

# SITE DEVELOPMENT PLANS

## PREPARED FOR

# ARTIS SENIOR LIVING, LLC

TOWN OF OSSINING                      WESTCHESTER COUNTY, NEW YORK

DATE:        AUGUST 1, 2015  
REVISED: NOVEMBER 9, 2015  
REVISED: APRIL 6, 2016  
REVISED: JUNE 20, 2016  
REVISED: AUGUST 29, 2016



SITE DATA

SITE LOCATION:        553 NORTH STATE ROAD  
                                 BRIARCLIFF MANOR, NEW YORK

OWNER/APPLICANT:    ARTIS SENIOR LIVING, LLC  
                                 1651 OLD MEADOW ROAD, SUITE 100  
                                 McCLEAN VA, 22102

LOT SIZE:                1.53 ACRES

ZONING DISTRICT:      GB - GENERAL BUSINESS

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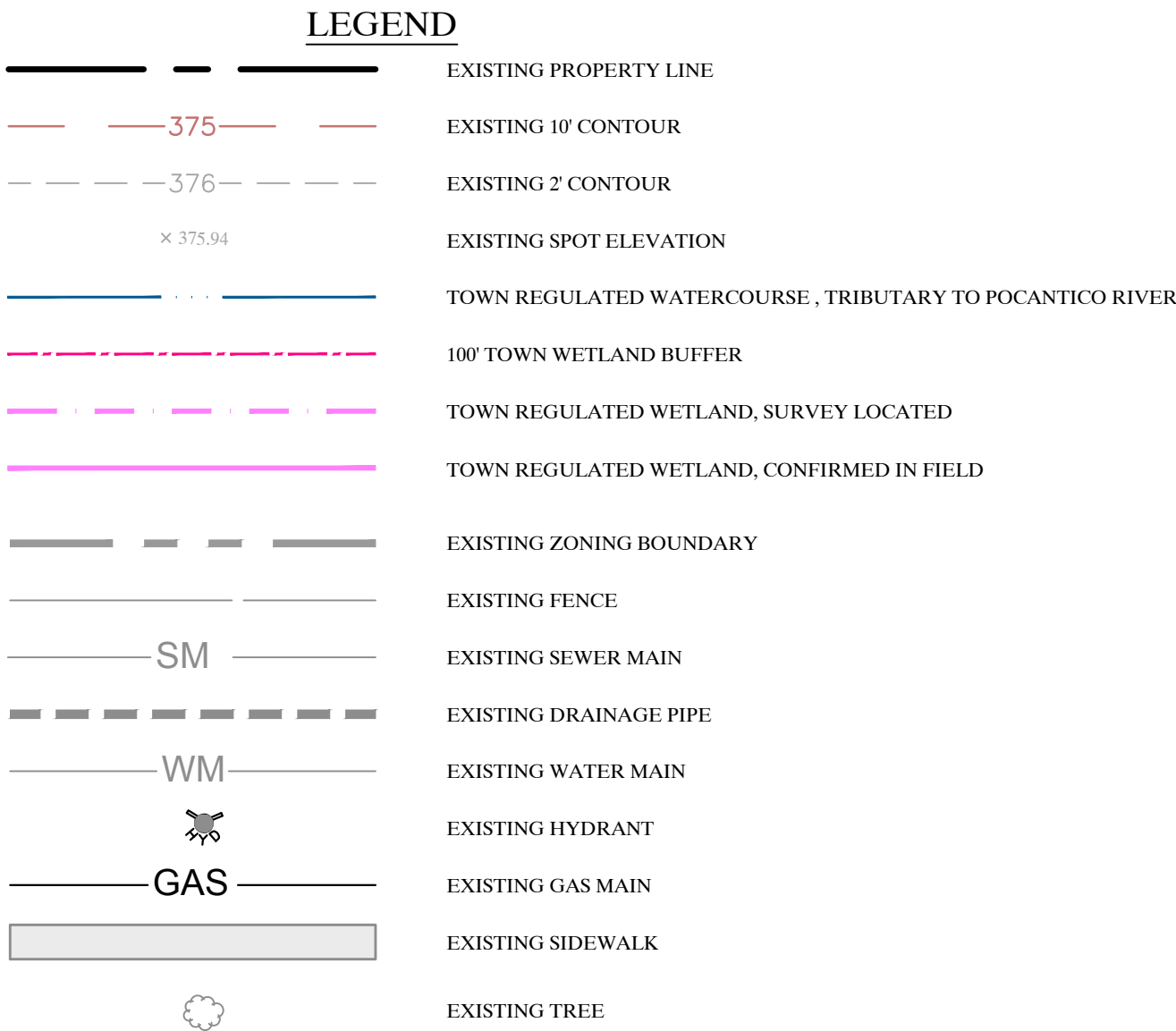
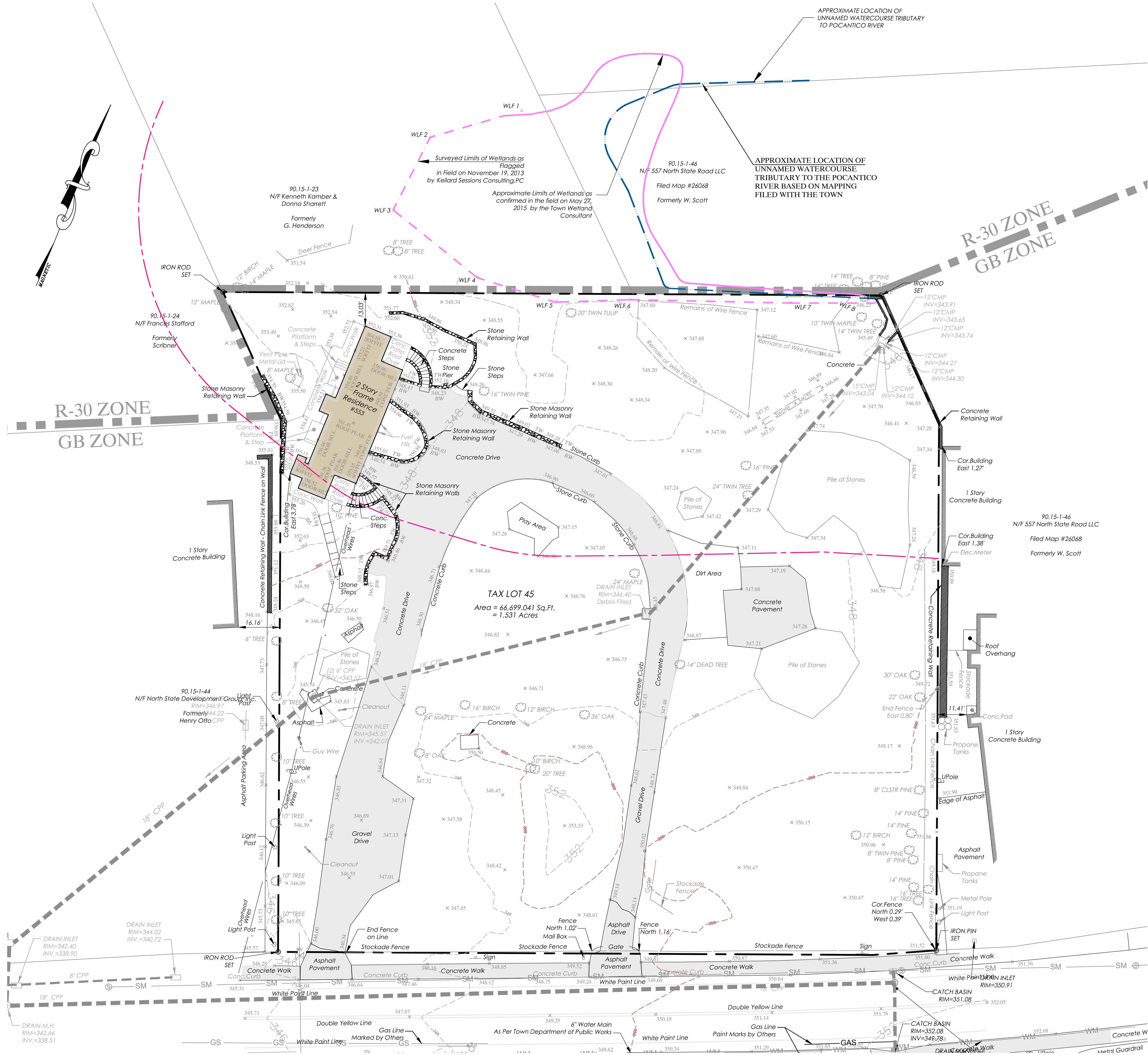
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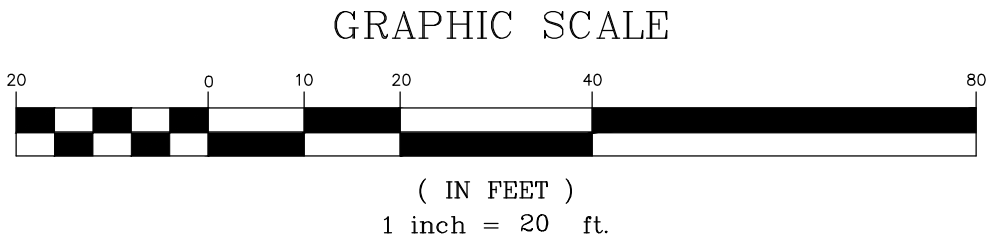
500 Main Street • Armonk, N.Y. 10504

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F: (914) 273-2329





- GENERAL NOTES:**
- SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITT'S LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20, 2014.
  - THE WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015.



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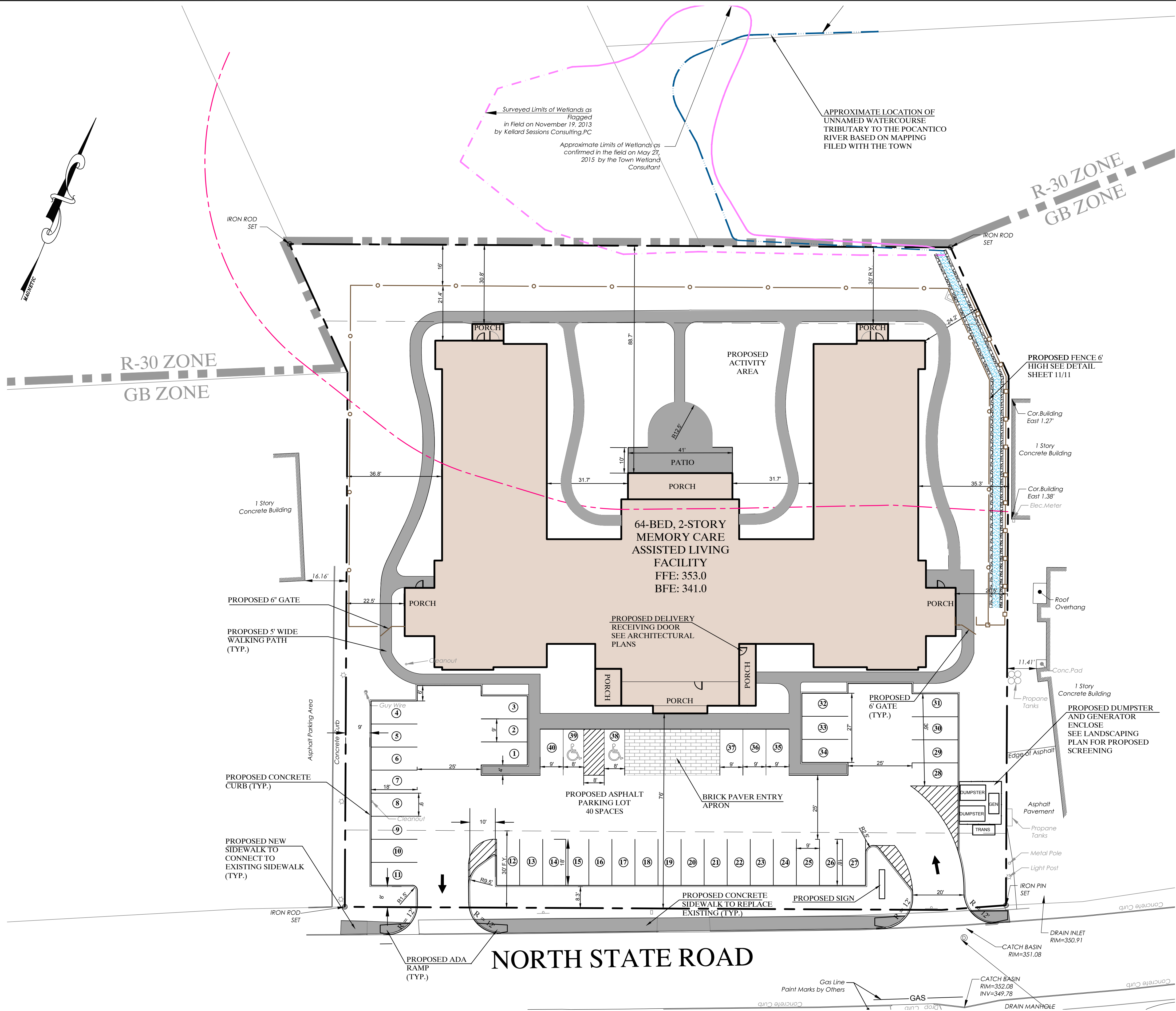
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## EXISTING CONDITIONS PLAN

