIDED SHALL BE THE LARGER END OF THE SIZE RANGE.
- 7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS AND BE NURSERY-GROWN.
- 8. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE DESIGN ENGINEER (IF APPLICABLE). COORDINATION BETWEEN DRAINAGE SYSTEMS AND PLANT LOCATIONS SHOULD TAKE PLACE WITH THE LANDSCAPE ARCHITECT/CONTRACTOR/DESIGN ENGINEER.
- 9. UNLESS SPECIFIED OTHERWISE BY THE LANDSCAPE ARCHITECT, ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- 10. ALL PLANTS SHALL BE BALLED AND WRAPPED AS SPECIFIED. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
- 11. NO SUBSTITUTIONS FOR PLANT MATERIAL TYPE OR SIZE WILL BE ALLOWED UNLESS SUCH SUBSTITUTION HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT.
- 12. ALL PLANT MATERIAL SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND BY THE LANDSCAPE ARCHITECT TO BE IN AN UNHEALTHY CONDITION. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
- 13. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. FOLLOWING PLANTING, ALL TREES AND SHRUBS ARE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT.
- 14. A MINIMUM OF FOUR (4) INCHES (DEPTH) OF PREMIUM DARK BROWN BARK MULCH SHALL BE PLACED AROUND ROOT BALLS OF TREES/SHRUBS. THE MULCH AREA SHALL BE AT LEAST TWO TIMES THE DIAMETER OF THE PLANT CONTAINER OR ROOT BALL.
- 15. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL REMOVE STAKES AFTER ONE FULL GROWING SEASON.
- 16. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTING PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
- 17. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING. IN ADDITION, ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
- 18. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.
- 19. CONTRACTOR/OWNER SHALL MAKE PROVISIONS TO PROTECT ALL PLANTS FROM DEER BROWSE WITH ONE OR MORE OF THE FOLLOWING: FENCING NETTING, SPRAY REPELLENT.
- 20. ALL EXISTING TREES / SHRUBS SHALL BE INSPECTED FOR VINES. ALL VINES SHALL BE CUT AND, WHERE PRACTICABLE, REMOVED FROM THE TREE / SHRUB.







LEGEND

EXISTING PROPERTY LINE

EXISTING WETLAND AREA

100' WETLAND BUFFER

PROPOSED SHRUBS

EXISTING WETLAND FLAG DELINEATION

PROPOSED DECIDUOUS FLOWING TREE

PROPOSED DECIDUOUS SHADE TREE

PROPOSED GROUNDCOVER / PERENNIALS

REVISIONS AUGUST 1, 2015
UNAUTHORIZED ADDITIONS, MODIFICATIONS AND / OR ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION L

GENERAL NOTES:

- 1. SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20,
- 2. THE INTERMITTENT WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015. THE SURROUNDING WETLAND AREA WAS DEEMED BY THE TOWN'S WETLAND CONSULTANT TO BE NON-JURISTICTIONAL DUE TO IT'S SIZE.
- 3. ALL PROPOSED OFF-SITE WORK AND LAND DISTURBANCE REQUIRE THE APPROVAL OF THE OFF-SITE PROPERTY OWNER. THE OFF-SITE MITIGATION SHOWN HEREON ASSUMES THAT PERMISSION HAS BEEN GRANTED TO DO SUCH WORK.
- 4. THERE WILL BE NO SURFACE FLOWS FROM THE ARTIS DEVELOPMENT DISCHARGING TO THE OFFSITE WETLAND/WATERCOURSE TO THE WEST. IN ADDITION, EXISTING FLOWS FROM THE OFFSITE WETLAND/WATERCOURSE WILL NOT BE DIMINISHED AS A RESULT OF THE ARTIS DEVELOPMENT.

GENERAL PLANTING NOTES:

- ULTIMATE SPACING AND LOCATION OF PROPOSED TREES / SHRUBS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD FOLLOWING CONSTRUCTION OF OFFICE BUILDING AND PARKING LOT.
- 2. LANDSCAPE ARCHITECT SHALL HAVE THE OPTION FOR PLANT SUBSTITUTION DEPENDING UPON ACTUAL SITE CONDITIONS ENCOUNTERED (i.e. BEDROCK DEPTH, SUN EXPOSURE/ ANGLE, ETC.)
- 3. RAISED PLANTING BEDS (i.e. BERMS) MAYBE REQUIRED FOR PLANTING AREAS WITH SHALLOW BEDROCK DEPTH.
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- 19. CONTRACTOR/OWNER SHALL MAKE PROVISIONS TO PROTECT ALL PLANTS FROM DEER BROWSE

WITH ONE OR MORE OF THE FOLLOWING: FENCING NETTING, SPRAY REPELLENT.

20. ALL EXISTING TREES / SHRUBS SHALL BE INSPECTED FOR VINES. ALL VINES SHALL BE CUT AND, WHERE PRACTICABLE, REMOVED FROM THE TREE / SHRUB.

INVASIVE SPECIES REMOVAL/MANAGEMENT PROGRAM

PRIOR TO COMMENCING THE INVASIVE SPECIES REMOVAL, THE APPLICANT'S CONSULTANT WILL MEET IN THE FIELD WITH THE TOWN'S WETLAND CONSULTANT TO DETERMINE THE EXTENT OF THE AREAS TO BE RESTORED. ONCE THE BOUNDARY OF THE RESTORATION AREAS IS ESTABLISHED, THE PERIMETER SHALL BE STAKED AND SILT FENCE ERECTED TO PREVENT ANY SEDIMENT FROM BEING TRANSPORTED DOWNGRADE DURING THE RESTORATION PERIOD.

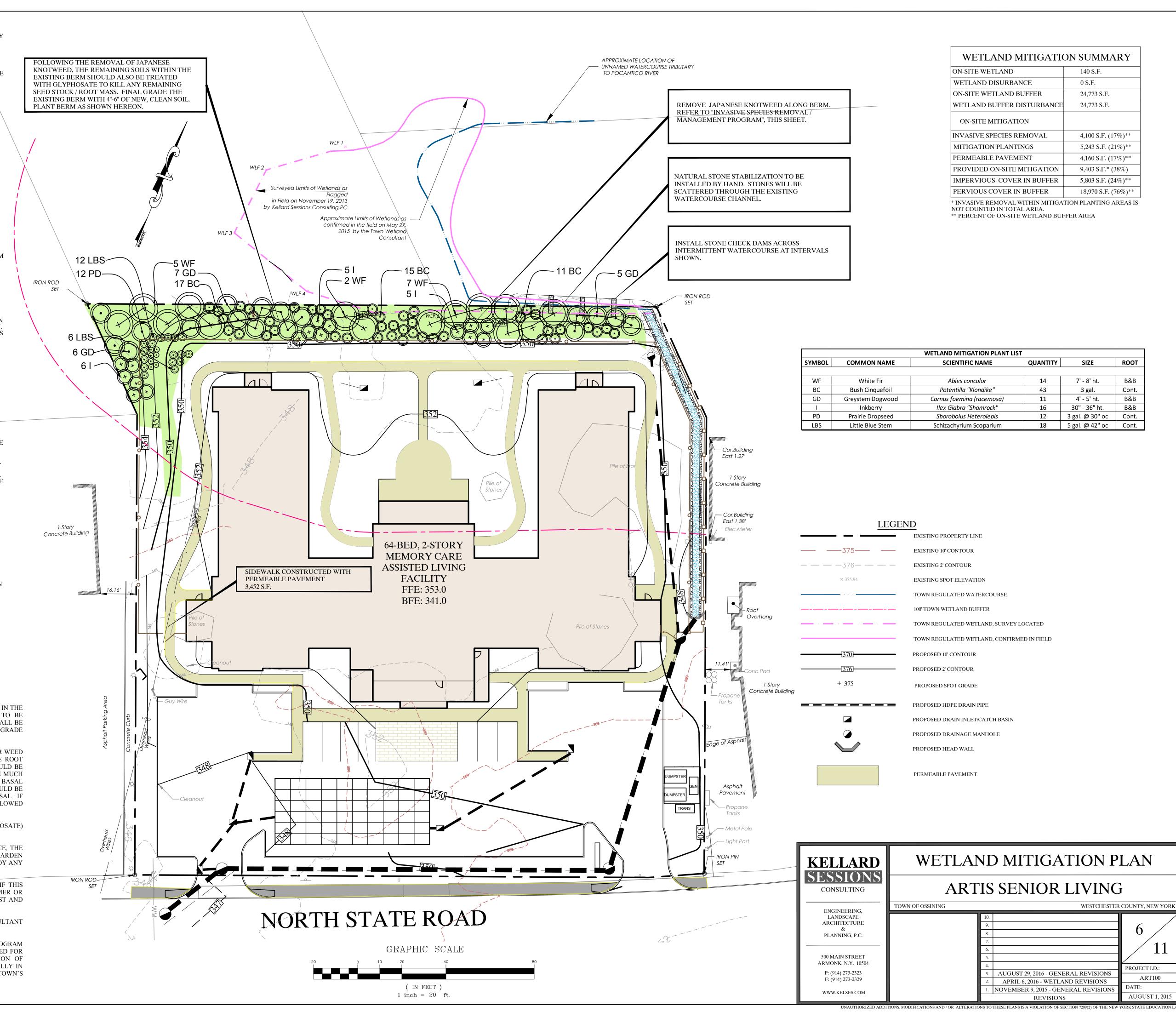
JAPANESE BARBERRY AND MULTI-FLORA ROSE CAN BE REMOVED DURING ANY SEASON WITH A HOE OR WEED WRENCH AND SHOULD BE REMOVED BY HAND-LABOR. IT IS IMPORTANT TO REMOVE ALL OF THE ROOT SYSTEM TO PREVENT RESPROUTING FROM REMAINING ROOT SEGMENTS. JAPANESE STILTGRASS SHOULD BE REMOVED BY HAND-LABOR AND SHOULD BE REMOVED IN MID- TO LATE SUMMER WHEN PLANTS ARE MUCH TALLER AND MORE BRANCHED. AT THIS STAGE, THE STILIGRASS CAN BE PULLED FIRMLY FROM THE BASAL PORTION AND REMOVED WHOLLY. IT SHOULD BE NOTED THAT THE PULLED STILTGRASS PLANTS SHOULD BE BAGGED AND DISPOSED OF OFF-SITE IF THEY ARE IN THEIR FRUITING STAGE TO PREVENT SEED DISPERSAL. IF THEY ARE NOT IN THE FRUITING STAGE, PULLED PLANTS CAN BE STOCKPILED OR DISPERSED AND ALLOWED TO DEHYDRATE.

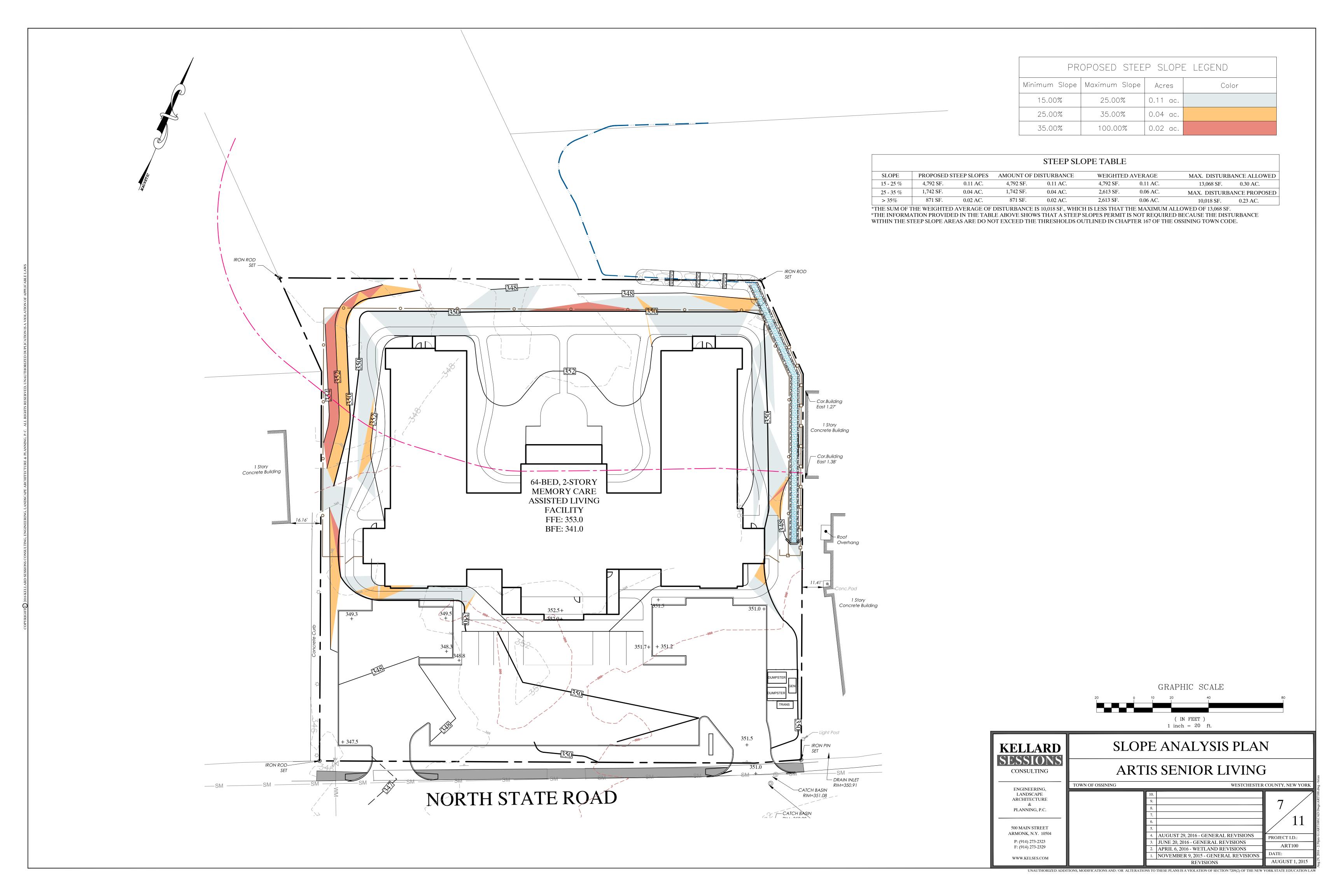
THE ONLY EFFECTIVE METHOD FOR THE REMOVAL OF JAPANESE KNOTWEED IS BY HERBICIDE (GLYPHOSATE) APPLICATION. THERE ARE TWO (2) OPTIONS TO APPLY THE GLYPHOSATE:

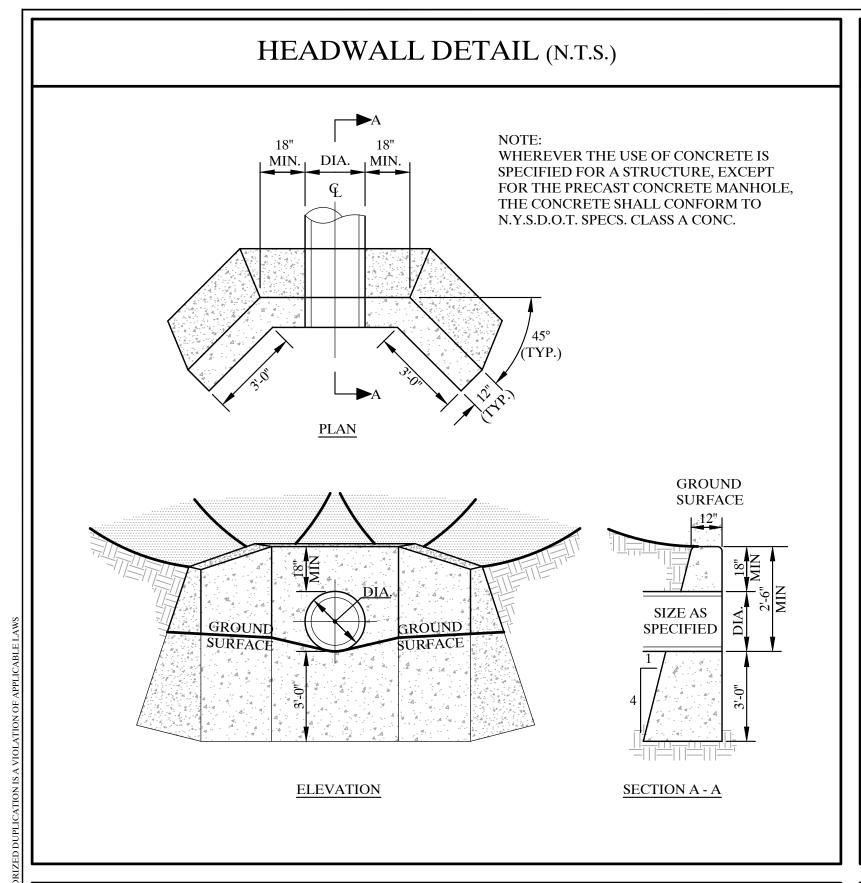
- 1. DIRECT LEAF CONTACT AFTER CUTTING DOWN THE PLANTS FLUSH WITH THE GROUND SURFACE, THE HERBICIDE SHOULD BE SPRAYED ON THE REMAINING LEAVES/SHOOTS WITH A PRESSURIZED GARDEN SPRAYER. EXTREME CARE MUST BE TAKEN WITH DIRECT LEAF SPRAY AS OVERSPRAY CAN DESTROY ANY VEGETATION THAT COMES IN CONTACT WITH THE GLYPHOSATE.
- 2. HERBICIDE INJECTION THE HERBICIDE IS INJECTED DIRECTLY INTO THE KNOTWEED CANES. IF THIS METHOD IS EMPLOYED, IT IS RECOMMENDED THAT THE INJECTIONS TAKE PLACE IN LATE SUMMER OR EARLY FALL WHEN THE KNOTWEED CANES ARE A MINIMUM OF ½" IN WIDTH BETWEEN THE FIRST AND SECOND NODES (FROM THE BOTTOM).

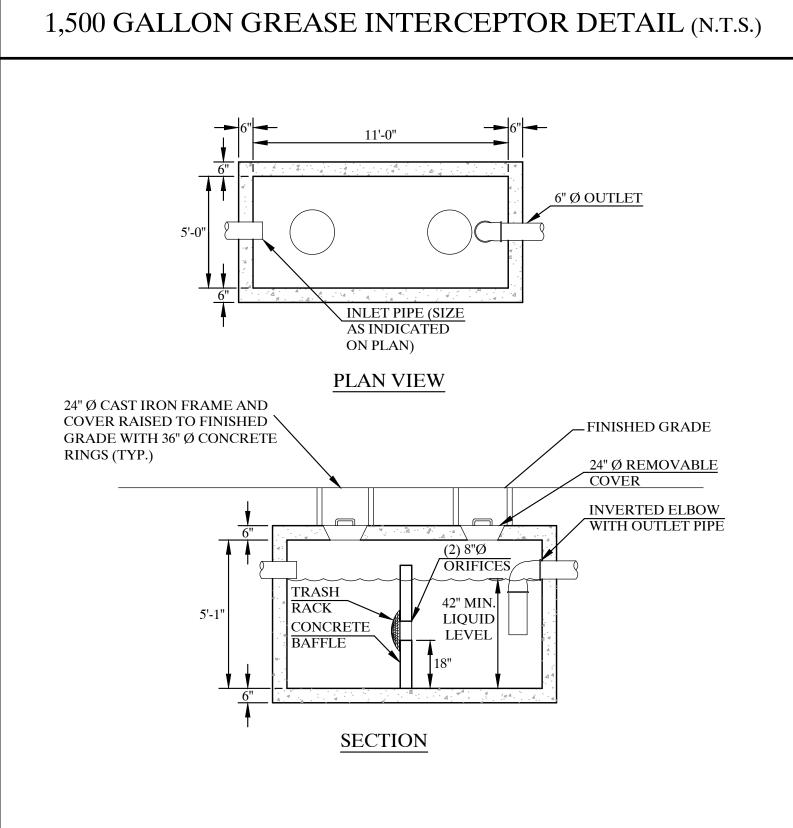
APPROVAL TO USE THE HERBICIDE METHOD WILL BE REQUIRED FORM THE TOWN'S WETLAND CONSULTANT PRIOR TO COMMENCEMENT.