### ARTIS SENIOR LIVING

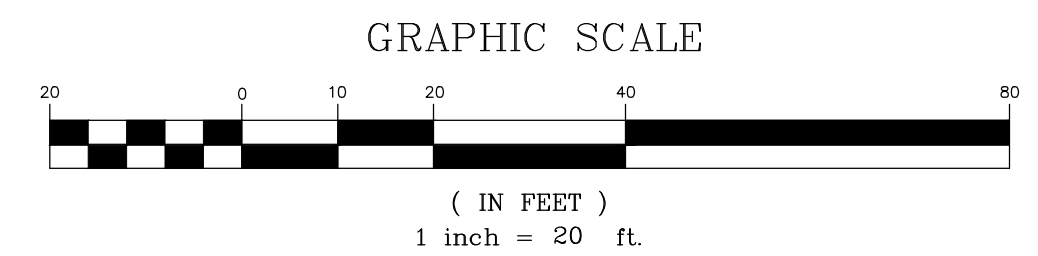
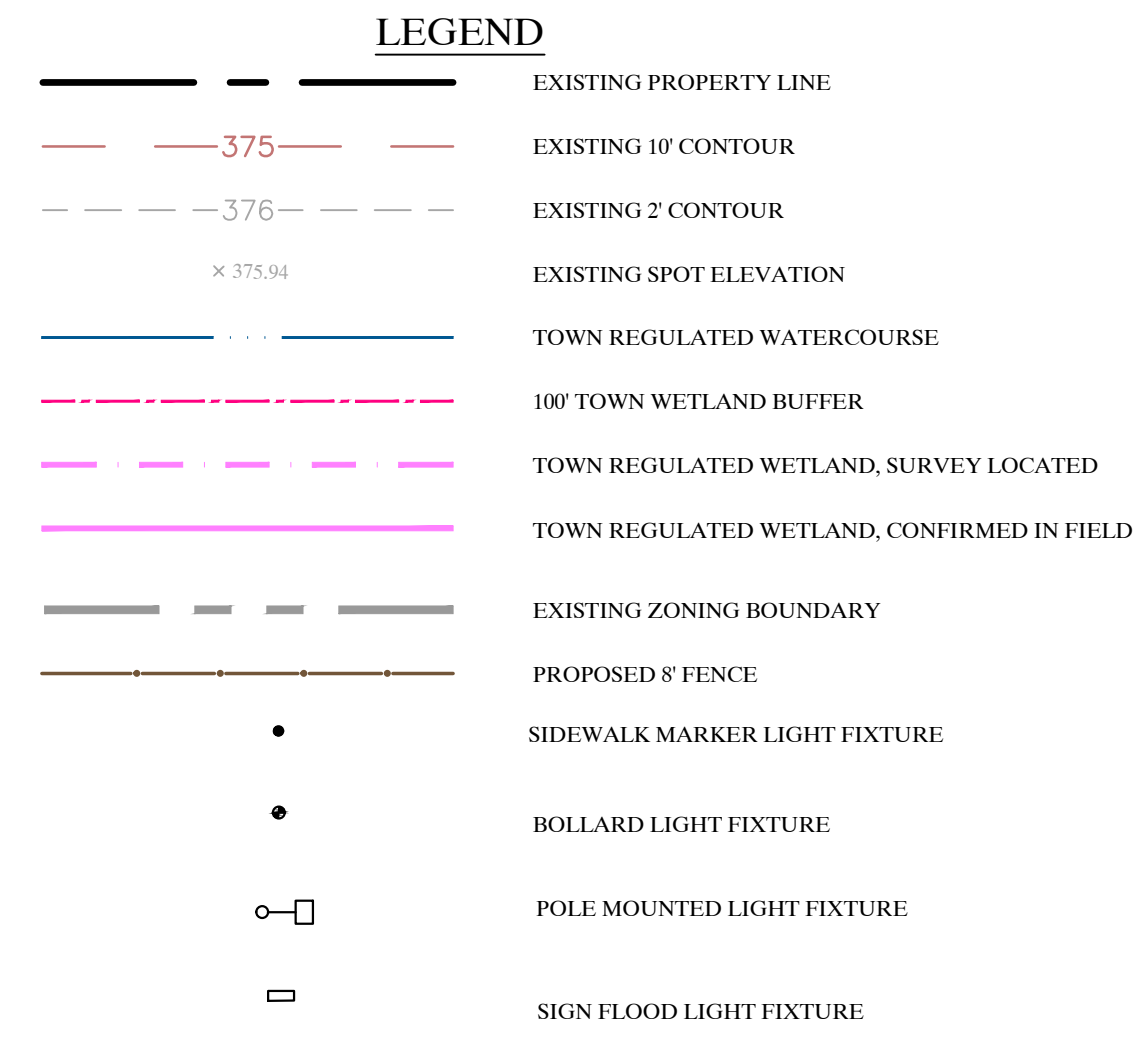
TOWN OF OSSING		WESTCHESTER COUNTY, NEW YORK		
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	4.	AUGUST 29, 2016 - GENERAL REVISIONS		PROJECT I.D.:
	3.	JUNE 20, 2016 - GENERAL REVISIONS		
	2.	APRIL 6, 2016 - WETLAND REVISIONS		ART100
	1.	NOVEMBER 9, 2015 - GENERAL REVISIONS		DATE:
	REVISIONS		AUGUST 1, 2015	





- GENERAL NOTES:
1. SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITT'S LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20, 2014.
  2. THE WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015.
  3. ALL VEGETATION SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ANY VEGETATION NOT SO MAINTAINED SHALL BE REPLACE WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
  4. ALL EXTERIOR LIGHTING SHOWN ON THESE PLANS SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
  5. ALL UTILITY LINES ASSOCIATED WITH THIS PROJECT SHALL BE LOCATED UNDERGROUND.
  6. SEE ARCHITECTURAL PLANS PREPARED BY DENNIS D. SMITH, AIA ARCHITECT FOR BUILDING INFORMATION.
  7. SEE LIGHTING PLAN BY ARCHITECT FOR LIGHTING DESIGN INFORMATION.
  8. ALL EXTERIOR LIGHTING SHOWN ON THIS PLAN SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.

ZONING (GB) TABLE - OSSINING		
REGULATION	MIN./MAX. DISTRICT REQUIREMENTS (GB)	PROPOSED
LOT AREA	20,000 SF (MIN)	66,676 SF
FRONTAGE	50 FEET (MIN)	255 FT
LOT WIDTH	100 FEET (MIN)	255 FT
LOT DEPTH	130 FEET (MIN)	259 FT
FRONT YARD SETBACK	30 FEET (MIN)	76 FT
SIDE YARD SETBACK	0 FEET (MIN)	20.5 FT
SIDE ALONG RESIDENTIAL	30 FEET (MIN)	N/A
REAR YARD ALONG RESIDENTIAL	30 FEET (MIN)	30 FT
BUILDING HEIGHT (FEET)	35 FEET (MAX)	35 FT
BUILDING HEIGHT (STORIES)	2.0 STORIES (MAX)	2.0 STORIES
BUILDING COVERAGE	30% (MAX)	27%
PARKING SPACES	0.5 SPACE PER BED	40 SPACES
	0.5 * 64 = 32 SPACES	



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LAYOUT PLAN

ARTIS SENIOR LIVING

TOWN OF OSSININGWESTCHESTER COUNTY, NEW YORK

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4. AUGUST 29, 2016 - GENERAL REVISIONS  
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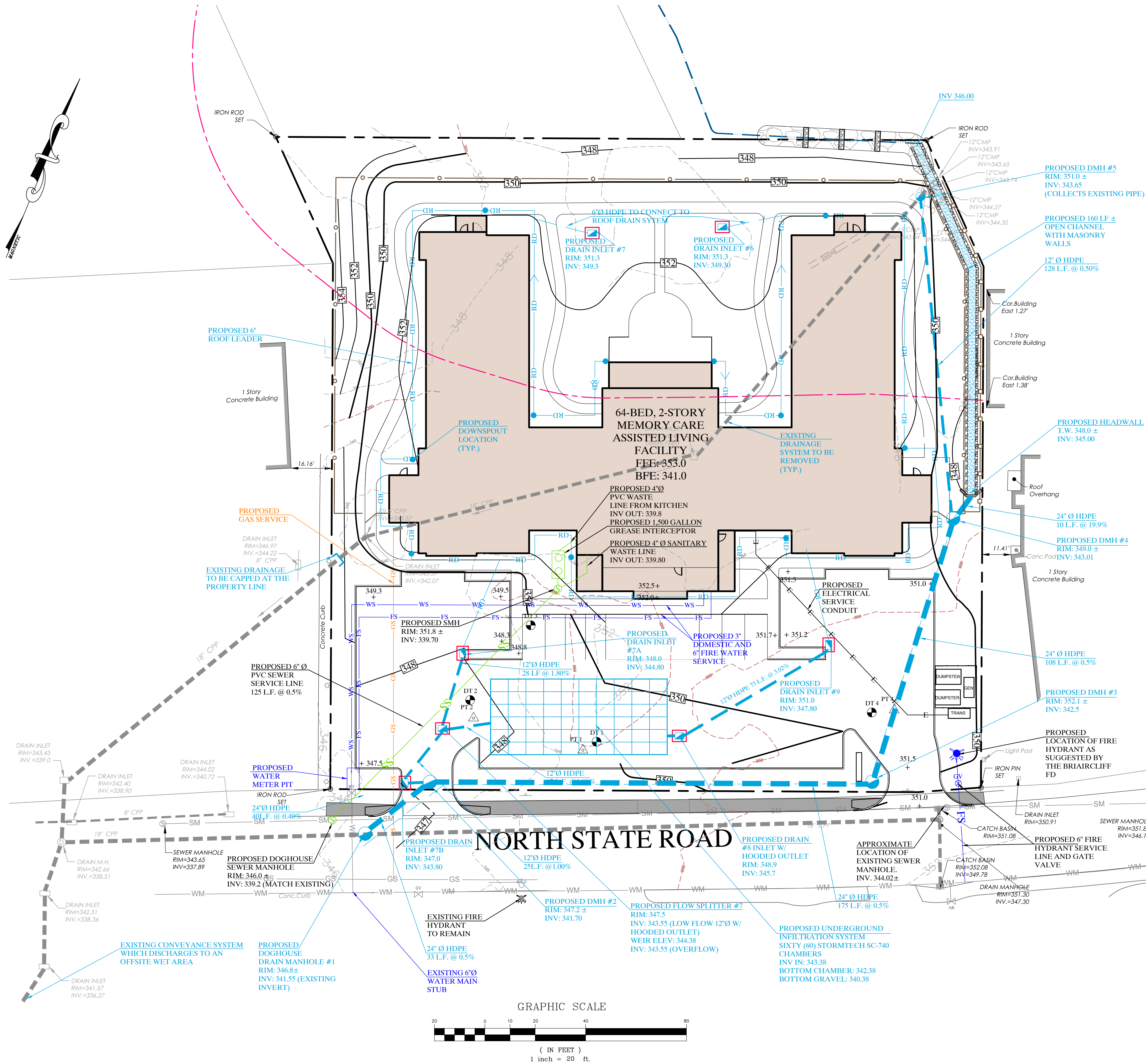
REVISIONS

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PROJECT I.D.:  
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GENERAL NOTES:

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3. ALL VEGETATION SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ANY VEGETATION NOT SO MAINTAINED SHALL BE REPLACE WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
4. ALL EXTERIOR LIGHTING SHOWN ON THESE PLANS SHALL BE SHIELDED AND/OR DIRECTED SO AS TO ELIMINATE ANY GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
5. ALL UTILITY LINES ASSOCIATED WITH THIS PROJECT SHALL BE LOCATED UNDERGROUND.
6. SEE ARCHITECTURAL PLANS PREPARED BY DENNIS D. SMITH, AIA ARCHITECT FOR BUILDING INFORMATION.
7. ALL EXISTING SITE FEATURES SHALL BE DEMOLISHED AND REMOVED OFF SITE IN A SAFE A LEGAL MANNER; UNLESS OTHERWISE NOTED.
8. THERE WILL BE NO SURFACE FLOWS FROM THE ARTIS DEVELOPMENT DISCHARGING TO THE OFFSITE WETLAND/WATERCOURSE TO THE WEST. IN ADDITION, EXISTING FLOWS FROM THE OFFSITE WETLAND/WATERCOURSE WILL NOT BE DIMINISHED AS A RESULT OF THE ARTIS DEVELOPMENT.

SOIL TESTING RESULTS:

TP-1	0" TO 8"	TOPSOIL
	8" TO 24"	SLIGHTLY COMPACTED RED SILTY LOAM
	24" TO 84"	SLIGHTLY COMPACTED BROWN SAND W/ SILT
TP-2	0" TO 4"	TOPSOIL
	4" TO 84"	SLIGHTLY COMPACTED BROWN SAND W/ SILT WITH 8" COBBLES
TP-3	0" TO 4"	TOPSOIL
	4" TO 48"	SLIGHTLY COMPACTED BROWN SAND W/ SILT
	48" +	WEATHERED BOULDERS, VERY COMPACT
TP-4	0" TO 6"	TOPSOIL
	6" TO 36"	SLIGHTLY COMPACTED BROWN SANDY LOAM
	36" TO 72"	SLIGHTLY COMPACTED BROWN SAND
	72" +	GROUNDWATER

PERCOLATION TEST #1 = 6 MIN/INCH  
PERCOLATION TEST #2 = 5 MIN/INCH  
PERCOLATION TEST #4 = 5 MIN/INCH

LEGEND

---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOUR
x 375.94	EXISTING SPOT ELEVATION
---	PROPOSED 10' CONTOUR
---	PROPOSED 2' CONTOUR
+ 375	PROPOSED SPOT GRADE
GS	PROPOSED FIRE SERVICE
FS	PROPOSED FIRE SERVICE
WS	PROPOSED WATER SERVICE
SS	PROPOSED SEWER SERVICE
RD	PROPOSED ROOF DRAIN
FD	PROPOSED FOOT DRAIN
---	PROPOSED HDPE DRAIN PIPE
SM	PROPOSED SEWER MANHOLE
DI	PROPOSED DRAIN INLET/CATCH BASIN
DMH	PROPOSED DRAINAGE MANHOLE
YD	PROPOSED YARD DRAIN
HW	PROPOSED HEAD WALL
HY	PROPOSED HYDRANT
GV	PROPOSED GATE VALVE
DT	DEEP TEST HOLE LOCATION
PT	PERCOLATION TEST HOLE LOCATION

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GRADING AND UTILITY PLAN

ARTIS SENIOR LIVING

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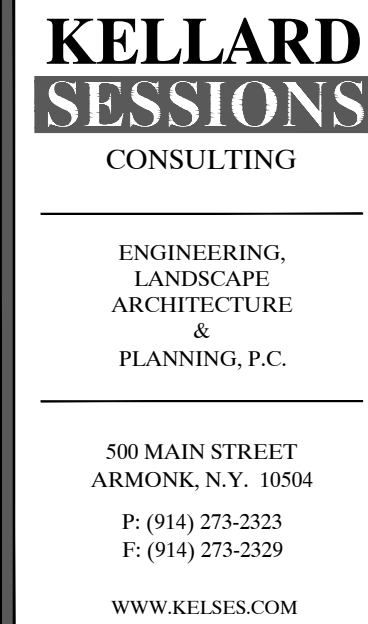