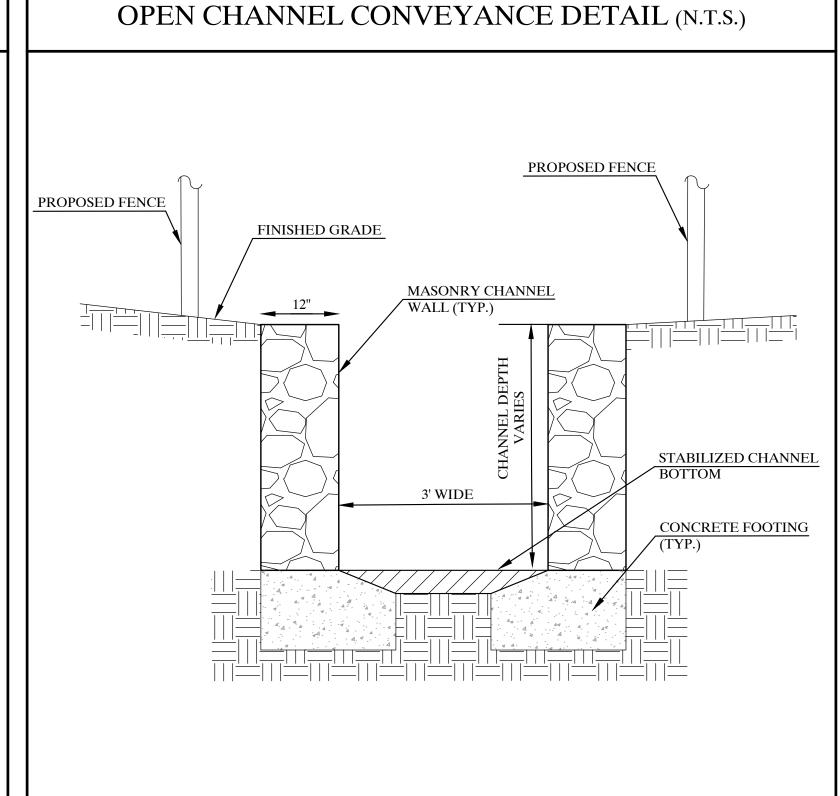
MONITORING AND MAINTENANCE EFFORTS FOR THE INVASIVE SPECIES REMOVAL/MANAGEMENT PROGRAM WILL BE CONDUCTED OVER A THREE (3) YEAR PERIOD. THE MITIGATION AREAS SHALL BE MONITORED FOR THE INTRODUCTION OF INVASIVE SPECIES ON A MONTHLY BASIS. UPON VISUAL OBSERVATION OF RE-EMERGENCE OF INVASIVE SPECIES WITHIN THE AREA, SAID SPECIES SHALL BE REMOVED MANUALLY IN ACCORDANCE WITH THE PLAN OR TREATED WITH HERBICIDE APPLICATION, IF APPROVED BY THE TOWN'S WETLAND CONSULTANT.

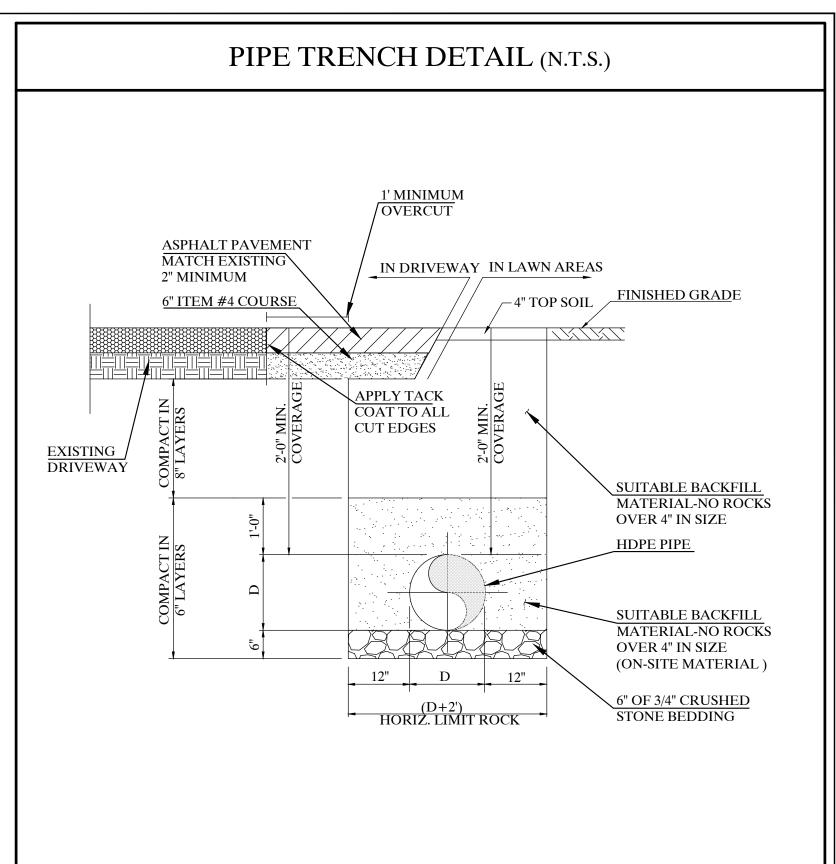


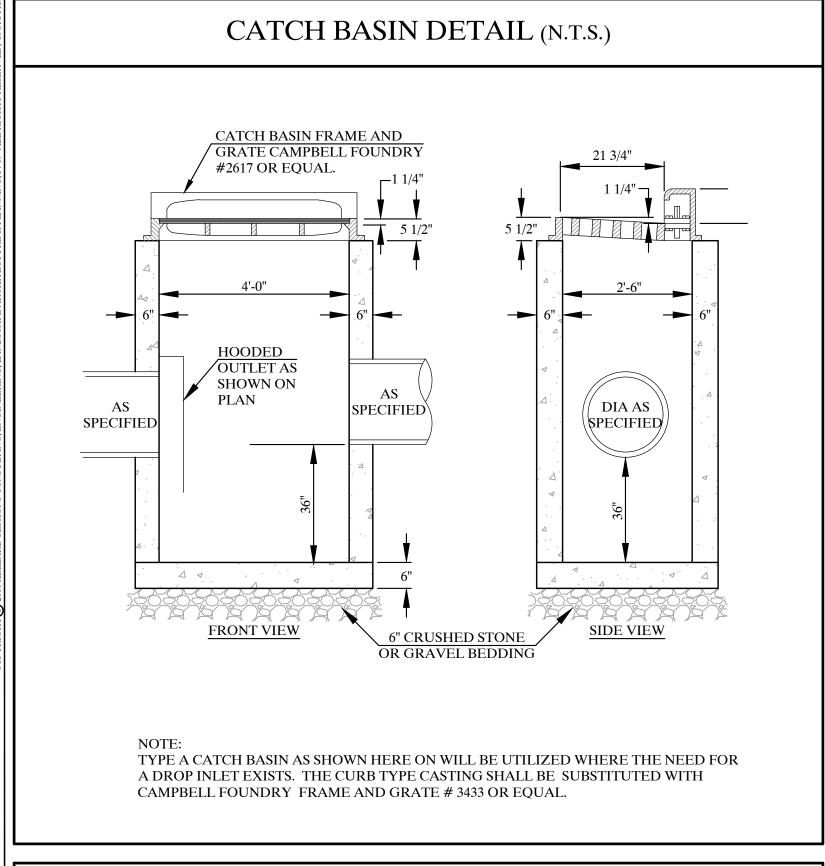


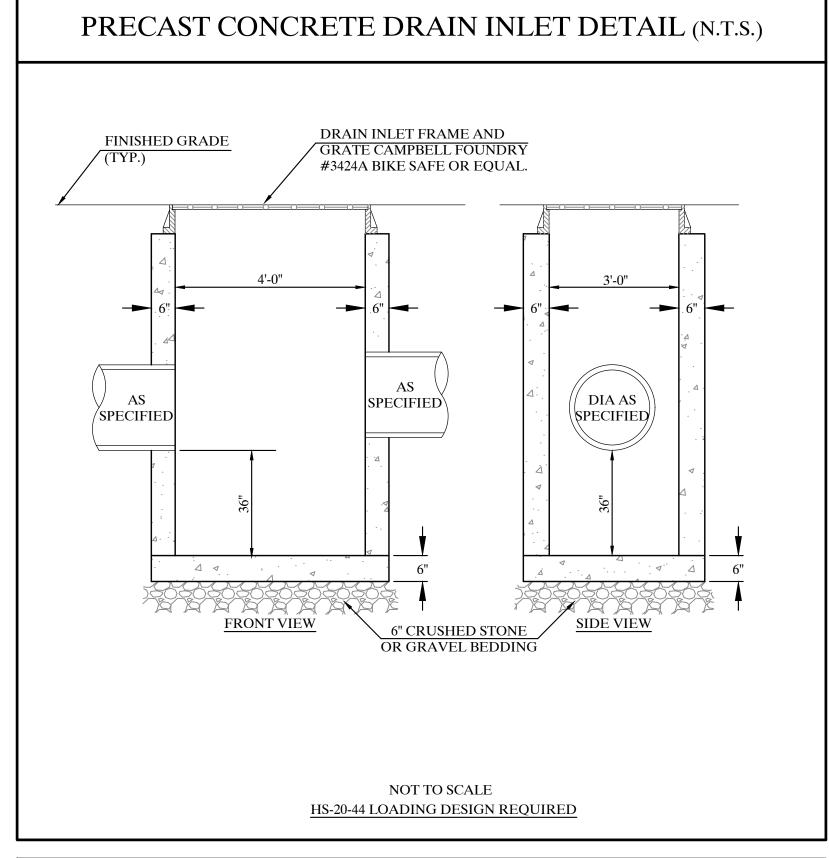


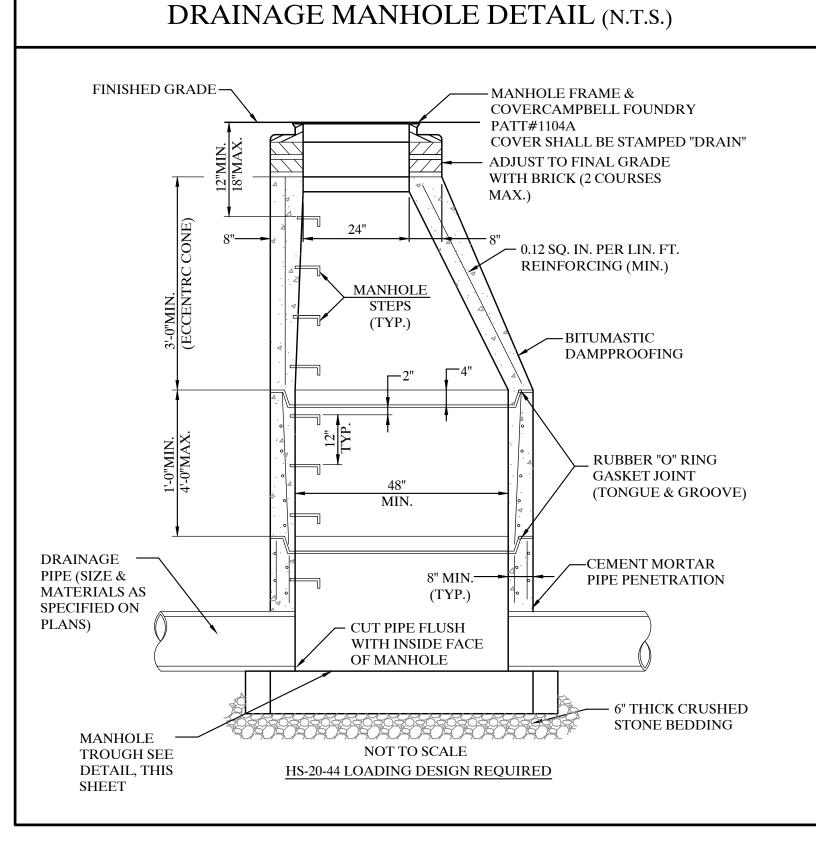


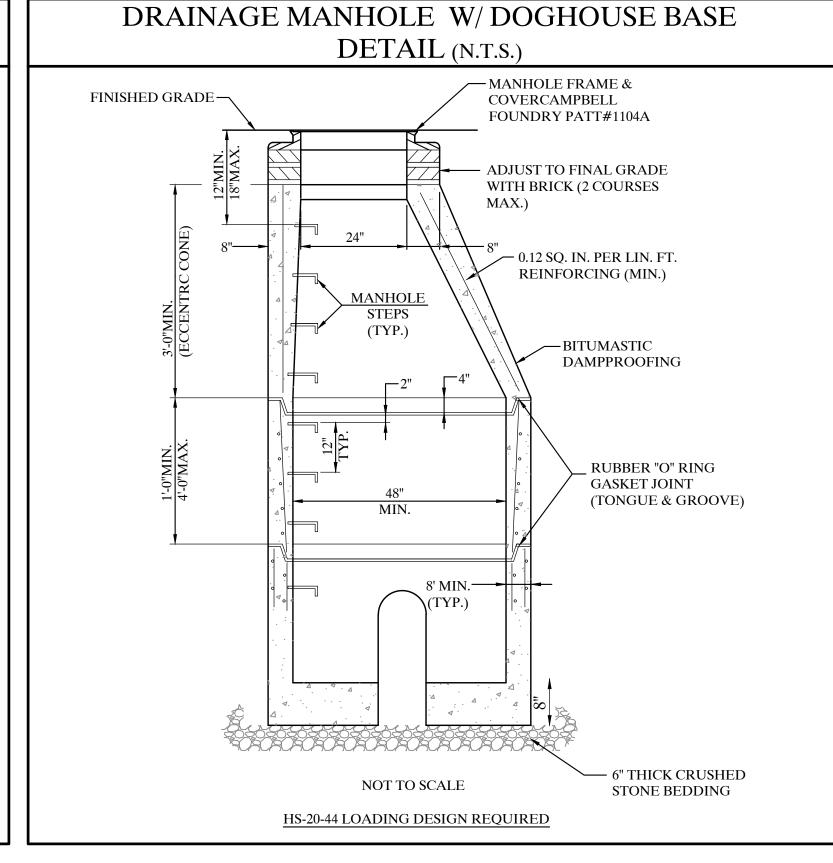


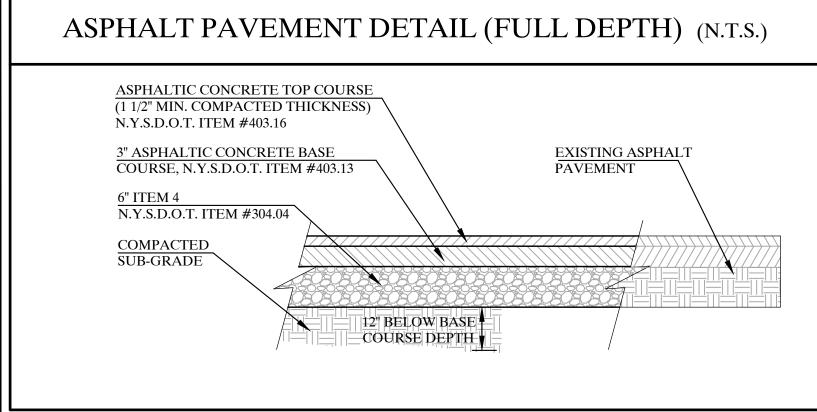


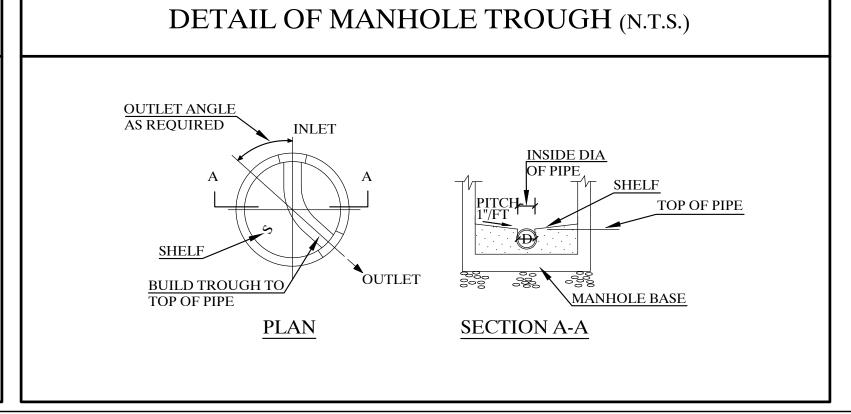


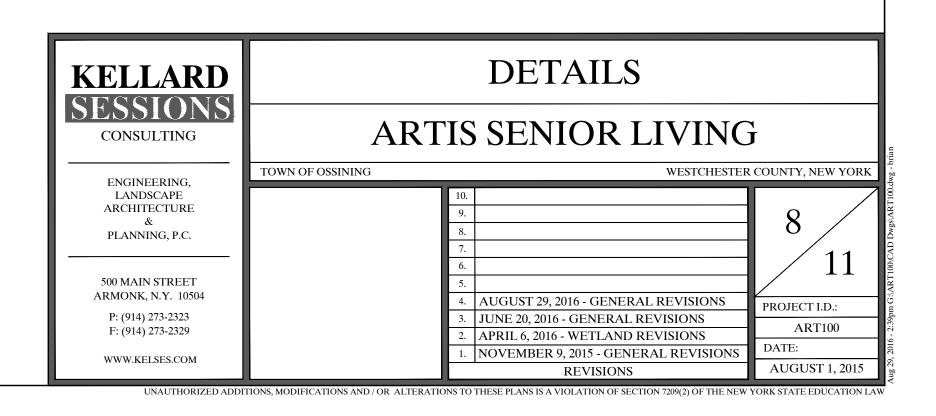


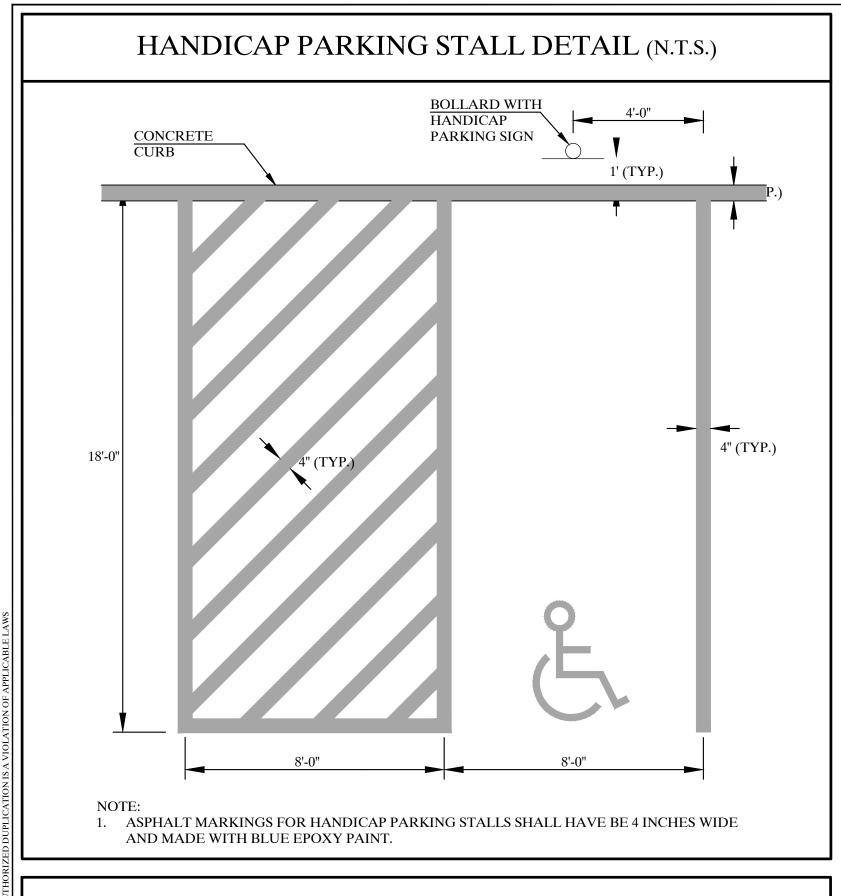


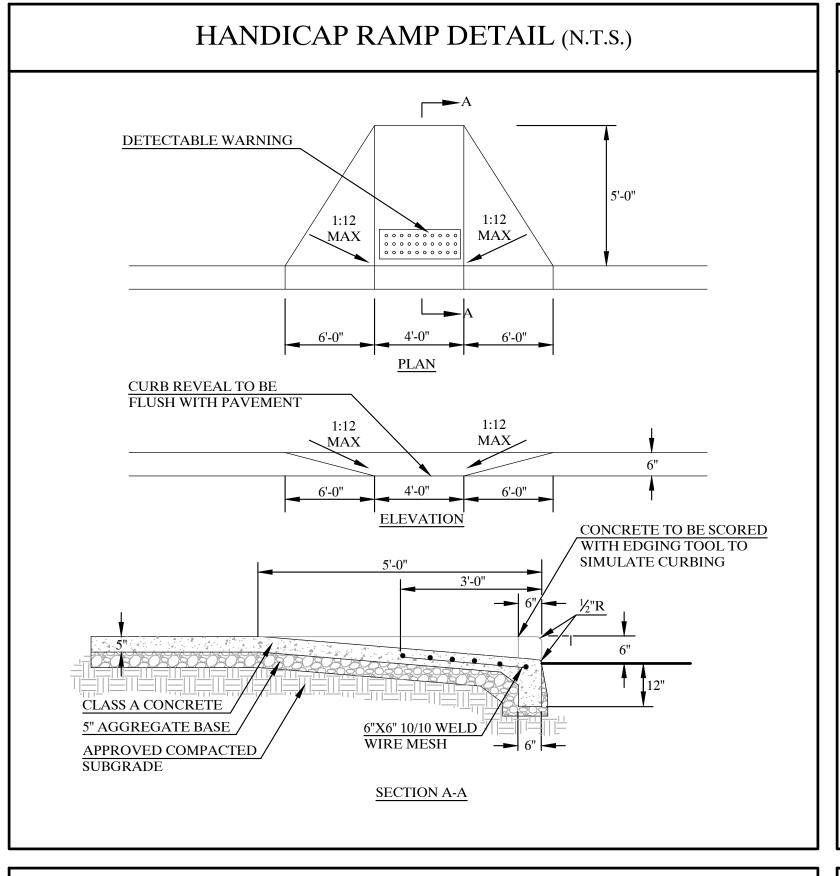


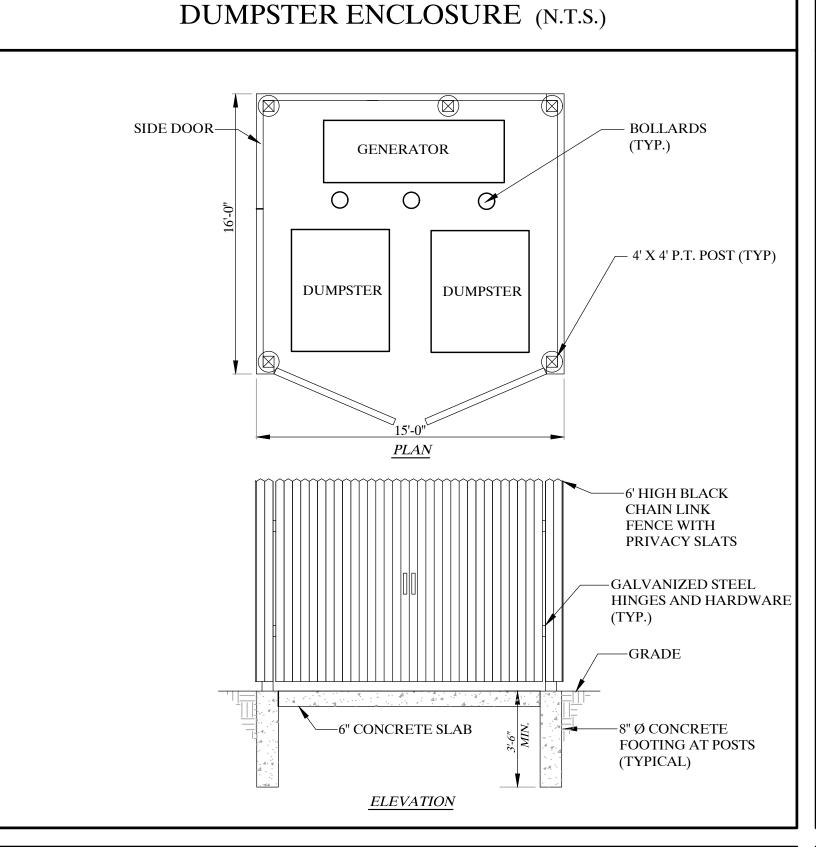


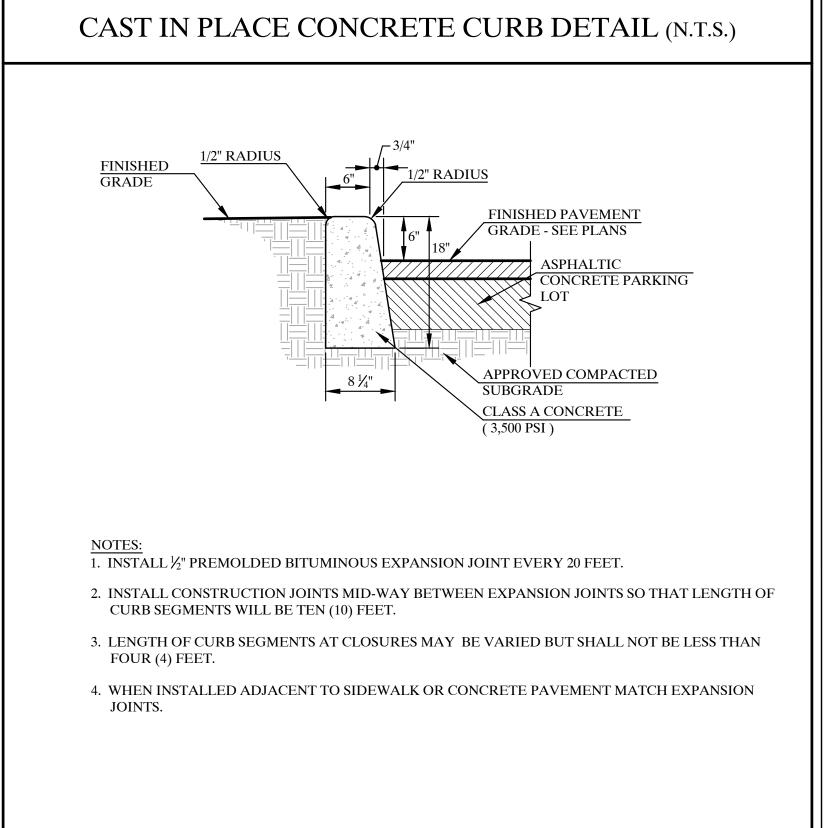


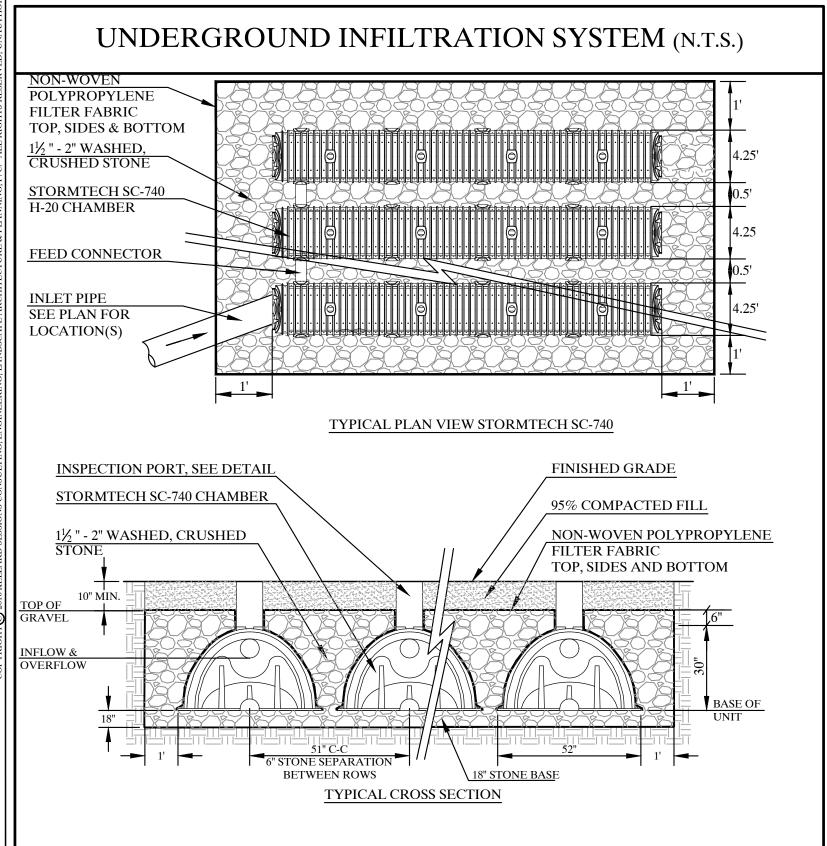


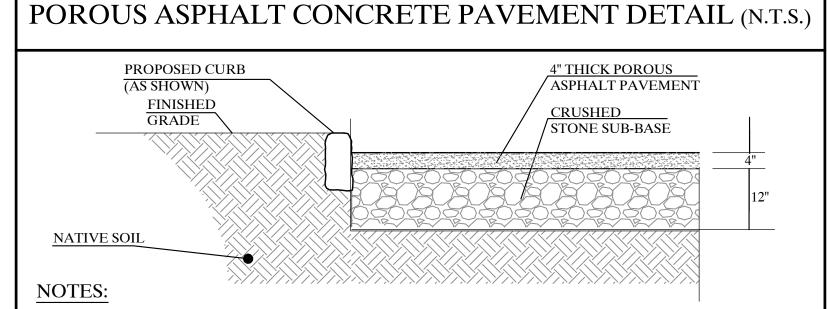








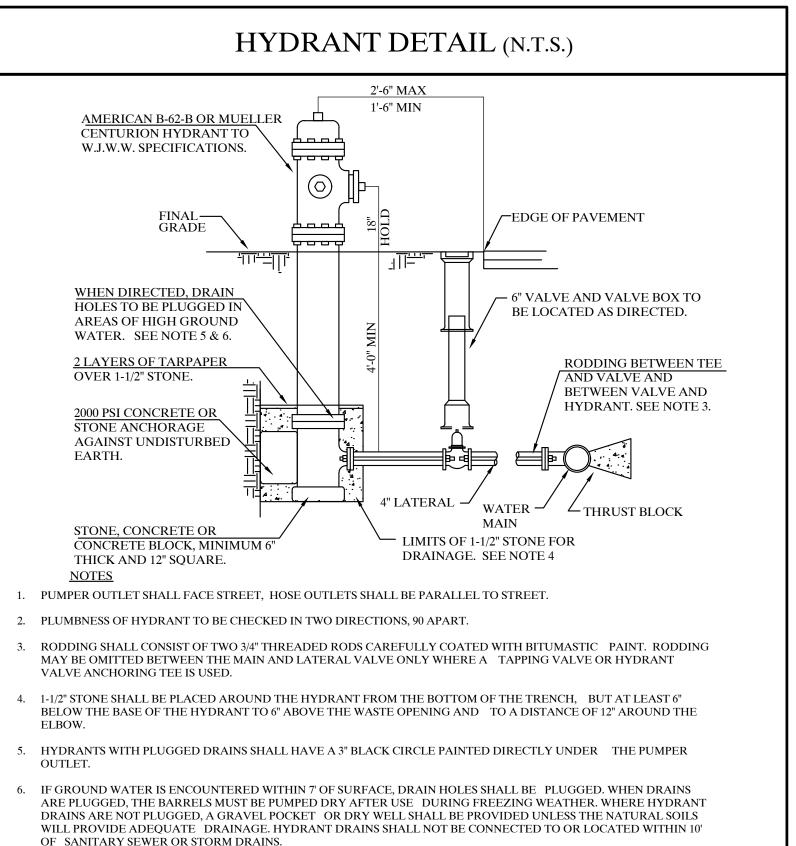


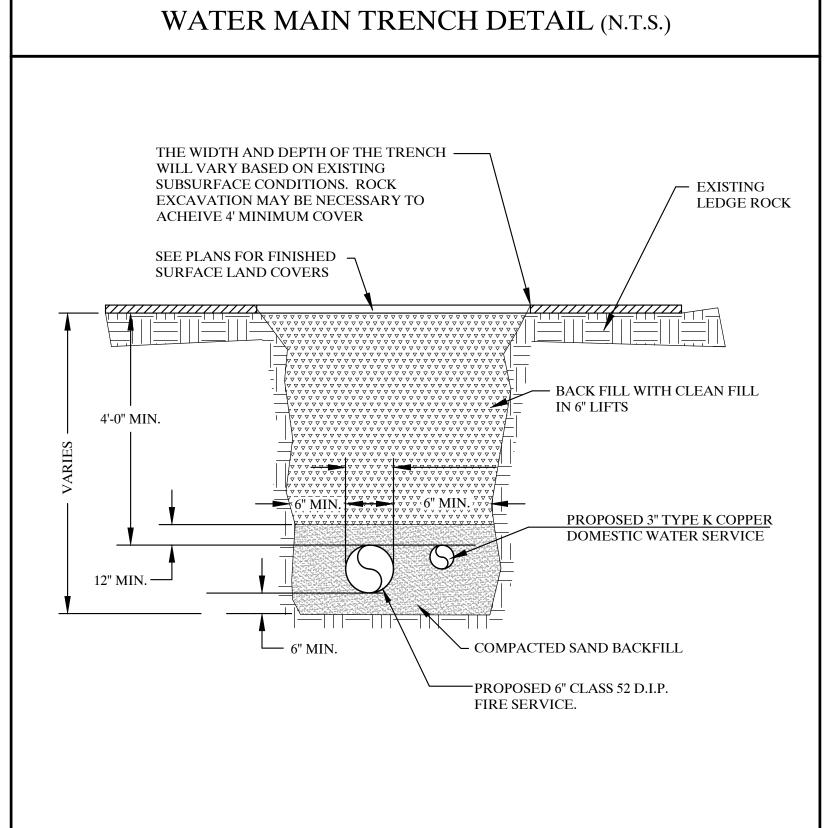


- 1. BITUMINOUS SURFACE FOR POROUS PAVEMENT SHALL BE 4" THICK WITH A BITUMINOUS MIX OF 5.75% TO 6% BY WEIGHT DRY AGGREGATE, 6, IN ACCORDANCE WITH ASTM D6390, DRAIN DOWN OF THE BINDER SHALL BE NO GREATER THAN 0.3%. IF MORE ABSORPTIVE AGGREGATES, SUCH AS LIMESTONE, ARE USED IN THE MIX, THEN THE AMOUNT OF BITUMEN IS TO BE BASED ON THE TESTING PROCEDURES OUTLINED IN THE NATIONAL ASPHALT PAVEMENT ASSOCIATION'S INFORMATION SERIES 131-"PERVIOUS ASPHALT
- PAVEMENTS" (2003) OR PENNDOT EQUIVALENT.

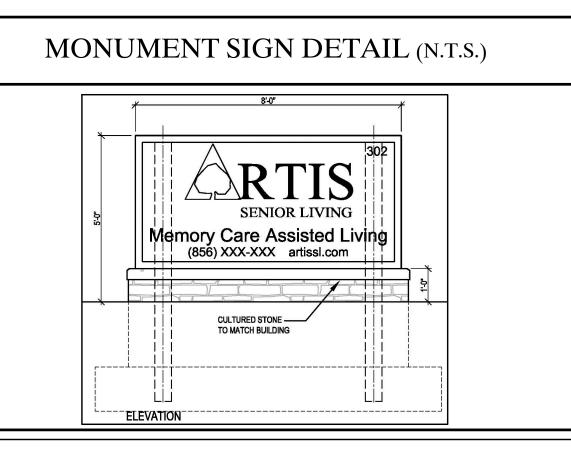