**MAGNETIC**

3. ULTIMATE SPACING AND LOCATION OF PROPOSED TREES / SHRUBS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD FOLLOWING CONSTRUCTION OF OFFICE BUILDING AND PARKING LOT.
2. LANDSCAPE ARCHITECT SHALL HAVE THE OPTION FOR PLANT SUBSTITUTION DEPENDING UPON ACTUAL SITE CONDITIONS ENCOUNTERED (i.e. BEDROCK DEPTH, SUN EXPOSURE/ ANGLE, ETC.)
3. RAISED PLANTING BEDS (i.e. BERMS) MAYBE REQUIRED FOR PLANTING AREAS WITH SHALLOW BEDROCK DEPTH.
4. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO STARTING WORK. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING PAVEMENTS, UTILITIES, STRUCTURES, ETC. TO REMAIN AND SHALL REPAIR AND/OR REPLACE ANY SUCH DAMAGE AT HIS EXPENSE.
5. THE CONTRACTOR SHALL PROVIDE A 12" MINIMUM DEPTH OF TOPSOIL FOR ALL PLANTING BEDS.
6. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SCHEDULE PROVIDED WITHIN THIS SITE PLAN PACKAGE. A MINIMUM OF 50% OF PLANTS PROVIDED SHALL BE THE LARGER END OF THE SIZE RANGE.
7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS AND BE NURSERY-GROWN.
8. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE DESIGN ENGINEER (IF APPLICABLE). COORDINATION BETWEEN DRAINAGE SYSTEMS AND PLANT LOCATIONS SHOULD TAKE PLACE WITH THE LANDSCAPE ARCHITECT/CONTRACTOR/DESIGN ENGINEER.
9. UNLESS SPECIFIED OTHERWISE BY THE LANDSCAPE ARCHITECT, ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
10. ALL PLANTS SHALL BE BALLED AND WRAPPED AS SPECIFIED. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
11. NO SUBSTITUTIONS FOR PLANT MATERIAL TYPE OR SIZE WILL BE ALLOWED UNLESS SUCH SUBSTITUTION HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT.
12. ALL PLANT MATERIAL SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND BY THE LANDSCAPE ARCHITECT TO BE IN AN UNHEALTHY CONDITION. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
13. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. FOLLOWING PLANTING, ALL TREES AND SHRUBS ARE SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT.
14. A MINIMUM OF FOUR (4) INCHES (DEPTH) OF PREMIUM DARK BROWN BARK MULCH SHALL BE PLACED AROUND ROOT BALLS OF TREES/SHRUBS. THE MULCH AREA SHALL BE AT LEAST TWO TIMES THE DIAMETER OF THE PLANT CONTAINER OR ROOT BALL.
15. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL REMOVE STAKES AFTER ONE FULL GROWING SEASON.
16. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACING OF SPOCK OR DEAD PLACES, RESETTLEING PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
17. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING. IN ADDITION, ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
18. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.
19. CONTRACTOR/OWNER SHALL MAKE PROVISIONS TO PROTECT ALL PLANTS FROM DEER BROWSE WITH ONE OR MORE OF THE FOLLOWING: FENCING NETTING, SPRAY REPELLENT.
20. ALL EXISTING TREES / SHRUBS SHALL BE INSPECTED FOR VINES. ALL VINES SHALL BE CUT AND, WHERE PRACTICABLE, REMOVED FROM THE TREE / SHRUB.



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GENERAL NOTES:

- SURVEY INFORMATION AND TOPOGRAPHY BASED UPON THE MAP ENTITLED "ALTA/ACSM SURVEY PROPERTY TAX LOT 45 SITUATE IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" PREPARED BY THOMAS C. MERRITTS LAND SURVEYORS, P.C. DATED (LAST REVISED) JANUARY 20, 2014.
- THE INTERMITTENT WATERCOURSE SHOWN HEREON WAS DELINEATED IN THE FIELD BY THE THE TOWN'S WETLAND CONSULTANT ON MAY 27, 2015. THE SURROUNDING WETLAND AREA WAS DEEMED BY THE TOWN'S WETLAND CONSULTANT TO BE NON-JURISDICTIONAL DUE TO ITS SIZE.
- ALL PROPOSED OFF-SITE WORK AND LAND DISTURBANCE REQUIRE THE APPROVAL OF THE OFF-SITE PROPERTY OWNER. THE OFF-SITE MITIGATION SHOWN HEREON ASSUMES THAT PERMISSION HAS BEEN GRANTED TO DO SUCH WORK.
- THERE WILL BE NO SURFACE FLOWS FROM THE ARTIS DEVELOPMENT DISCHARGING TO THE OFFSITE WETLAND/WATERCOURSE TO THE WEST. IN ADDITION, EXISTING FLOWS FROM THE OFFSITE WETLAND/WATERCOURSE WILL NOT BE DIMINISHED AS A RESULT OF THE ARTIS DEVELOPMENT.

GENERAL PLANTING NOTES:

- ULTIMATE SPACING AND LOCATION OF PROPOSED TREES / SHRUBS SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD FOLLOWING CONSTRUCTION OF OFFICE BUILDING AND PARKING LOT.
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- THE CONTRACTOR SHALL PROVIDE A 12" MINIMUM DEPTH OF TOPSOIL FOR ALL PLANTING BEDS.
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- CONTRACTOR/OWNER SHALL MAKE PROVISIONS TO PROTECT ALL PLANTS FROM DEER BROWSE WITH ONE OR MORE OF THE FOLLOWING: FENCING NETTING, SPRAY REPELLENT.
- ALL EXISTING TREES / SHRUBS SHALL BE INSPECTED FOR VINES. ALL VINES SHALL BE CUT AND, WHERE PRACTICABLE, REMOVED FROM THE TREE / SHRUB.

INVASIVE SPECIES REMOVAL/MANAGEMENT PROGRAM

PRIOR TO COMMENCING THE INVASIVE SPECIES REMOVAL, THE APPLICANT'S CONSULTANT WILL MEET IN THE FIELD WITH THE TOWN'S WETLAND CONSULTANT TO DETERMINE THE EXTENT OF THE AREAS TO BE RESTORED. ONCE THE BOUNDARY OF THE RESTORATION AREAS IS ESTABLISHED, THE PERIMETER SHALL BE STAKED AND SILT FENCE ERECTED TO PREVENT ANY SEDIMENT FROM BEING TRANSPORTED DOWNGRADE DURING THE RESTORATION PERIOD.

JAPANESE BARBERRY AND MULTI-FLORA ROSE CAN BE REMOVED DURING ANY SEASON WITH A HOE OR WEED WRENCH AND SHOULD BE REMOVED BY HAND-LABOR. IT IS IMPORTANT TO REMOVE ALL OF THE ROOT SYSTEM TO PREVENT RESPROUTING FROM REMAINING ROOT SEGMENTS. JAPANESE STILTGRASS SHOULD BE REMOVED BY HAND-LABOR AND SHOULD BE REMOVED IN MID- TO LATE SUMMER WHEN PLANTS ARE MUCH TALLER AND MORE BRANCHED. AT THIS STAGE, THE STILTGRASS CAN BE PULLED FIRMLY FROM THE BASAL PORTION AND REMOVED WHOLLY. IT SHOULD BE NOTED THAT THE PULLED STILTGRASS PLANTS SHOULD BE BAGGED AND DISPOSED OF OFF-SITE IF THEY ARE IN THEIR FRUITING STAGE TO PREVENT SEED DISPERSAL. IF THEY ARE NOT IN THE FRUITING STAGE, PULLED PLANTS CAN BE STOCKPILED OR DISPERSED AND ALLOWED TO DEHYDRATE.

THE ONLY EFFECTIVE METHOD FOR THE REMOVAL OF JAPANESE KNOTWEED IS BY HERBICIDE (GLYPHOSATE) APPLICATION. THERE ARE TWO (2) OPTIONS TO APPLY THE GLYPHOSATE:

- DIRECT LEAF CONTACT - AFTER CUTTING DOWN THE PLANTS FLUSH WITH THE GROUND SURFACE, THE HERBICIDE SHOULD BE SPRAYED ON THE REMAINING LEAVES/SHOOTS WITH A PRESSURIZED GARDEN SPRAYER. EXTREME CARE MUST BE TAKEN WITH DIRECT LEAF SPRAY AS OVERSPRAY CAN DESTROY ANY VEGETATION THAT COMES IN CONTACT WITH THE GLYPHOSATE.
- HERBICIDE INJECTION - THE HERBICIDE IS INJECTED DIRECTLY INTO THE KNOTWEED CANES. IF THIS METHOD IS EMPLOYED, IT IS RECOMMENDED THAT THE INJECTIONS TAKE PLACE IN LATE SUMMER OR EARLY FALL WHEN THE KNOTWEED CANES ARE A MINIMUM OF ½" IN WIDTH BETWEEN THE FIRST AND SECOND NODES (FROM THE BOTTOM).

APPROVAL TO USE THE HERBICIDE METHOD WILL BE REQUIRED FORM THE TOWN'S WETLAND CONSULTANT PRIOR TO COMMENCEMENT.

MONITORING AND MAINTENANCE EFFORTS FOR THE INVASIVE SPECIES REMOVAL/MANAGEMENT PROGRAM WILL BE CONDUCTED OVER A THREE (3) YEAR PERIOD. THE MITIGATION AREAS SHALL BE MONITORED FOR THE INTRODUCTION OF INVASIVE SPECIES ON A MONTHLY BASIS. UPON VISUAL OBSERVATION OF RE-EMERGENCE OF INVASIVE SPECIES WITHIN THE AREA, SAID SPECIES SHALL BE REMOVED MANUALLY IN ACCORDANCE WITH THE PLAN OR TREATED WITH HERBICIDE APPLICATION, IF APPROVED BY THE TOWN'S WETLAND CONSULTANT.

FOLLOWING THE REMOVAL OF JAPANESE KNOTWEED, THE REMAINING SOILS WITHIN THE EXISTING BERM SHOULD ALSO BE TREATED WITH GLYPHOSATE TO KILL ANY REMAINING SEED STOCK / ROOT MASS. FINAL GRADE THE EXISTING BERM WITH 4"-6" OF NEW, CLEAN SOIL. PLANT BERM AS SHOWN HEREON.

APPROXIMATE LOCATION OF UNNAMED WATERCOURSE TRIBUTARY TO POCANTICO RIVER

REMOVE JAPANESE KNOTWEED ALONG BERM. REFER TO "INVASIVE SPECIES REMOVAL/ MANAGEMENT PROGRAM", THIS SHEET.

NATURAL STONE STABILIZATION TO BE INSTALLED BY HAND. STONES WILL BE SCATTERED THROUGH THE EXISTING WATERCOURSE CHANNEL.

INSTALL STONE CHECK DAMS ACROSS INTERMITTENT WATERCOURSE AT INTERVALS SHOWN.

WETLAND MITIGATION SUMMARY

ON-SITE WETLAND	140 S.F.
WETLAND DISURBANCE	0 S.F.
ON-SITE WETLAND BUFFER	24,773 S.F.
WETLAND BUFFER DISTURBANCE	24,773 S.F.
ON-SITE MITIGATION	
INVASIVE SPECIES REMOVAL	4,100 S.F. (17%)*
MITIGATION PLANTINGS	5,243 S.F. (21%)*
PERMEABLE PAVEMENT	4,160 S.F. (17%)*
PROVIDED ON-SITE MITIGATION	9,403 S.F.* (38%)
IMPERVIOUS COVER IN BUFFER	5,803 S.F. (24%)*
PERVIOUS COVER IN BUFFER	18,970 S.F. (76%)*

\* INVASIVE REMOVAL WITHIN MITIGATION PLANTING AREAS IS NOT COUNTED IN TOTAL AREA.  
\*\* PERCENT OF ON-SITE WETLAND BUFFER AREA

WETLAND MITIGATION PLANT LIST					
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE	ROOT
WF	White Fir	<i>Abies concolor</i>	14	7' - 8' ht.	B&B
BC	Bush Cinquefoil	<i>Potentilla "Klondike"</i>	43	3 gal.	Cont.
GD	Greystem Dogwood	<i>Cornus foemina (racemosa)</i>	11	4' - 5' ht.	B&B
I	Inkberry	<i>Ilex Giabra "Shamrock"</i>	16	30" - 36" ht.	B&B
PD	Prairie Dropseed	<i>Sporobolus Heterolepis</i>	12	3 gal. @ 30" oc	Cont.
LBS	Little Blue Stem	<i>Schizachyrium Scoparium</i>	18	5 gal. @ 42" oc	Cont.

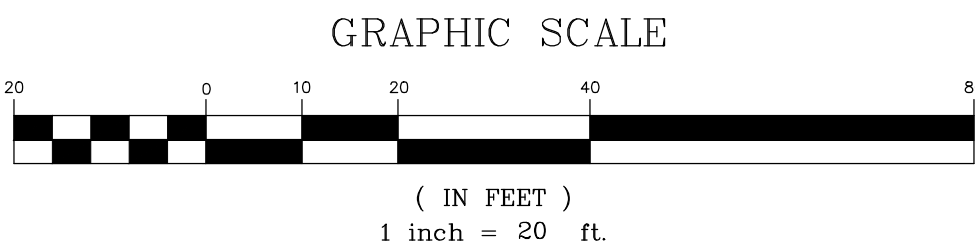
LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOUR
× 375.94	EXISTING SPOT ELEVATION
---	TOWN REGULATED WATERCOURSE
---	100' TOWN WETLAND BUFFER
---	TOWN REGULATED WETLAND, SURVEY LOCATED
---	TOWN REGULATED WETLAND, CONFIRMED IN FIELD
---	PROPOSED 10' CONTOUR
---	PROPOSED 2' CONTOUR
+ 375	PROPOSED SPOT GRADE
---	PROPOSED HDPE DRAIN PIPE
■	PROPOSED DRAIN INLET/CATCH BASIN
○	PROPOSED DRAINAGE MANHOLE
---	PROPOSED HEAD WALL
■	PERMEABLE PAVEMENT

APPROVAL TO USE THE HERBICIDE METHOD WILL BE REQUIRED FORM THE TOWN'S WETLAND CONSULTANT PRIOR TO COMMENCEMENT.

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NORTH STATE ROAD



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WETLAND MITIGATION PLAN

ARTIS SENIOR LIVING

TOWN OF OSSINING		WESTCHESTER COUNTY, NEW YORK	
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	4.	AUGUST 29, 2016 - GENERAL REVISIONS	PROJECT LD.: ART100
	3.	APRIL 6, 2016 - WETLAND REVISIONS	
	2.	NOVEMBER 9, 2015 - GENERAL REVISIONS	
	1.	REVISIONS	
			DATE: AUGUST 1, 2015

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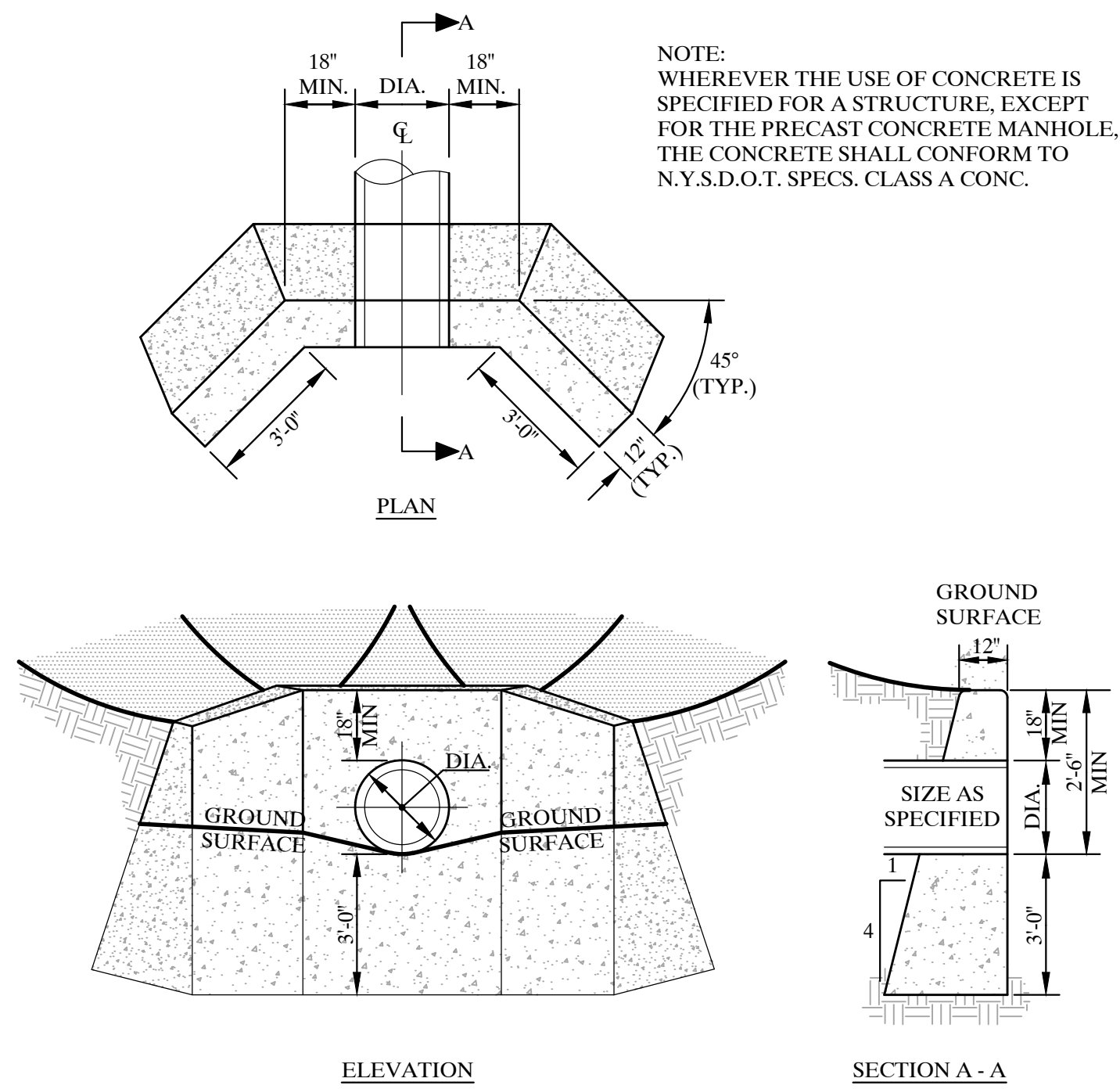




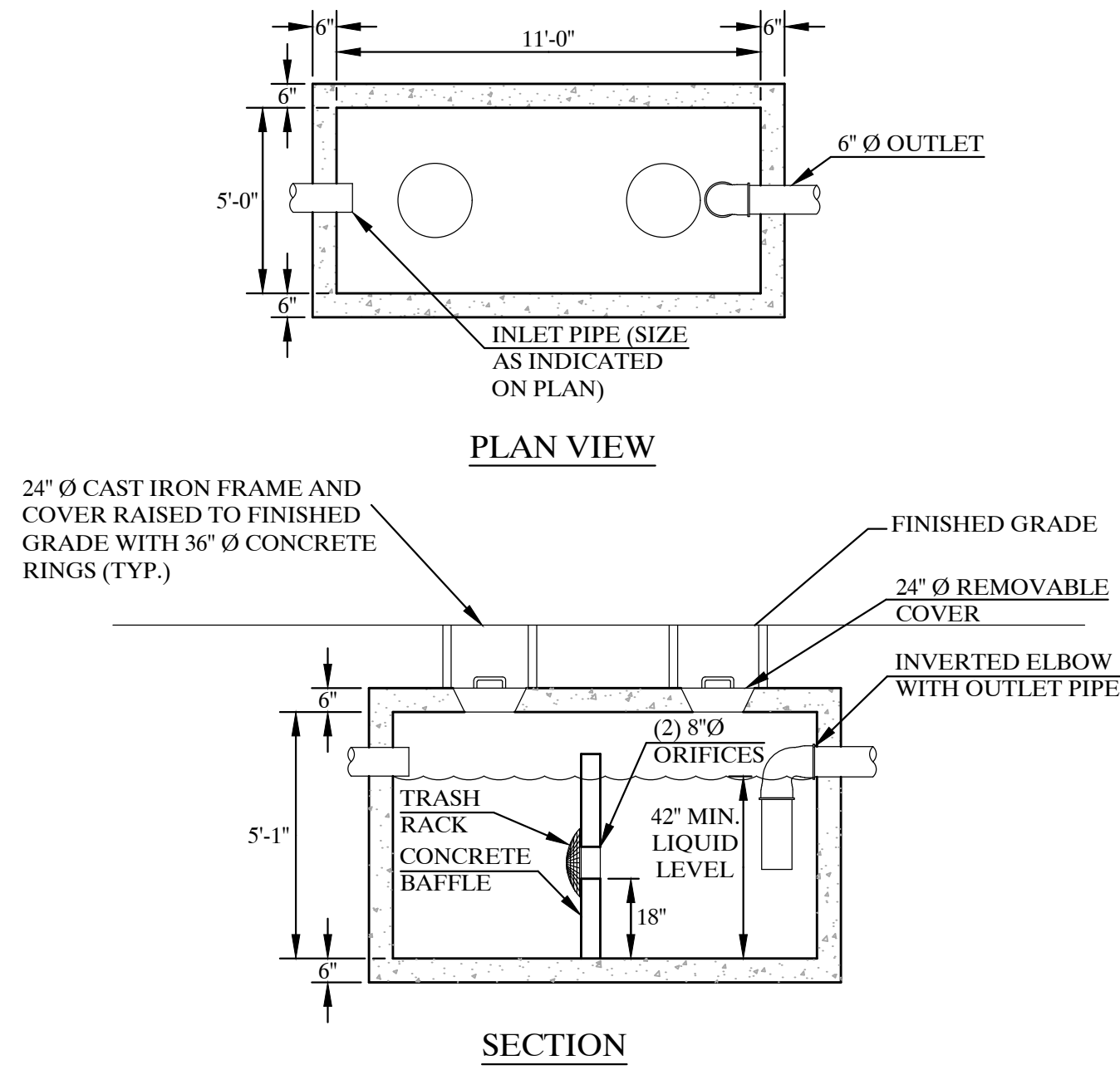


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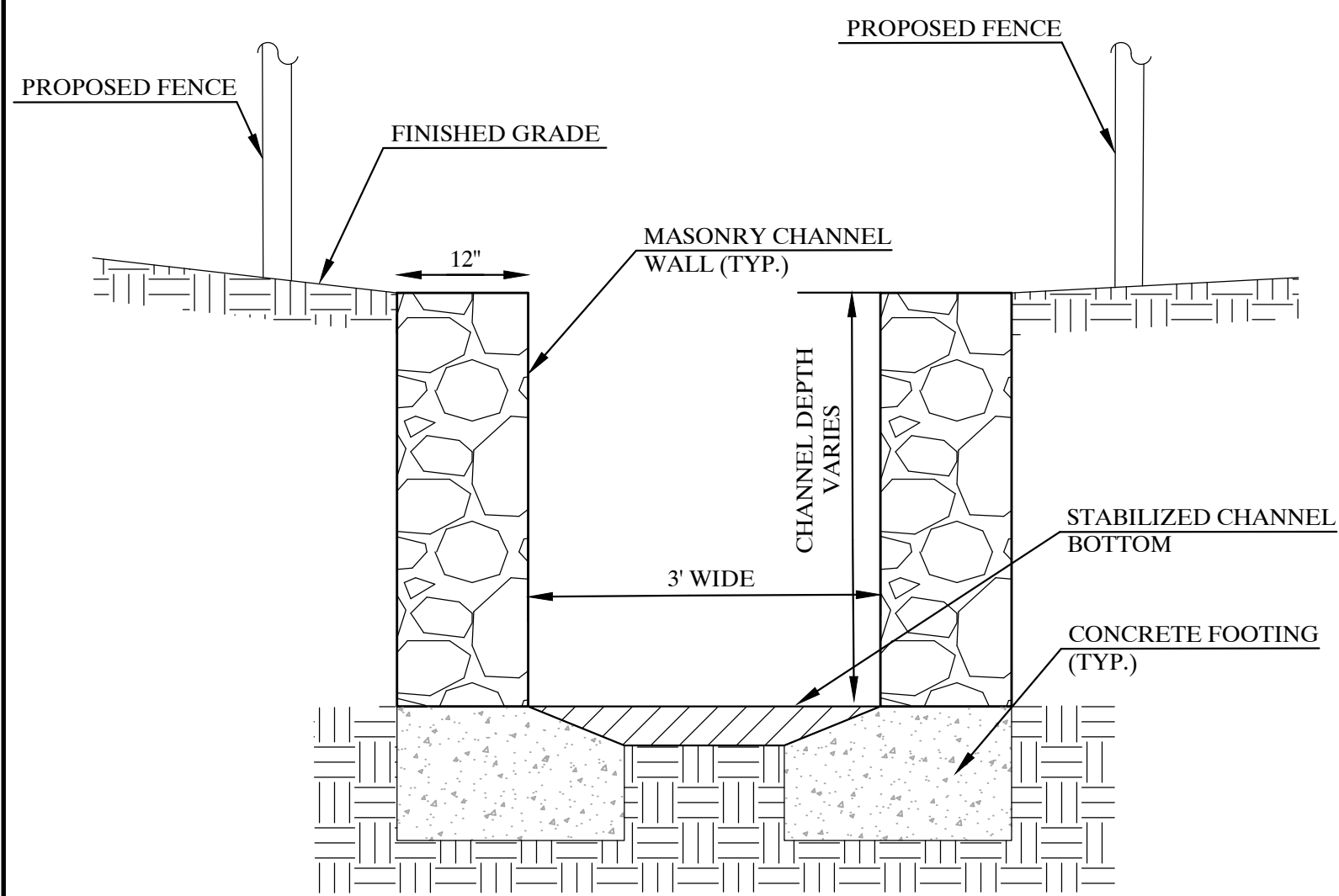
### HEADWALL DETAIL (N.T.S.)



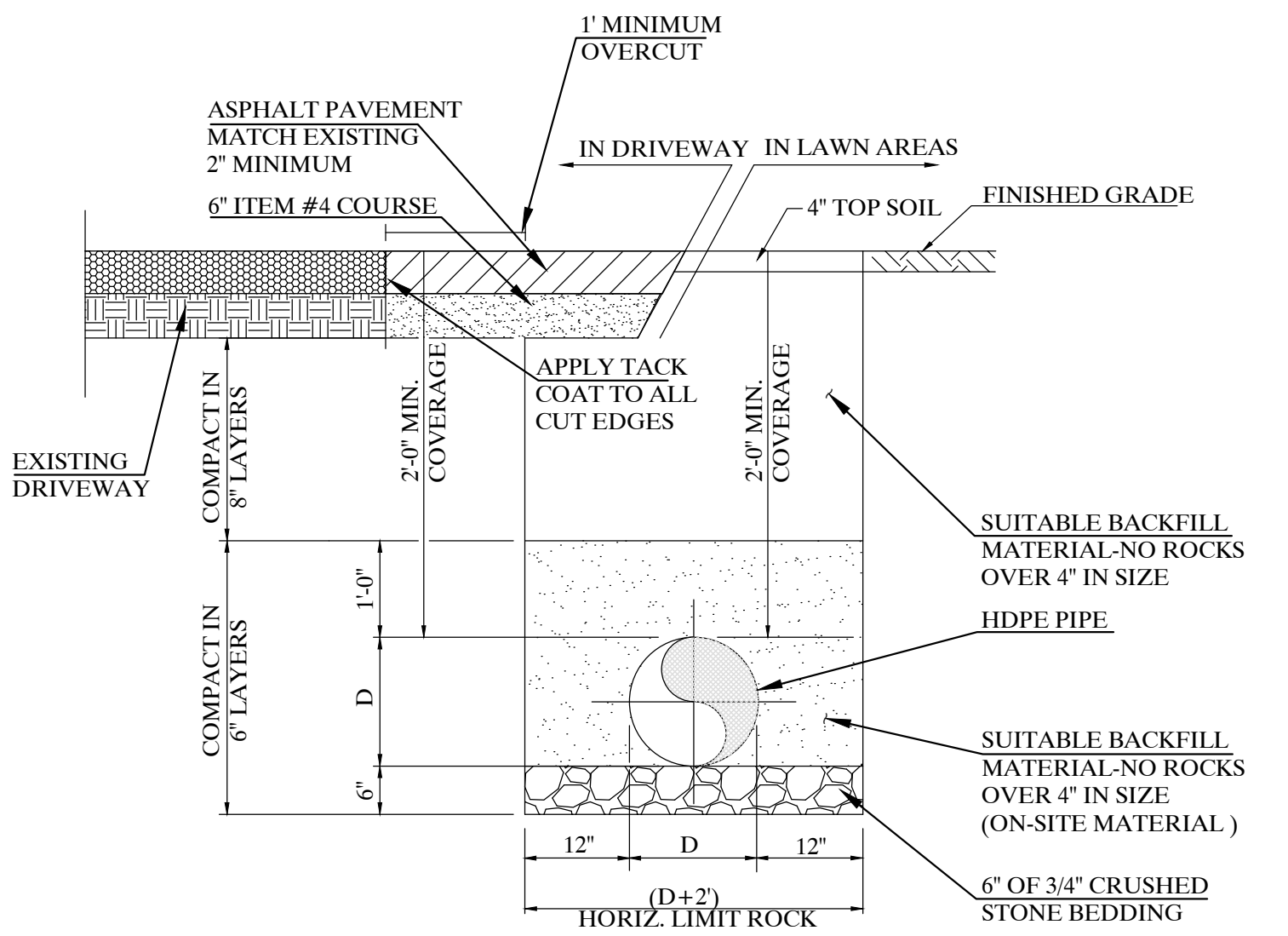
### 1,500 GALLON GREASE INTERCEPTOR DETAIL (N.T.S.)