 2. NEAT ASPHALT BINDER MODIFIED WITH AN ELASTOMERIC POLYMER SHALL BE USED TO PRODUCE A BINDER MEETING THE REQUIREMENTS OF PG 76-22 AS SPECIFIED IN AASHTO MP-1. THE POLYMER SHALL BE DSTYRENE-BUTADIENE-STYRENE (SBS) OR APPROVED EQUAL AND SHALL BE APPLIED AT A RATE OF
- HYDRATED LIME SHALL BE ADDED AT A DOSAGE RATE OR 1.0% BY WEIGHT OF THE TOTAL DRY
 AGGREGATE TO MIXES CONTAINING GRANITE AND SHALL MEET THE REQUIREMENTS OF ASTM C 977.
 THE ASPHALTIC MIX SHALL BE TESTED FOR IT'S RESISTANCE TO STRIPPING BY WATER IN ACCORDANCE
- WITH ASTM D-1664.
 5. POROUS PAVEMENT SHALL NOT BE INSTALLED ON WET SURFACES OR WHEN AMBIENT AIR
- TEMPERATURE IS 50 DEGREES FAHRENHEIT OR LOWER.
 6. TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 300 DEGREES FAHRENHEIT AND 350
- DEGREES FAHRENHEIT (BASED ON RECOMMENDATIONS OF THE ASPHALT SUPPLIER).

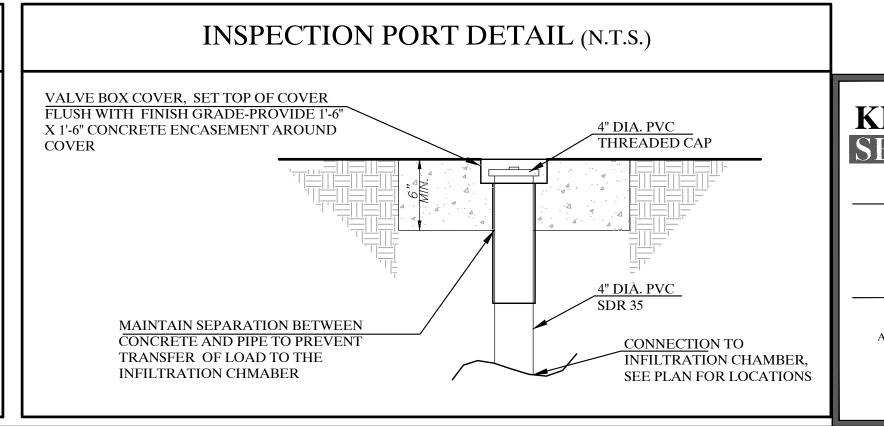
 7. PLANTED AREAS ADJACENT TO THE PERVIOUS PAVEMENT SHOULD BE MAINTAINED AND INSPECTED ON
- 9. PERVIOUS PAVEMENT SHALL BE VACUUMED 2 TO 3 TIMES PER YEAR. PAVEMENT WASHING SYSTEMS OR COMPRESSED AIR UNITS ARE NOT RECOMMENDED. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT.
- 10. FOR WINTER MAINTENANCE OPERATIONS, ABRASIVES SUCH AS SAND OR CINDERS SHOULD NOT BE APPLIED ON OR ADJACENT TO PERVIOUS PAVEMENT.