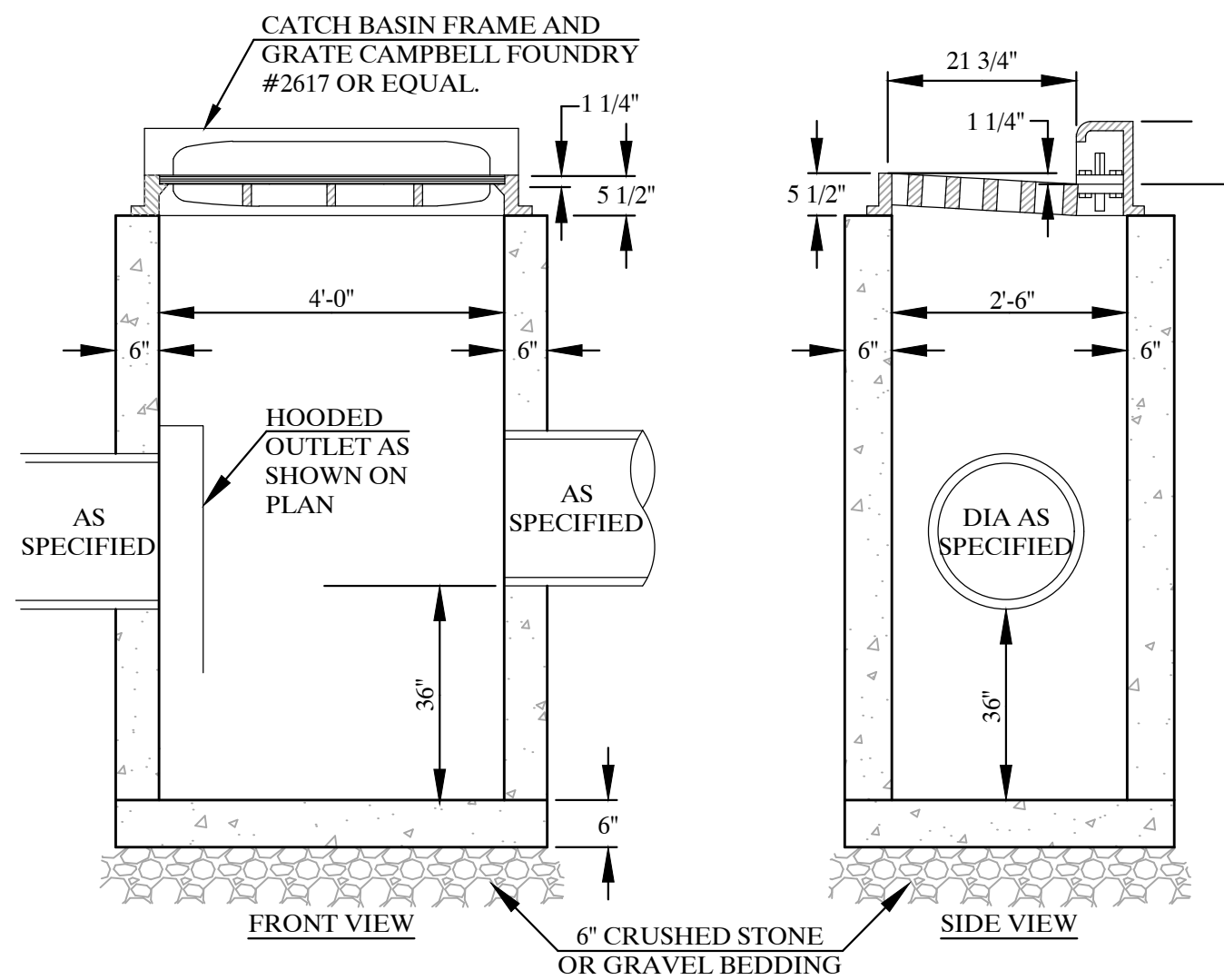
### OPEN CHANNEL CONVEYANCE DETAIL (N.T.S.)



### PIPE TRENCH DETAIL (N.T.S.)

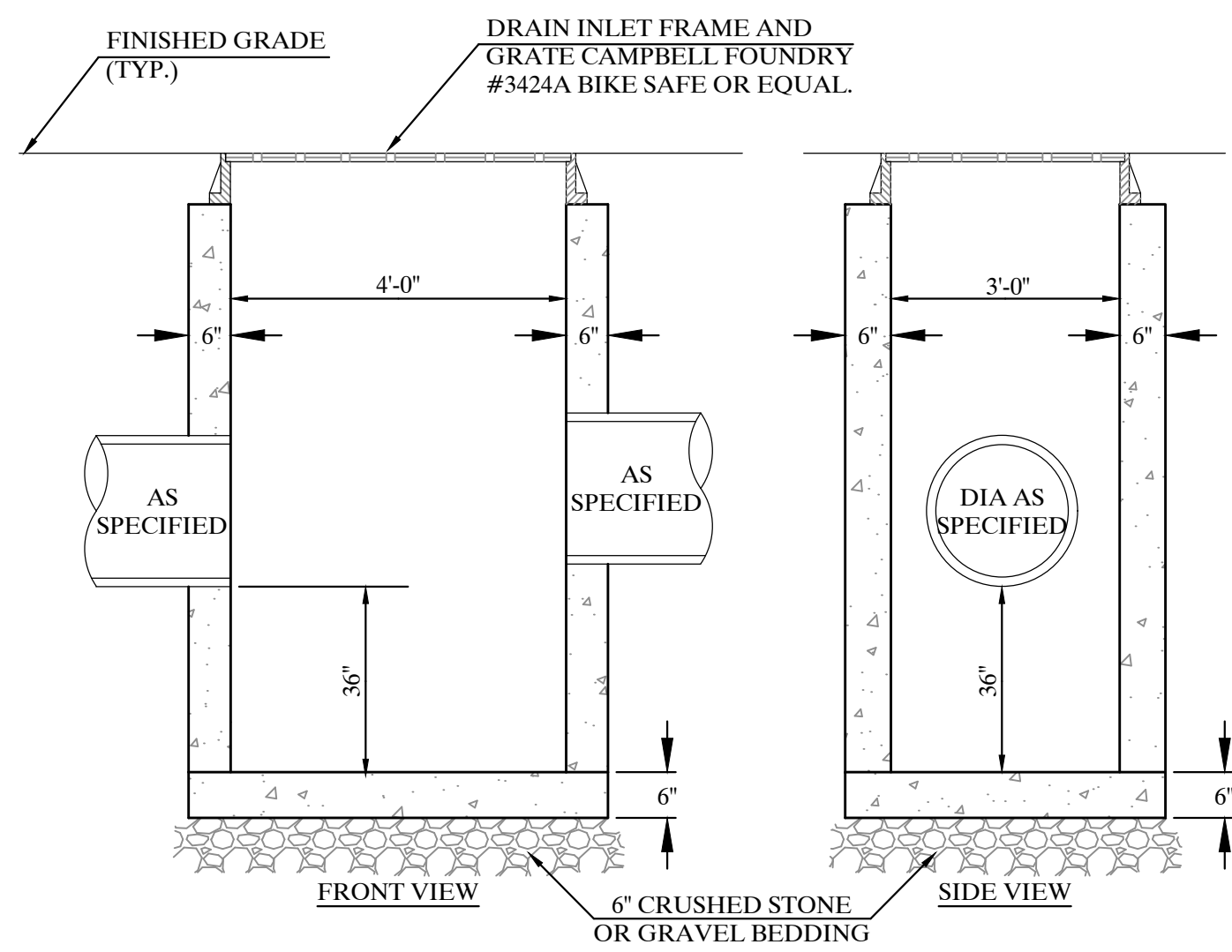


### CATCH BASIN DETAIL (N.T.S.)



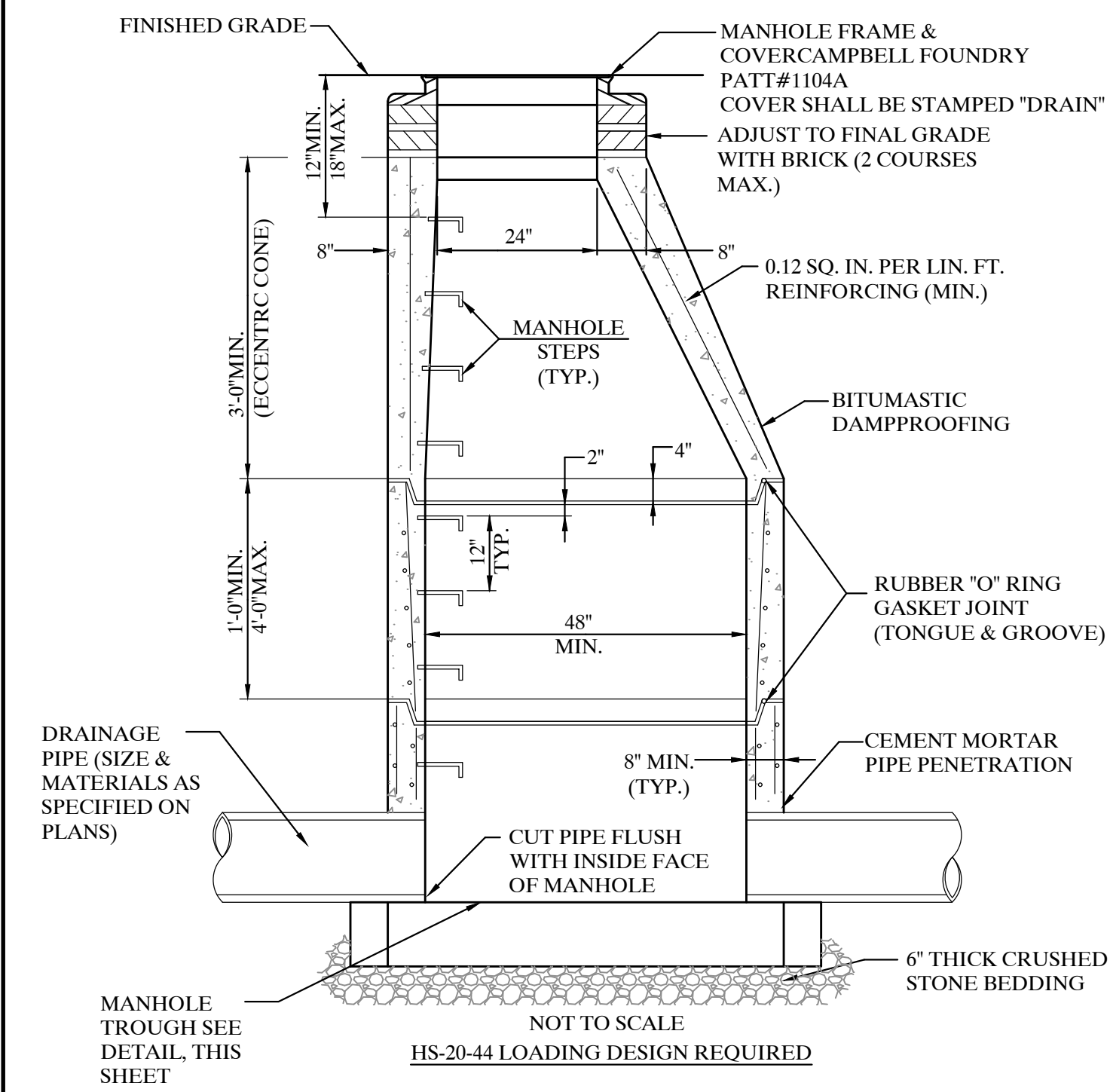
NOTE: TYPE A CATCH BASIN AS SHOWN HERE ON WILL BE UTILIZED WHERE THE NEED FOR A DROP INLET EXISTS. THE CURB TYPE CASTING SHALL BE SUBSTITUTED WITH CAMPBELL FOUNDRY FRAME AND GRATE # 3433 OR EQUAL.

### PRECAST CONCRETE DRAIN INLET DETAIL (N.T.S.)



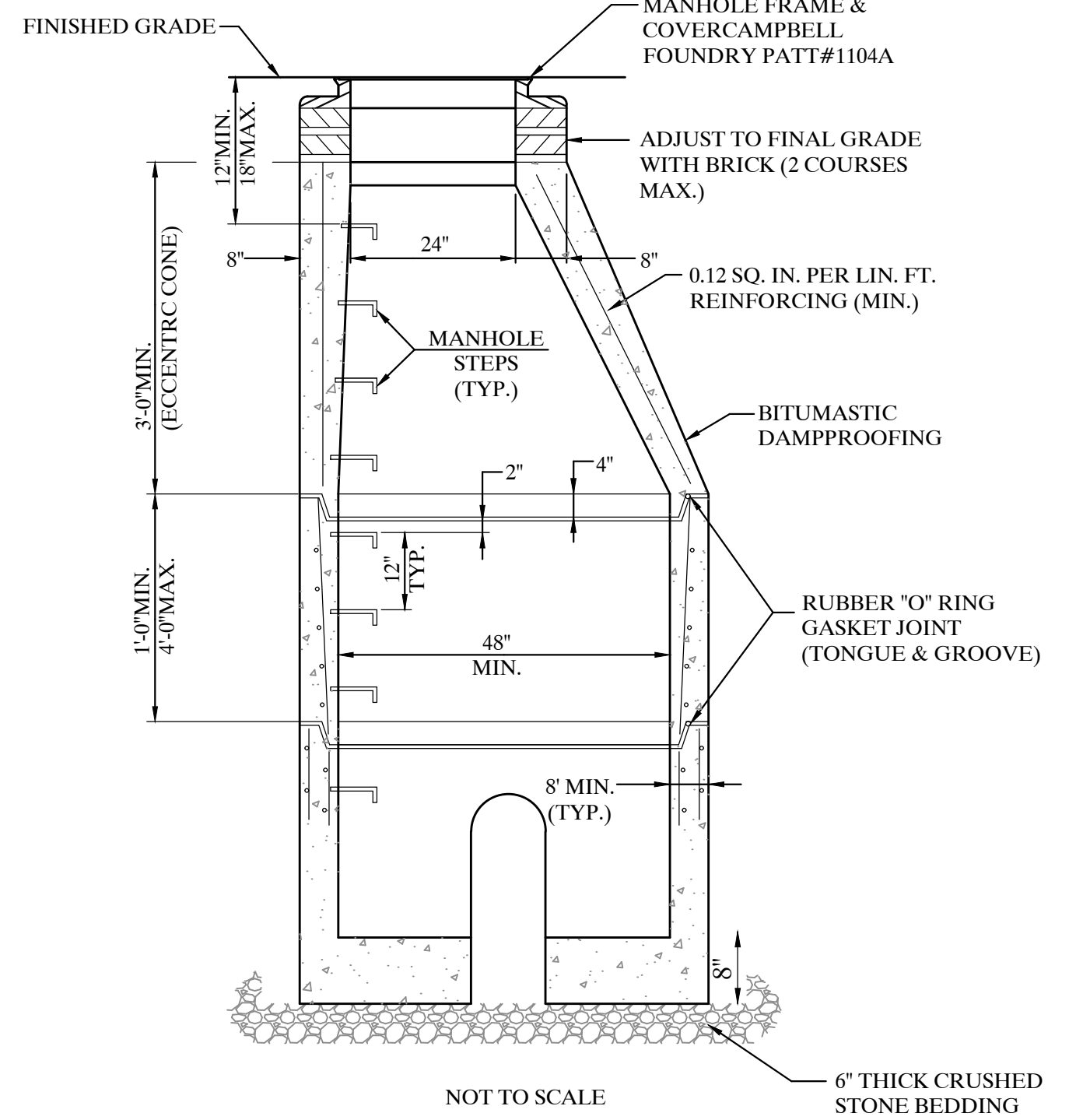
NOT TO SCALE  
HS-20-44 LOADING DESIGN REQUIRED