- 11. SNOW PLOWING IS ACCEPTABLE, PROVIDED IT IS DONE BY SETTING THE BLADE SLIGHTLY HIGHER THAN USUAL (APPROXIMATELY 1 INCH).
- 12. SALT IS ACCEPTABLE FOR USE AS A DE-ICER ON THE PERVIOUS PAVEMENT, THOUGH NONTOXIC, ORGANIC DE-ICERS APPLIED EITHER AS BLENDED MAGNESIUM CHLORIDE BASED LIQUID PRODUCTS, OR AS PRETREATED SALT ARE PREFERABLE.

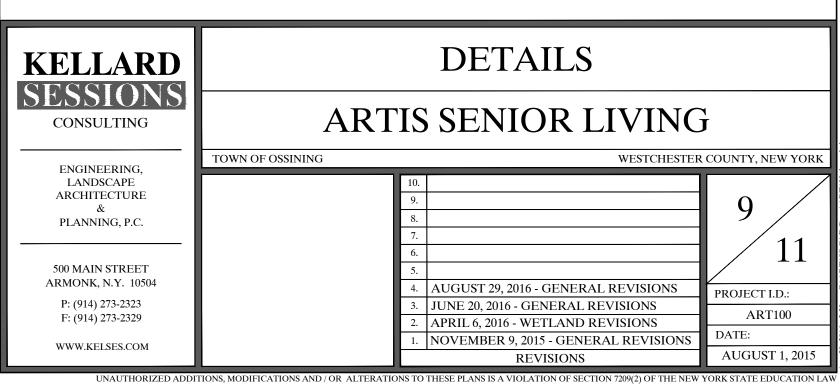




AS SHOWN AS SHO







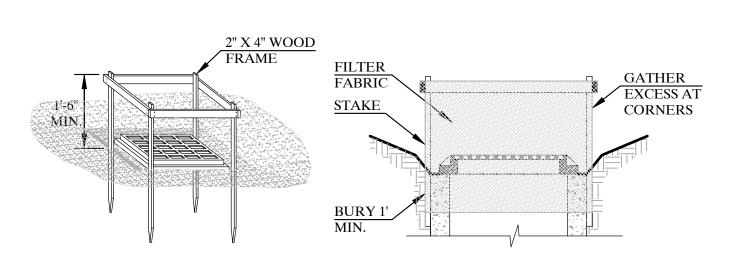
WITH VEGETATION OR OR LESS SILT FENCE **INSTALLATION NOTES** 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE

2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.

4. SEE SPECIFICATIONS FOR INSTALLATION OF SILTFENCE.

TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)

FILTER FABRIC DROP INLET PROTECTION DETAIL (N.T.S.)

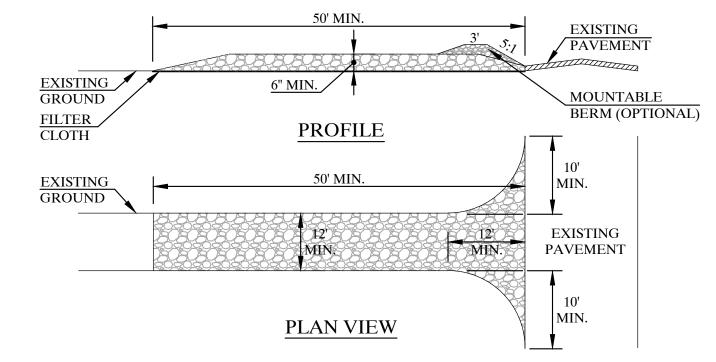


CONSTRUCTION SPECIFICATIONS

- 1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM
- 2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- 3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- 4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- 6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA = 1 ACRE

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

- STONE SIZE USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS NOT LESS THAN SIX (6) INCHES.

DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

- WIDTH TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
- SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CON- STRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED,
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SILT FENCE DETAIL (N.T.S.) **HEIGHT OF** FILTER ABOVE GROUND 16" MIN. PERSPECTIVE VIEW

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
- 1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN FILTER CLOTH: FILTER X, EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

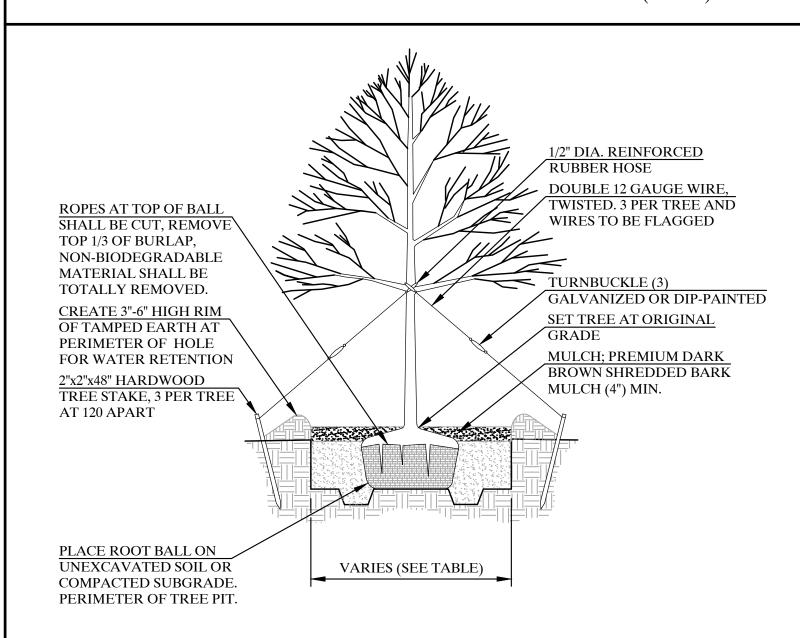
POSTS AT TOP AND MID SECTION.

- MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
- 3. MAINTENANCE SHALL BE PERFORMED AS PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED NEEDED AND MATERIAL REMOVED WHEN **EQUAL** "BULGES" DEVELOP IN THE SILT FENCE.

DECIDUOUS TREE PLANTING DETAIL (N.T.S.)

3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED

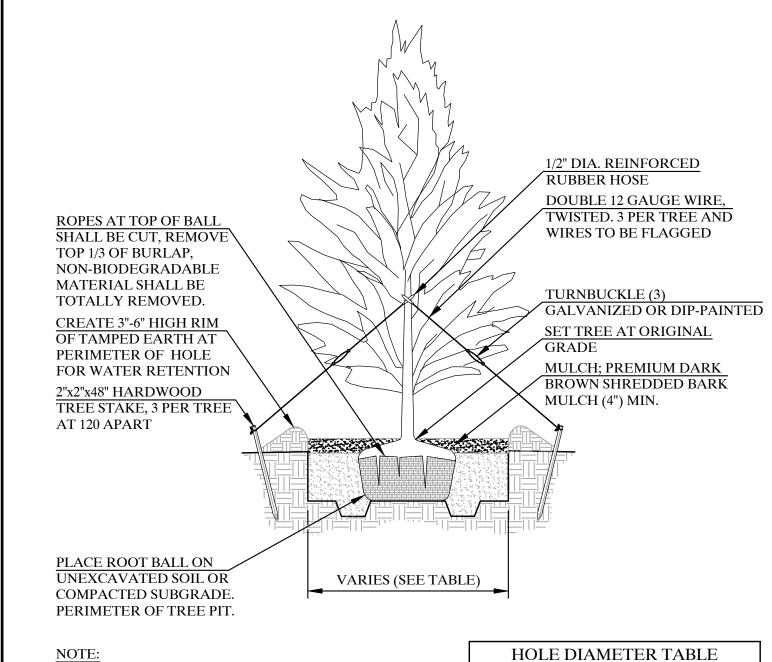
WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.



PLANTED TREES SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH. TREE GUARDS, ETC. OR OTHER MEASURES.

HOLE DIAMETER TABLE ROOT BALL SIZE HOLE DIAMETER LESS THAN 4'Ø 2X BALL Ø 1 3/4X BALL Ø 4'-5'Ø GREATER THAN 5'Ø | 1 1/2X BALL Ø

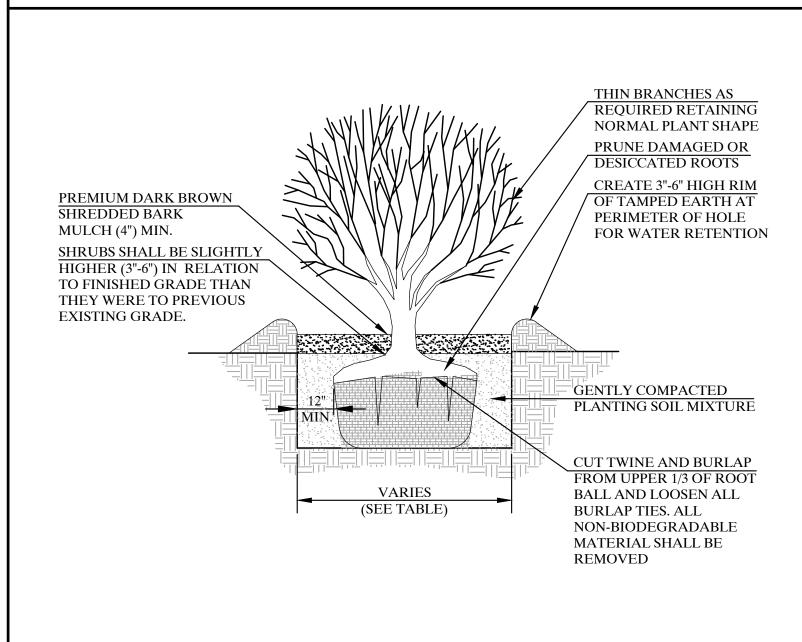
EVERGREEN TREE PLANTING DETAIL (N.T.S.)



PLANTED TREES SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

ROOT BALL SIZE HOLE DIAMETER LESS THAN 4'Ø 2X BALL Ø 1 3/4X BALL Ø 4'-5'Ø GREATER THAN 5'Ø 1 1/2X BALL Ø

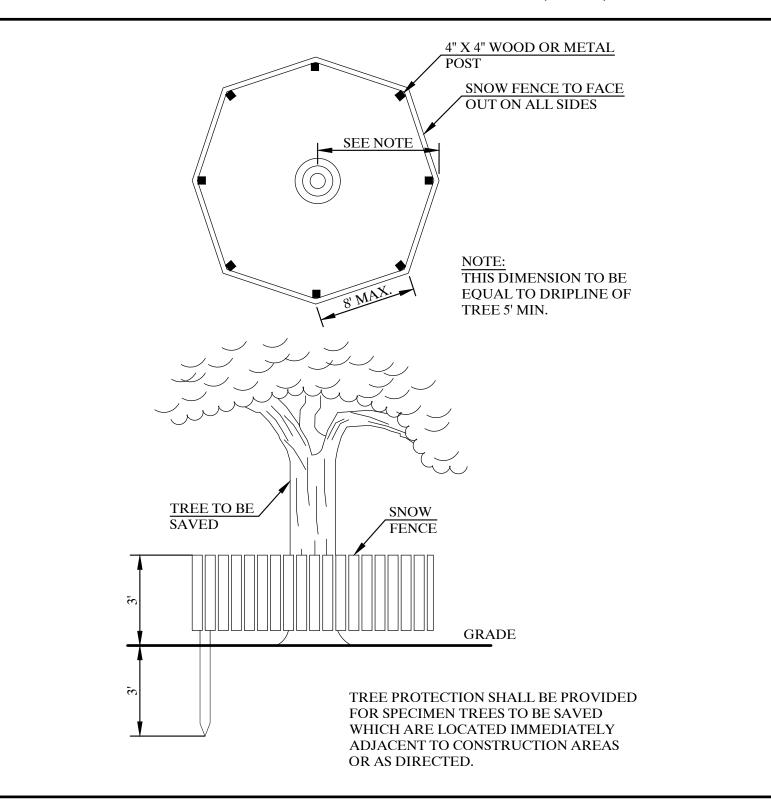
SHRUB PLANTING DETAIL (N.T.S.)

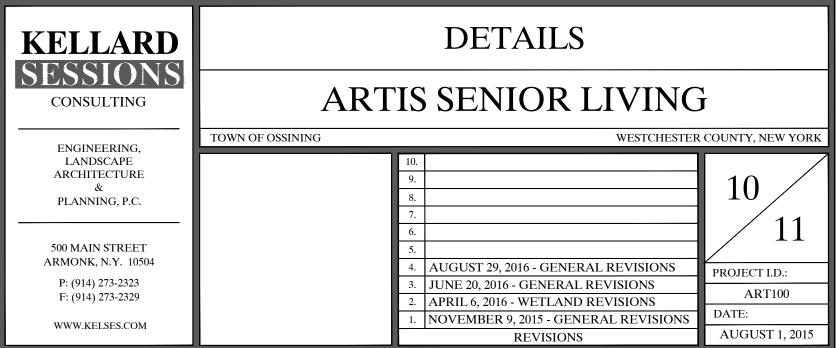


PLANTED SHRUBS SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

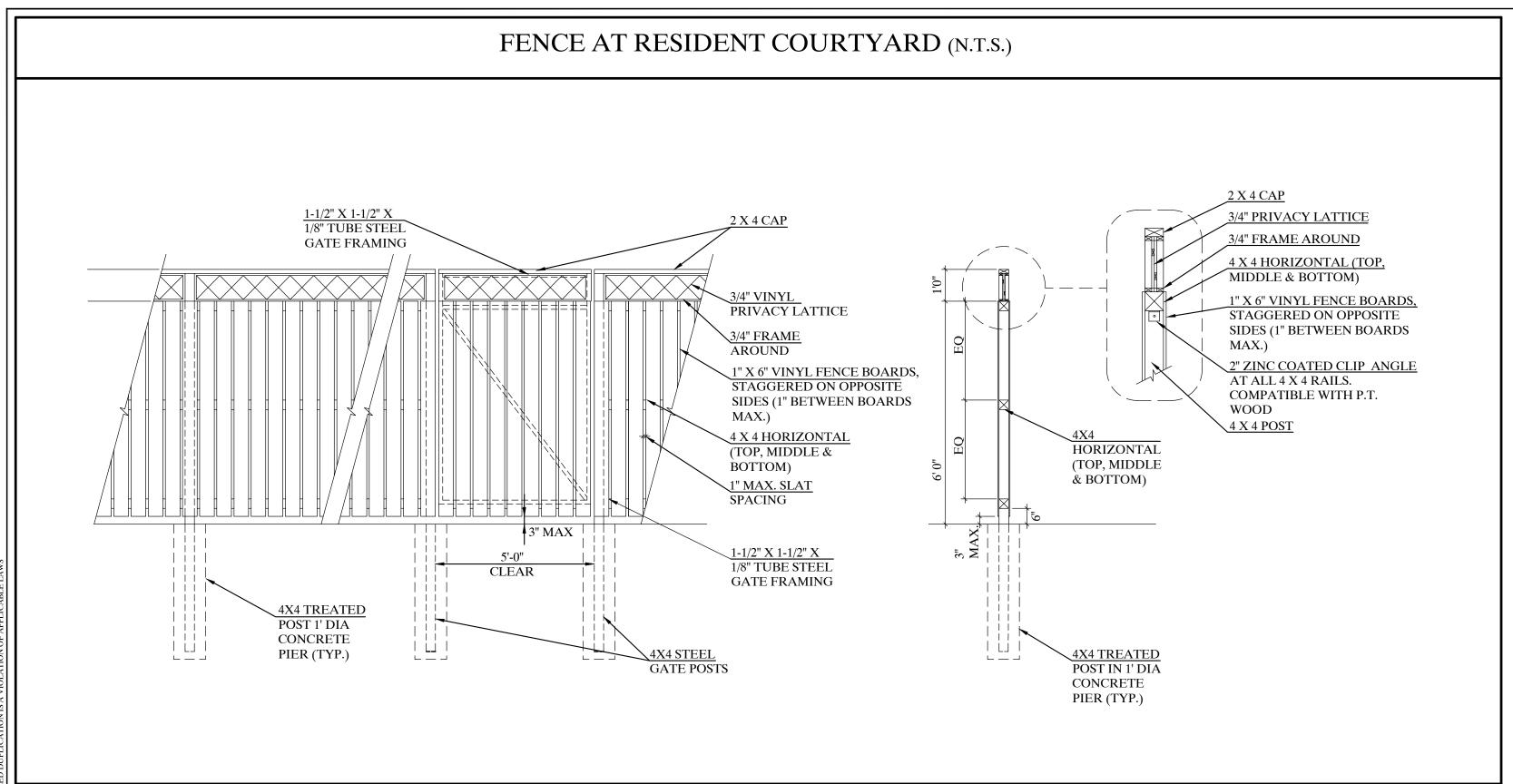
HOLE DIAMETER TABLE ROOT BALL SIZE HOLE DIAMETER LESS THAN 4'Ø 2X BALL Ø 1 3/4X BALL Ø 4'-5'Ø GREATER THAN 5'Ø | 1 1/2X BALL Ø