### DRAINAGE MANHOLE DETAIL (N.T.S.)



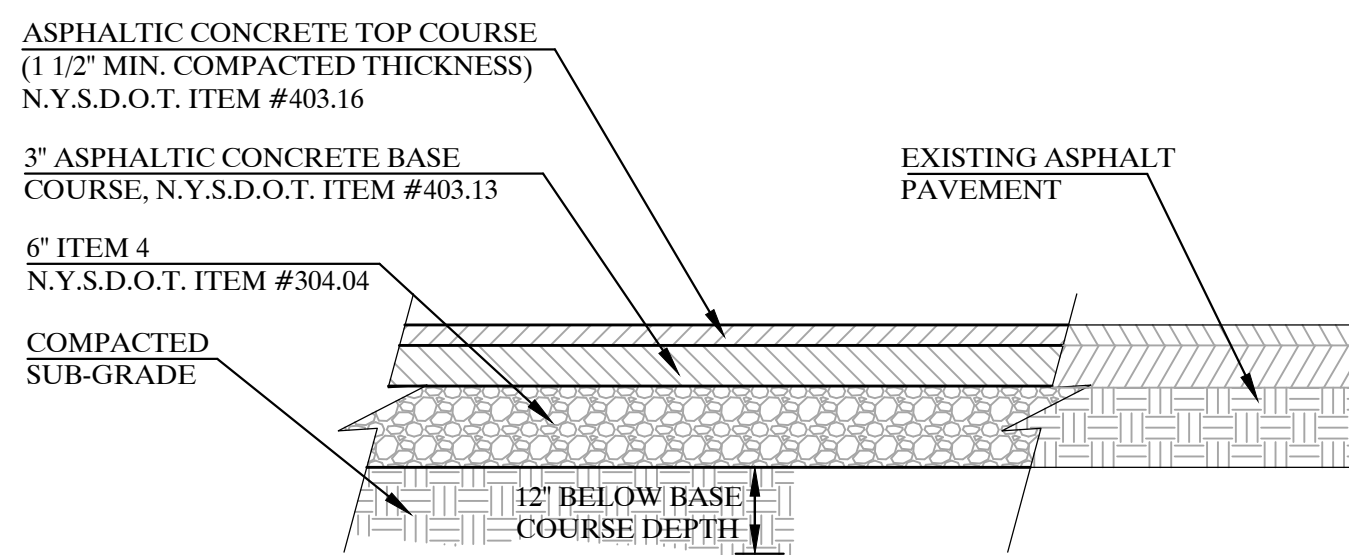
NOT TO SCALE  
HS-20-44 LOADING DESIGN REQUIRED

### DRAINAGE MANHOLE W/ DOGHOUSE BASE DETAIL (N.T.S.)

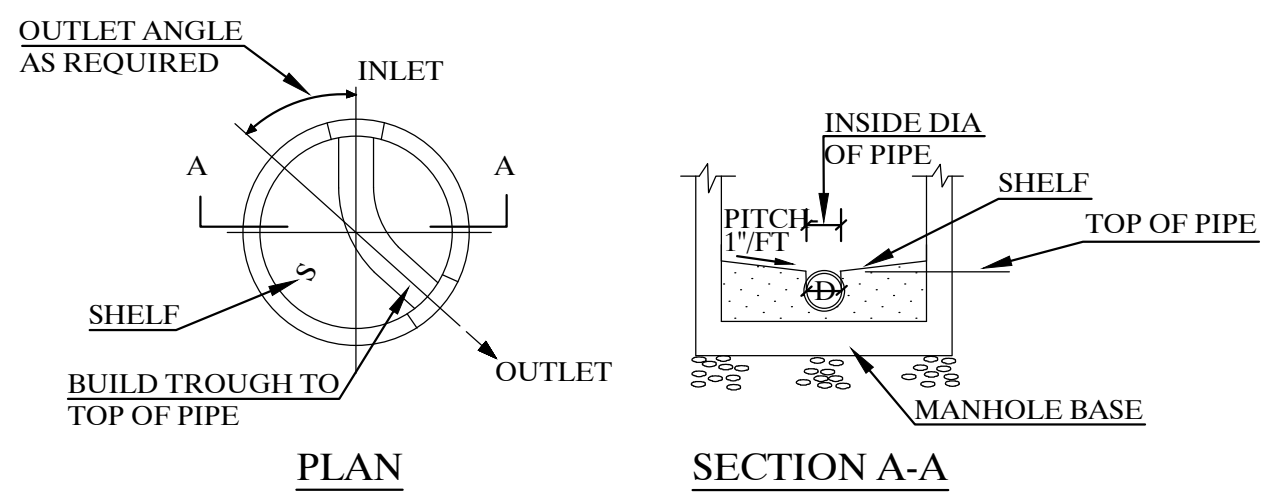


NOT TO SCALE  
HS-20-44 LOADING DESIGN REQUIRED

### ASPHALT PAVEMENT DETAIL (FULL DEPTH) (N.T.S.)



### DETAIL OF MANHOLE TROUGH (N.T.S.)



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## DETAILS

## ARTIS SENIOR LIVING

TOWN OF OSSING

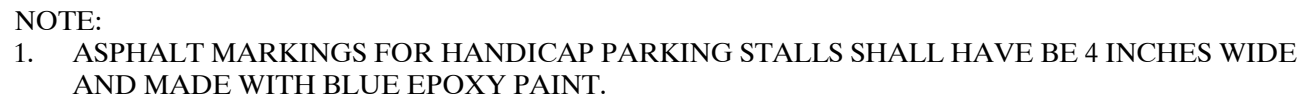
WESTCHESTER COUNTY, NEW YORK

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ART100  
DATE:  
AUGUST 1, 2015

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**DETECTABLE WARNING**

**1:12 MAX**

**5'-0"**

**6'-0"**

**4'-0"**

**PLAN**

**CURB REVEAL TO BE FLUSH WITH PAVEMENT**

**1:12 MAX**

**6"**

**6'-0"**

**4'-0"**

**ELEVATION**

**CONCRETE TO BE SCORED WITH EDGING TOOL TO SIMULATE CURBING**

**5'-0"**

**3'-0"**

**6"**

**1/2" R**

**6"**

**12"**

**6" X 6" 10/10 WELD WIRE MESH**

**AS A CONCRETE**

**AGGREGATE BASE**

**PROVED COMPACTED GRADE**

**SECTION A-A**

The plan view shows a square mobile office unit with a side door on the left. The interior layout includes a generator at the top, two dumpsters in the center, and bollards at the corners. The exterior features a 4' x 4' P.T. post and a 15'-0" diagonal dimension. The elevation view shows the unit's height and construction details, including a 6" high black chain link fence with privacy slats, galvanized steel hinges and hardware, a 6" concrete slab, and an 8" diameter concrete footing at the posts. The unit is shown sitting on a grade.

**PLAN**

**ELEVATION**

Diagram illustrating the cross-section of a concrete curb and gutter assembly. The curb is shown with a 1/2" radius on its top edge and a 3/4" radius on its outer face. The curb is 6" high and 8 1/4" wide at its base. The top surface of the curb is 1/2" thick. The curb is set on a 6" thick concrete base. The base is on top of an approved compacted subgrade of Class A concrete (3,500 PSI). The curb is adjacent to a finished pavement grade, which is 18" above the subgrade. The curb is also adjacent to a finished pavement grade, which is 18" above the subgrade. The curb is also adjacent to a finished pavement grade, which is 18" above the subgrade.

- NOTES:
1. INSTALL  $\frac{1}{2}$ " PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
  2. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
  3. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
  4. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT MATCH EXPANSION JOINTS.

**TYPICAL PLAN VIEW STORMTECH SC-740**

Labels for Typical Plan View:

- NON-WOVEN POLYPROPYLENE FILTER FABRIC TOP, SIDES & BOTTOM
- 1½" - 2" WASHED, CRUSHED STONE
- STORMTECH SC-740 H-20 CHAMBER
- FEED CONNECTOR
- INLET PIPE SEE PLAN FOR LOCATION(S)

Dimensions for Typical Plan View:

- Vertical spacing: 1' (top), 4.25' (between chambers), 0.5' (between chambers), 4.25' (between chambers), 0.5' (between chambers), 4.25' (between chambers), 1' (bottom).
- Horizontal spacing: 1' (left), 1' (right).

**TYPICAL CROSS SECTION**

Labels for Typical Cross Section:

- INSPECTION PORT, SEE DETAIL
- STORMTECH SC-740 CHAMBER
- 1½" - 2" WASHED, CRUSHED STONE
- TOP OF GRAVEL
- INFLOW & OVERFLOW
- FINISHED GRADE
- 95% COMPACTED FILL
- NON-WOVEN POLYPROPYLENE FILTER FABRIC TOP, SIDES AND BOTTOM
- BASE OF UNIT

Dimensions for Typical Cross Section:

- Vertical dimensions: 10" MIN. (top gravel to top of chamber), 18" (chamber height), 30" (stone layer height), 6" (finished grade to top of stone layer).
- Horizontal dimensions: 1' (left), 51" C-C (chamber width), 6" STONE SEPARATION BETWEEN ROWS, 52" (chamber width), 1' (right).
- Other: 18" STONE BASE.

1. BITUMINOUS SURFACE FOR POROUS PAVEMENT SHALL BE 4" THICK WITH A BITUMINOUS MIX 5.75% TO 6% BY WEIGHT DRY
2. AGGREGATE, 6, IN ACCORDANCE WITH ASTM D6390, DRAIN DOWN OF THE BINDER SHALL BE NO GREATER THAN 0.3%. IF MORE ABSORPTIVE AGGREGATES, SUCH AS LIMESTONE, ARE USED IN THE MIX, THEN THE AMOUNT OF BITUMEN IS TO BE BASED ON THE TESTING PROCEDURES OUTLINED IN THE NATIONAL ASPHALT PAVEMENT ASSOCIATION'S INFORMATION SERIES 131-PERVIOUS ASPHALT PAVEMENTS' (2003) OR PENDENT E-10 VALENT.
3. NEW ASPHALT PAVEMENT MODIFIED WITH AN ELASTOMERIC POLYMER SHALL BE USED TO PRODUCE A BINDER MEETING THE REQUIREMENTS OF PG 76-22 AS SPECIFIED IN AASHTO MP-1. THE POLYMER SHALL BE STYRENE-BUTADIENE-STYRENE (SBS) OR APPROVED EQUAL AND SHALL BE APPLIED AT A RATE OF 3% BY WEIGHT OF THE TOTAL BINDER.
4. HYDRATED LIME SHALL BE ADDED AT A DOSAGE RATE OR 1.0% BY WEIGHT OF THE TOTAL DRY AGGREGATE TO MIXES CONTAINING GRANITE AND SHALL MEET THE REQUIREMENTS OF ASTM C 977.
5. THE ASPHALTIC MIX SHALL BE TESTED FOR ITS RESISTANCE TO STRIPPING BY WATER IN ACCORDANCE WITH ASTM D-1664.
6. POROUS PAVEMENT SHALL NOT BE INSTALLED ON WET SURFACES OR WHEN AMBIENT AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT OR LOWER.
7. TEMPERATURE OF THE BITUMINOUS MIX SHALL BE BETWEEN 300 DEGREES FAHRENHEIT AND 350 DEGREES FAHRENHEIT (BASED ON RECOMMENDATIONS OF THE ASPHALT SUPPLIER).
8. PLANTED AREAS ADJACENT TO THE PERVIOUS PAVEMENT SHOULD BE MAINTAINED AND INSPECTED ON A SEMIANNUAL BASIS.
9. PERVIOUS PAVEMENT SHALL BE VACUUMED 2 TO 3 TIMES PER YEAR. PAVEMENT WASHING SYSTEMS OR COMPRESSED AIR UNITS ARE NOT RECOMMENDED. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT.
10. FOR WINTER MAINTENANCE OPERATIONS, ABRASIVES SUCH AS SAND OR CINDERS SHOULD NOT BE APPLIED ON OR ADJACENT TO PERVIOUS PAVEMENT.
11. SLOPE GRADIENT ACCORDING TO THE SPECIFICATION IS DONE BY SETTING THE BLADE SLIGHTLY HIGHER THAN USUAL (APPROXIMATELY 1/8" INCH).
12. SALT IS ACCEPTABLE FOR USE AS A DE-ICER ON THE PERVIOUS PAVEMENT, THOUGH NONTOXIC, ORGANIC DE-ICERS APPLIED EITHER AS BLENDED MAGNESIUM CHLORIDE BASED LIQUID PRODUCTS, OR AS PRETREATED SALT ARE PREFERABLE.

THE WIDTH AND DEPTH OF THE TRENCH WILL VARY BASED ON EXISTING SUBSURFACE CONDITIONS. ROCK EXCAVATION MAY BE NECESSARY TO ACHIEVE 4' MINIMUM COVER

EXISTING LEDGE ROCK

SEE PLANS FOR FINISHED SURFACE LAND COVERS

VARIES

4'-0" MIN.

12" MIN.

6" MIN.

6" MIN.

6" MIN.