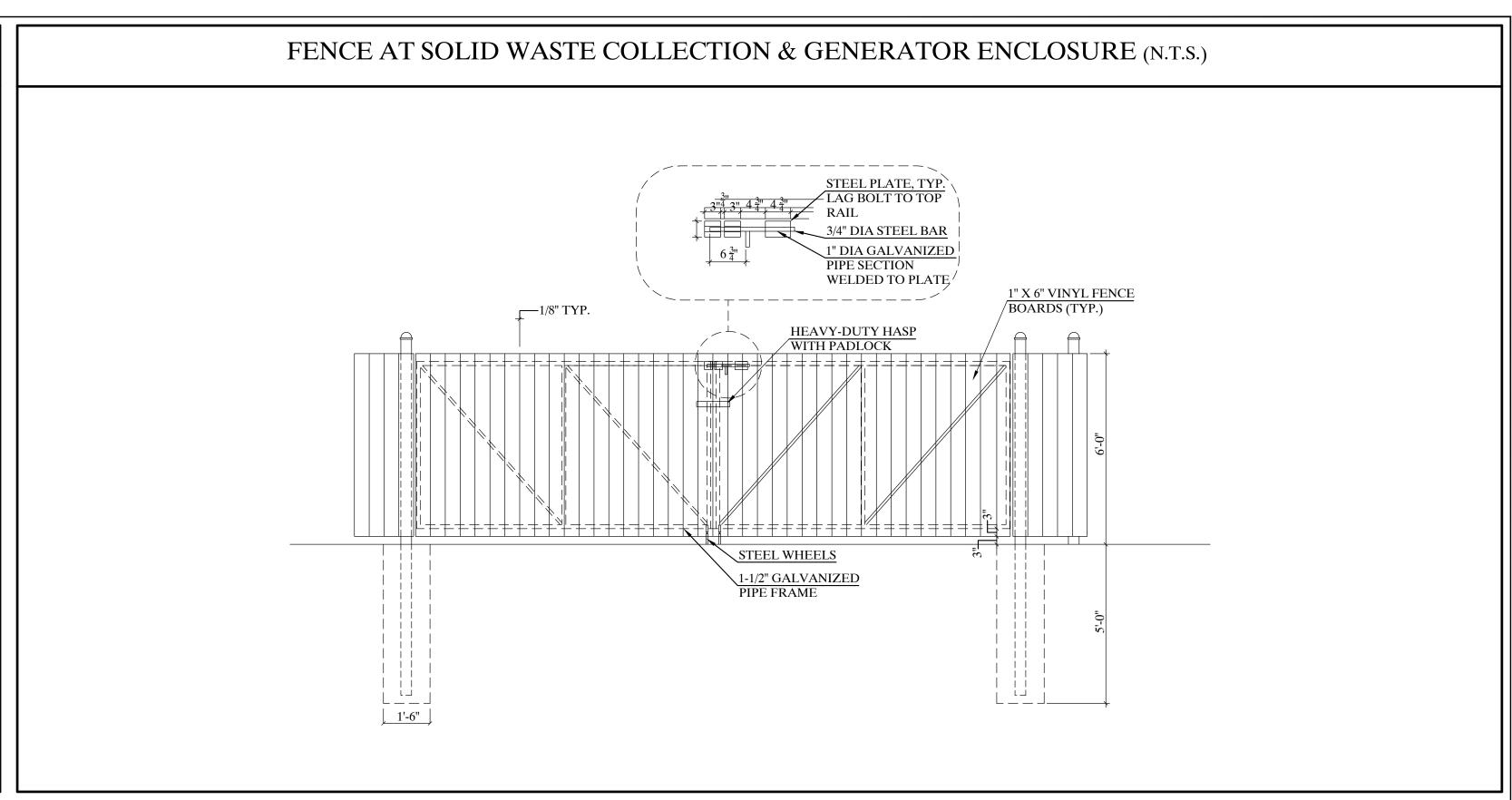
TREE PROTECTION DETAIL (N.T.S.)





 $\textbf{UNAUTHORIZED ADDITIONS, MODIFICATIONS AND}/\textbf{OR. ALTERATIONS TO THESE PLANS IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION L$





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WESTCHESTER COUNTY, NEW YORK

PROJECT I.D.:

DATE:

ART100

AUGUST 1, 2015

4. AUGUST 29, 2016 - GENERAL REVISIONS

NOVEMBER 9, 2015 - GENERAL REVISIONS

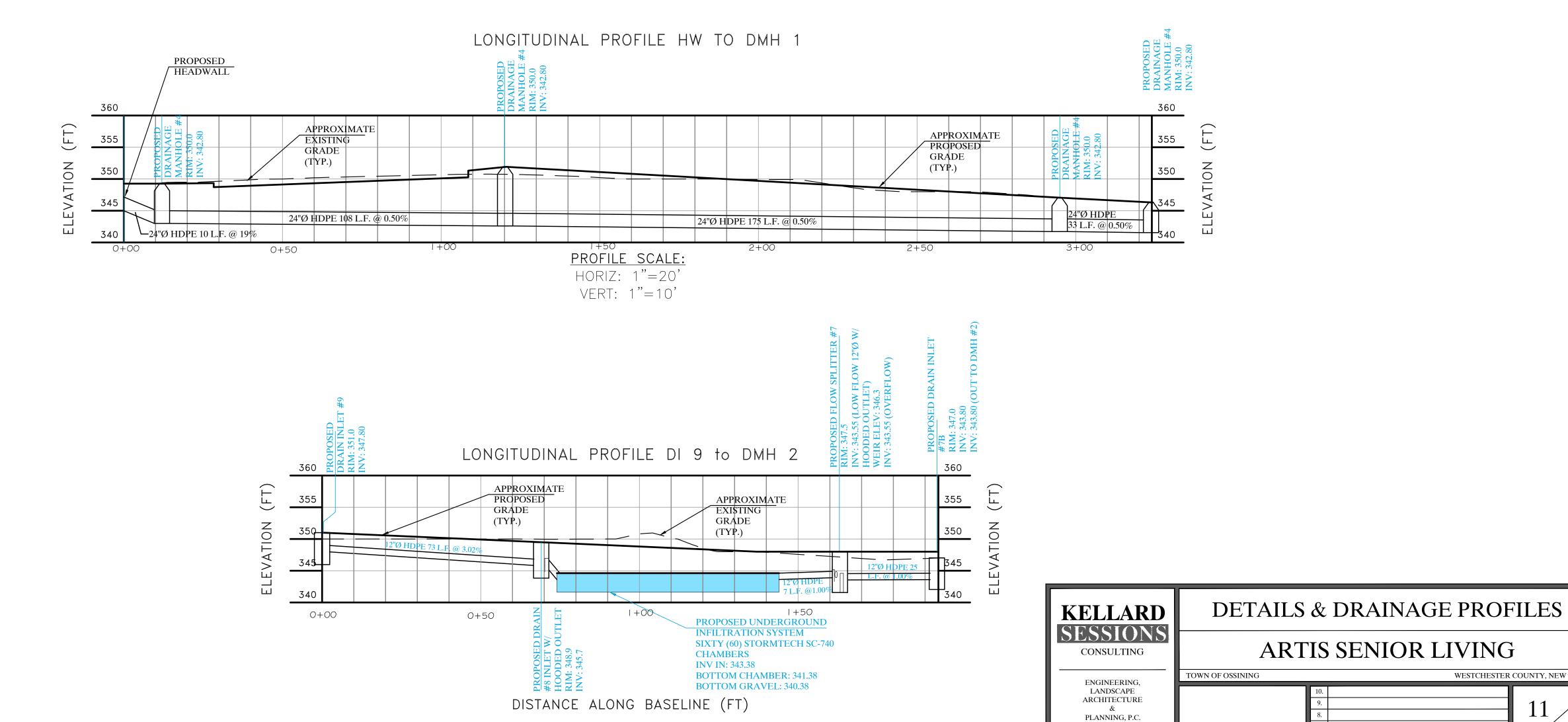
REVISIONS

3. JUNE 20, 2016 - GENERAL REVISIONS

2. APRIL 6, 2016 - WETLAND REVISIONS

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COURTYARD GATE DETAILS (N.T.S.) PICKETS ATTACHED TO 2X FRAMING TS POST 3-1/2" X 3-1/2" X 1/8" HINGE SWING SIDE TS FRAME 1-1/2" / X 1-1/2" X 1/8" TS FRAME BRACE 1-1/2" X 1-1/2" X 1/8" GENERAL NOTES: 1. EACH 2X4 CAP RAIL TO SPAN AT LEAST (2) FENCE SECTIONS CONTINUOUSLY. 2. AT DOUBLE-SIDED COURTYARD FENCE, OFFSET SLAT LOCATION TO PROVIDE VISUAL SCREENING. 3. GATES ARE TO PROPERLY SECURED BY CONTRACTOR UNTIL OWNER LOCKS ARE INSTALLED AND OPERABLE. 4. REFER TO ELECTRICAL DRAWINGS FOR DOOR SECURITY



PROFILE SCALE:
HORIZ: 1"=20'

VERT: 1"=10'