BACK FILL WITH CLEAN FILL IN 6" LIFTS

PROPOSED 3" TYPE K COPPER DOMESTIC WATER SERVICE

COMPACTED SAND BACKFILL

PROPOSED 6" CLASS 52 D.I.P. FIRE SERVICE.

The diagram illustrates the cross-section of a sidewalk and apron. The top layer is labeled "AS SHOWN" and has a thickness of 2". Below this is a layer of "#3500 AIR ENTRAINED CONCRETE" with a thickness of 5". The bottom layer is labeled "3/4\" CRUSHED STONE OR GRAVEL" and has a thickness of 5". The total thickness of the concrete and stone layers is 10". The diagram also shows a "SCOURING PATTERN AS DETERMINED BY OWNER" and a "6\" x 6\" 10/10 WWM" (Water Worn Material) layer. The diagram is labeled "NOTES:" and includes three items:

1. SIDEWALK AND APRON TO BE CONSTRUCTED WITH SLOPE OF 1/4\" PER FOOT AND PITCHED AWAY FROM BUILDING.
2. BITUMINOUS EXPANSION JOINTS @ 40' O.C.
3. CONTRACTION JOINTS @ 5' O.C.

36"

24"

30 1/2"

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CULTURED STONE  
TO MATCH BUILDING

ELEVATION

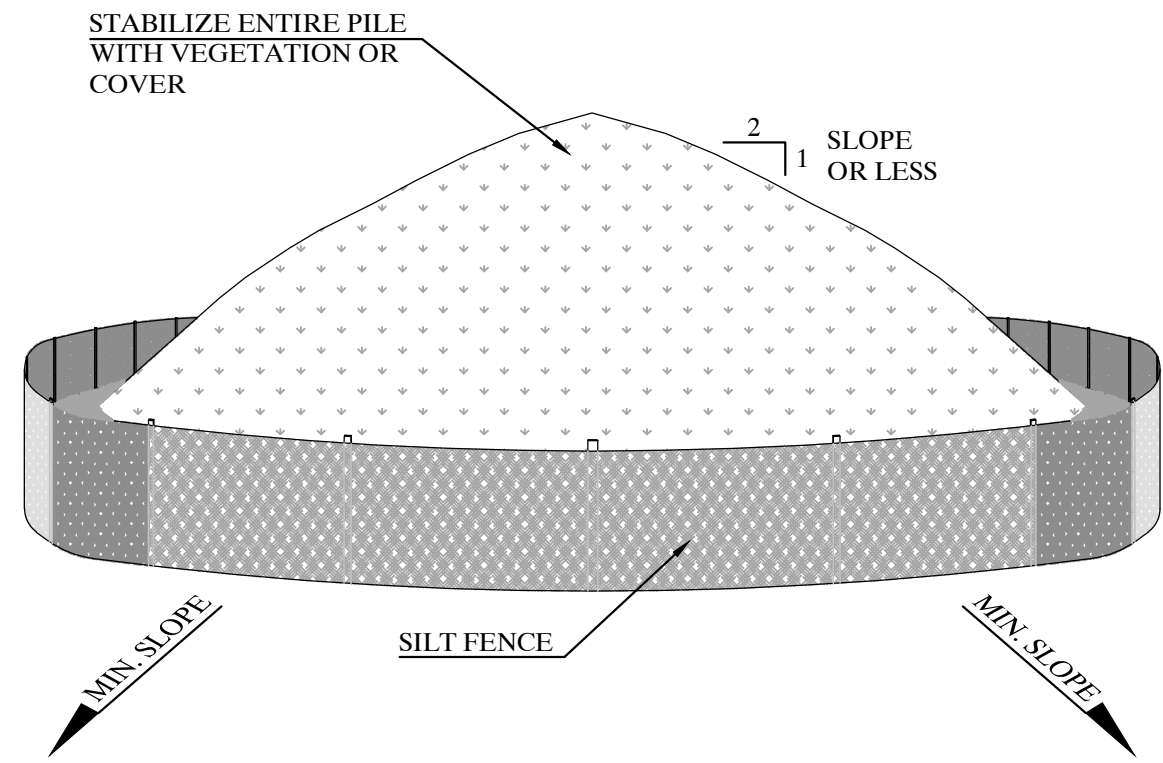
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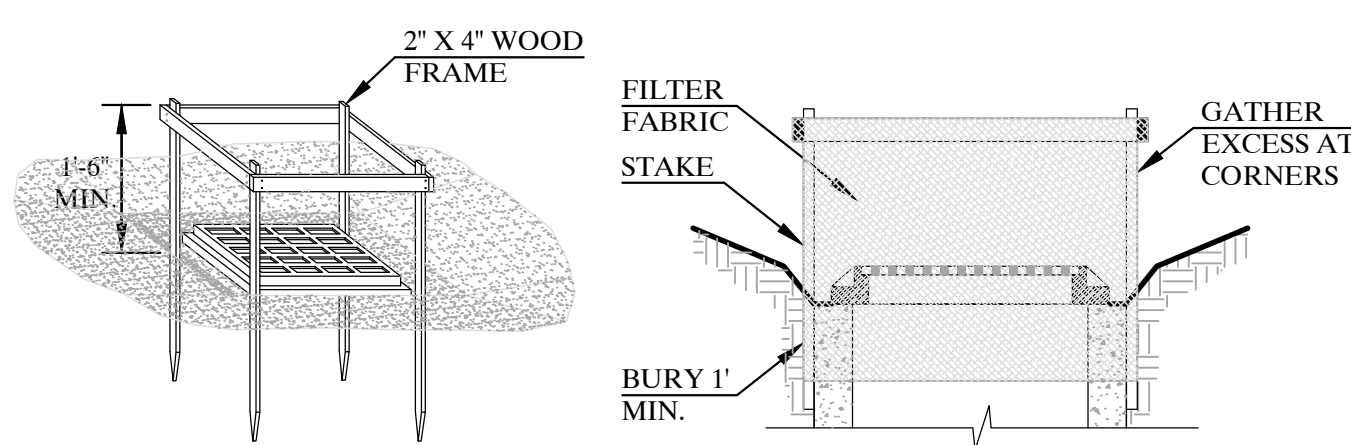
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.

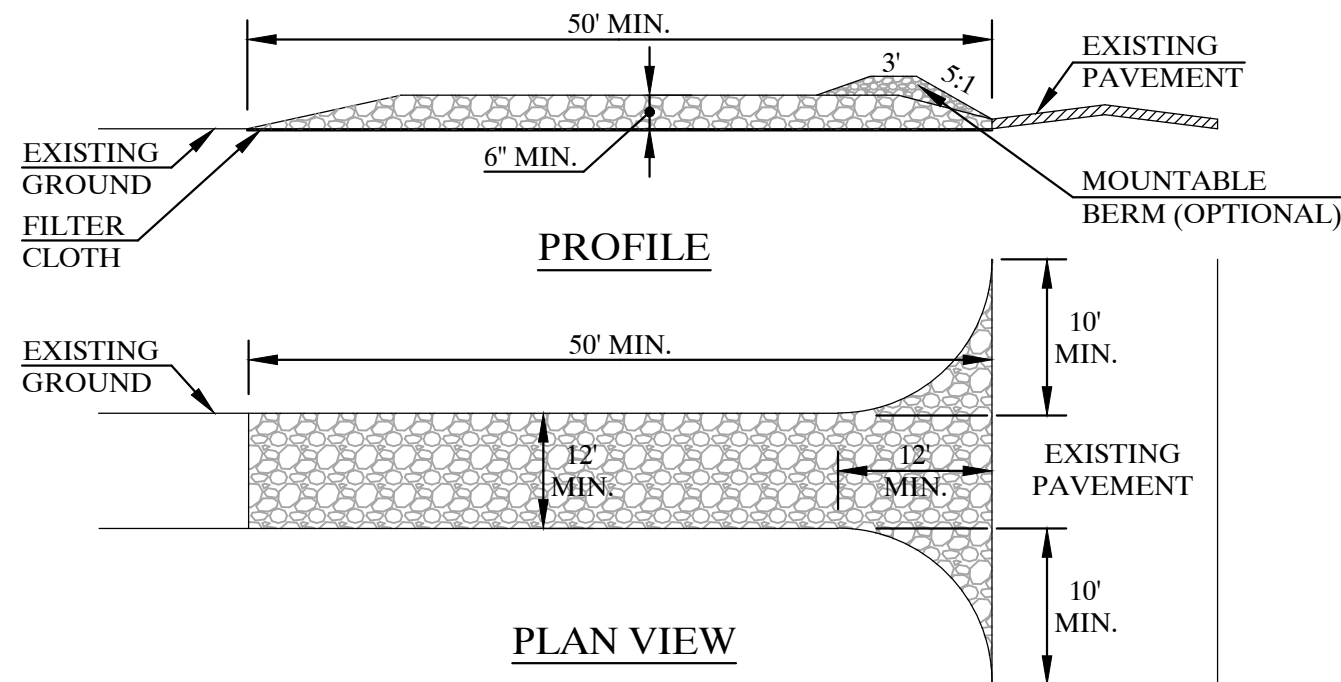
FILTER FABRIC DROP INLET PROTECTION DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
  - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA = 1 ACRE

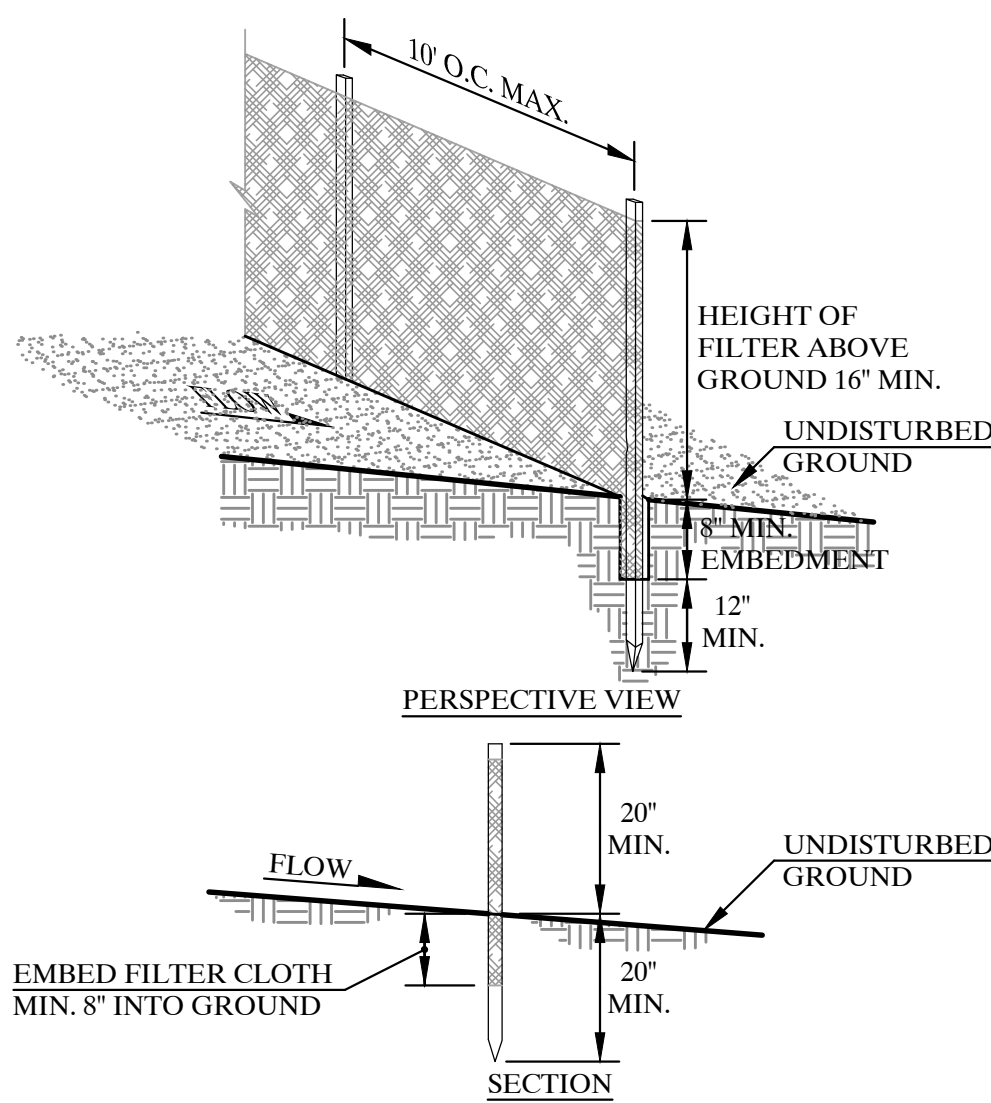
STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

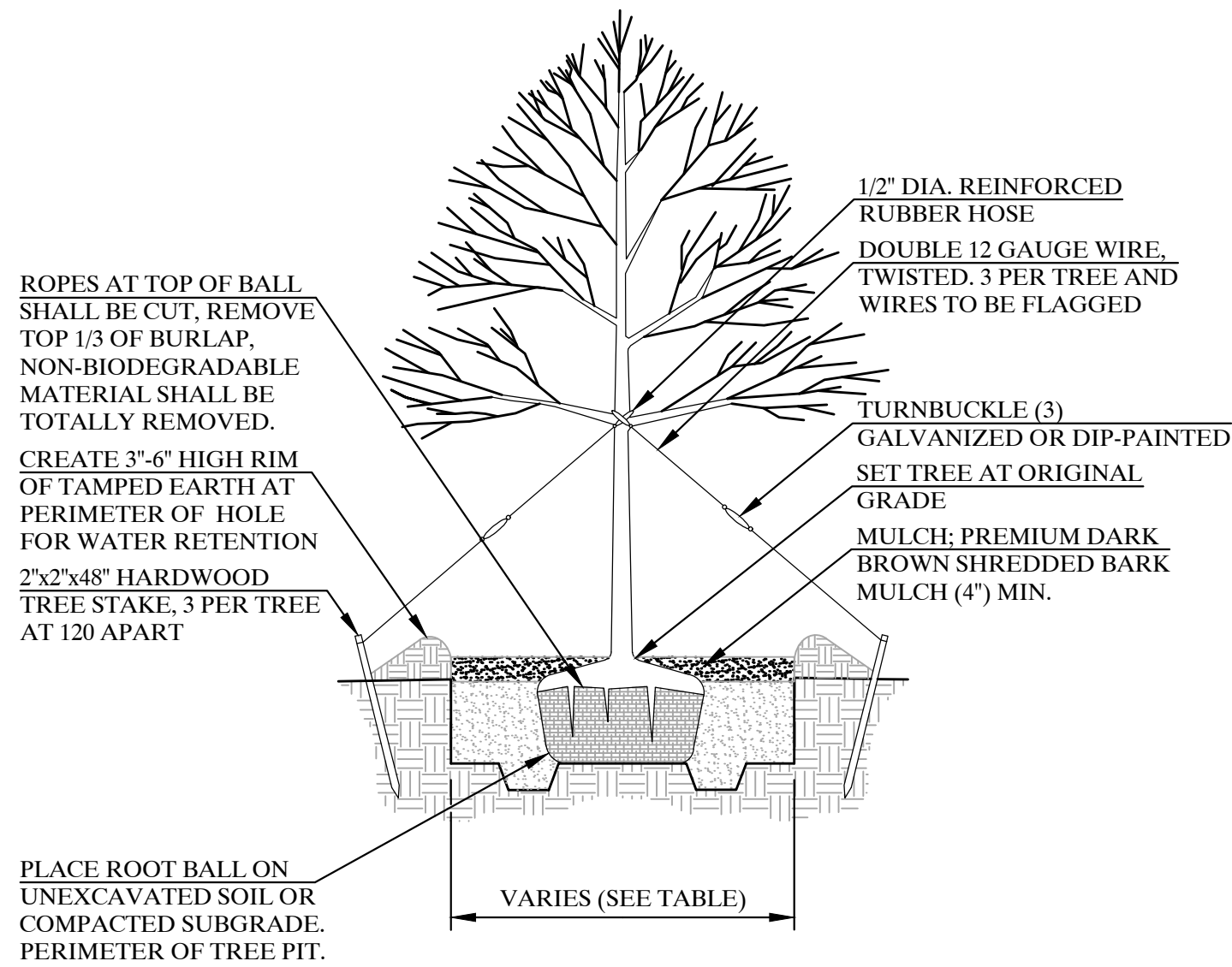
SILT FENCE DETAIL (N.T.S.)



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
- FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

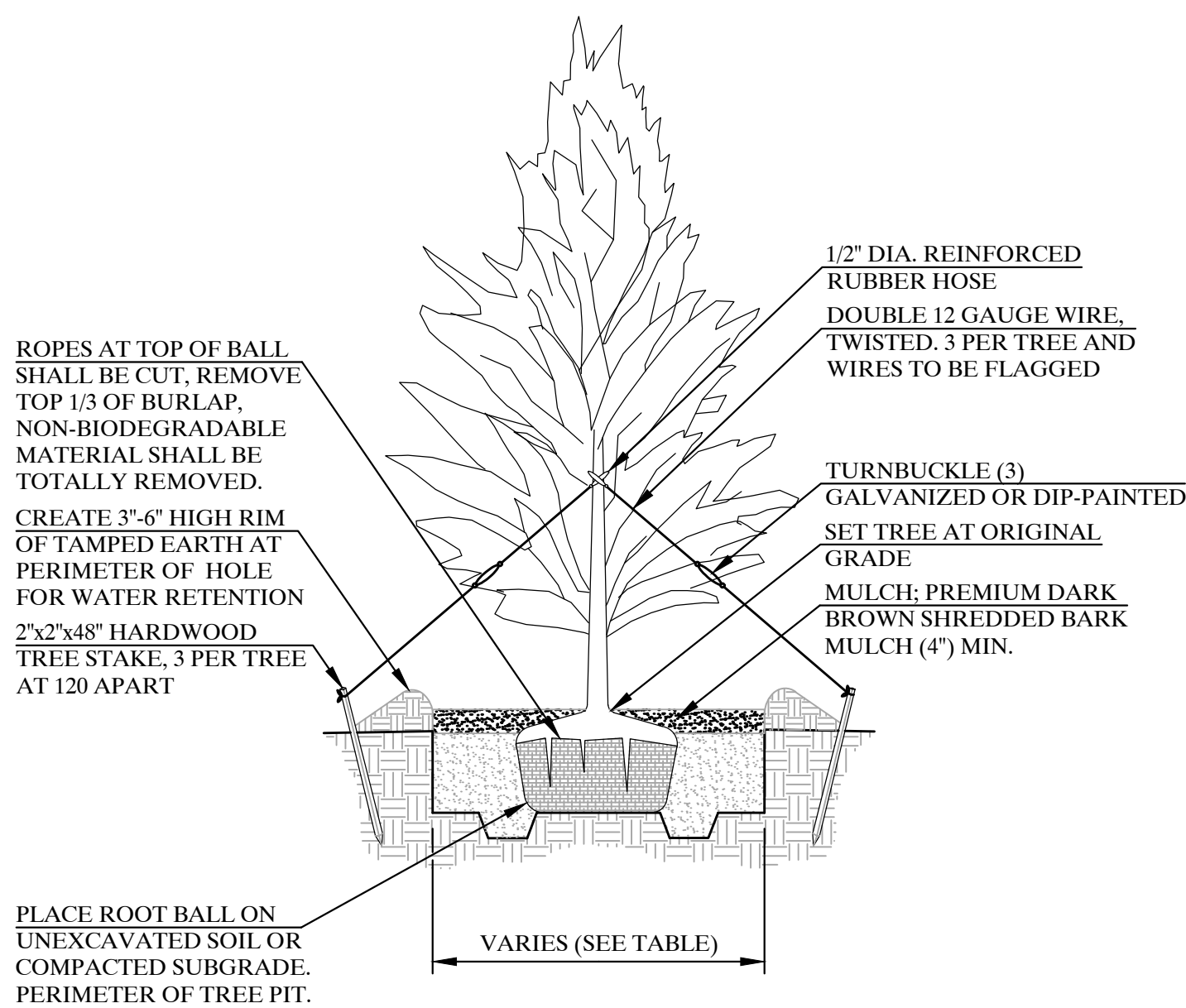
DECIDUOUS TREE PLANTING DETAIL (N.T.S.)



NOTE:  
PLANTED TREES SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4'Ø	2X BALL Ø
4'-5'Ø	1 3/4X BALL Ø
GREATER THAN 5'Ø	1 1/2X BALL Ø

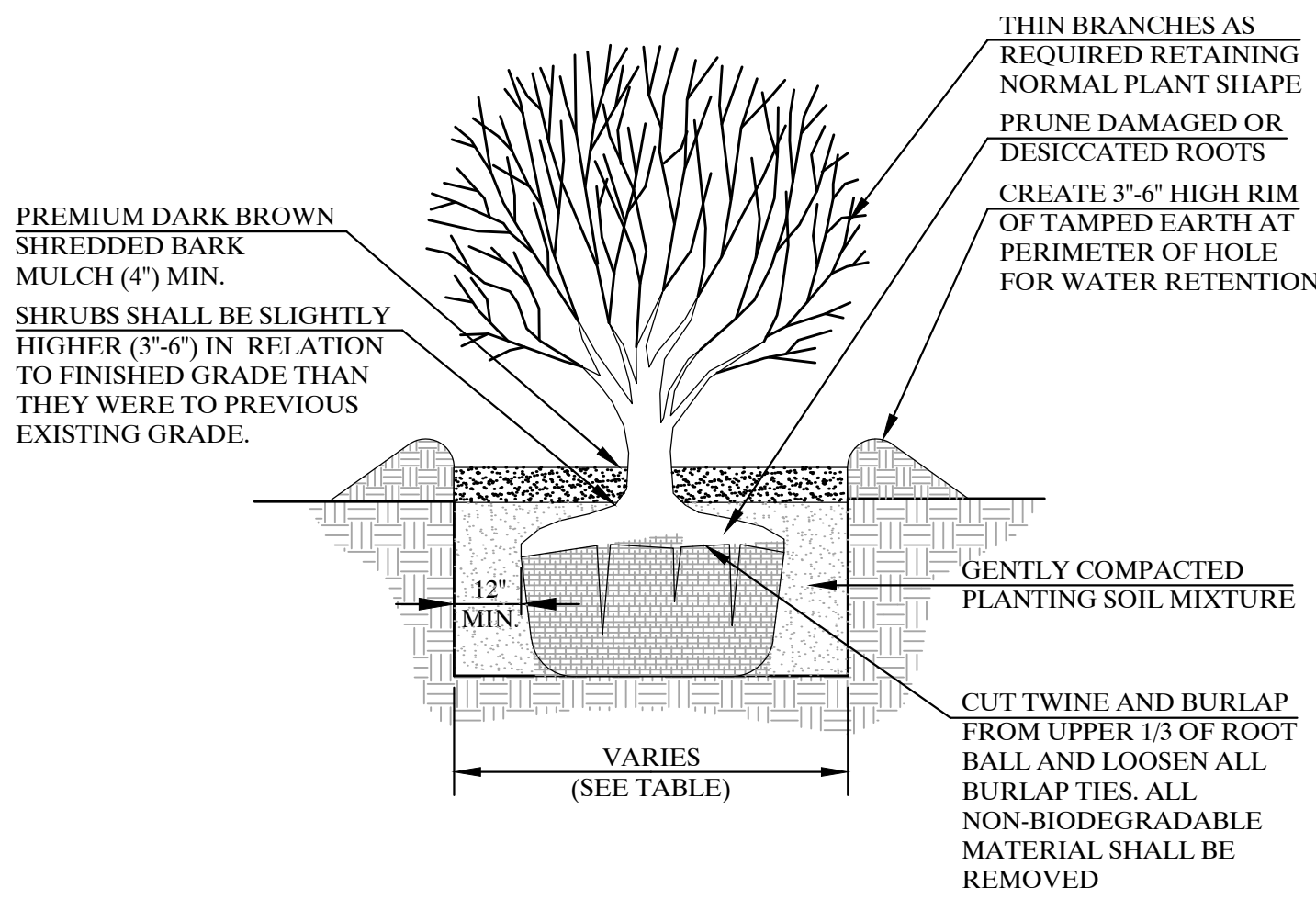
EVERGREEN TREE PLANTING DETAIL (N.T.S.)



NOTE:  
PLANTED TREES SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4'Ø	2X BALL Ø
4'-5'Ø	1 3/4X BALL Ø
GREATER THAN 5'Ø	1 1/2X BALL Ø

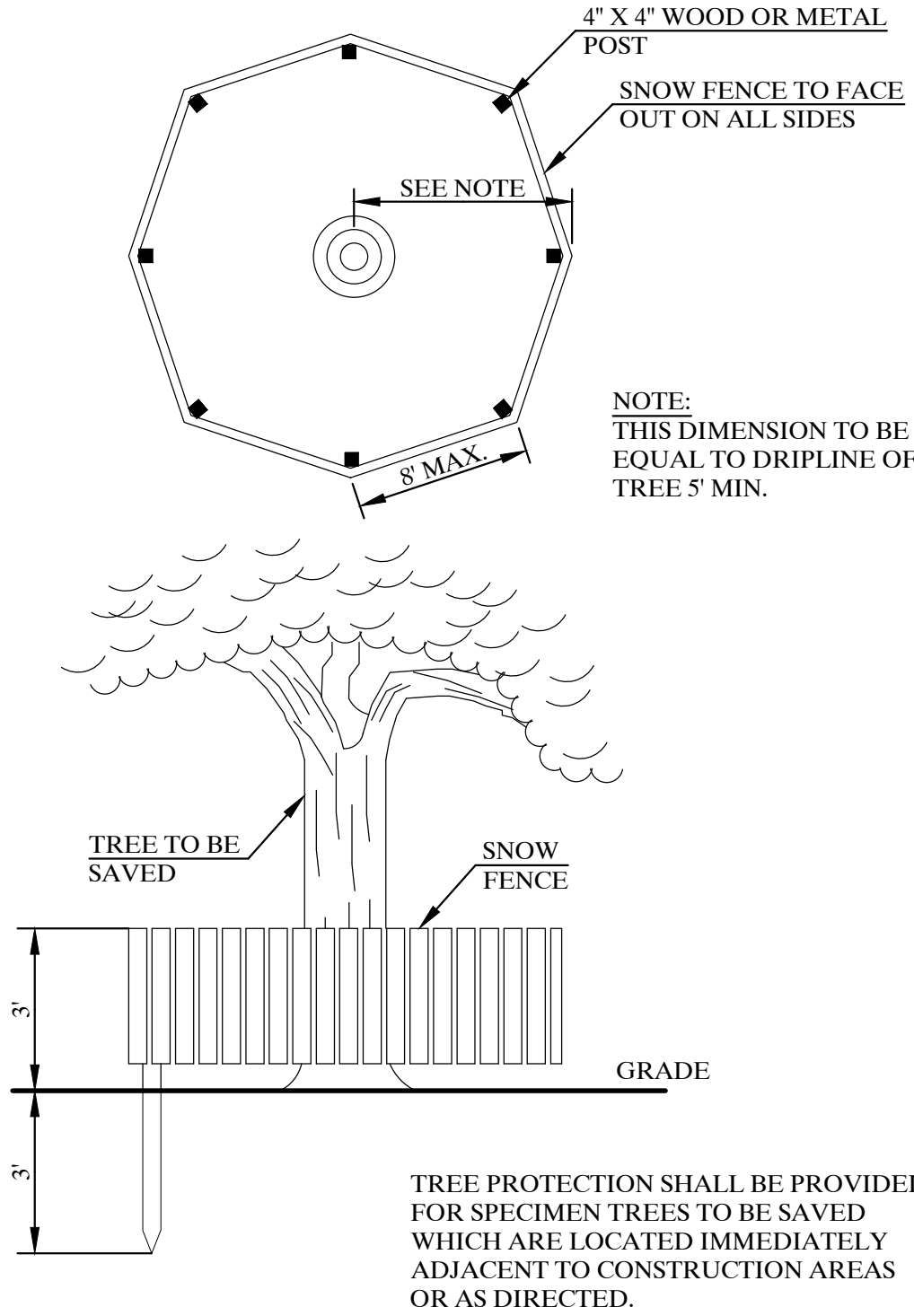
SHRUB PLANTING DETAIL (N.T.S.)



NOTE:  
PLANTED SHRUBS SHALL BE PROTECTED AGAINST DEER BROWSE/DAMAGE BY REGULAR APPLICATION OF DEER REPELLANT OR USE OF PLASTIC NETTING OR WIRE MESH, TREE GUARDS, ETC. OR OTHER MEASURES.

HOLE DIAMETER TABLE	
ROOT BALL SIZE	HOLE DIAMETER
LESS THAN 4'Ø	2X BALL Ø
4'-5'Ø	1 3/4X BALL Ø
GREATER THAN 5'Ø	1 1/2X BALL Ø

TREE PROTECTION DETAIL (N.T.S.)



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DETAILS

ARTIS SENIOR LIVING

TOWN OF OSSING

WESTCHESTER COUNTY, NEW YORK

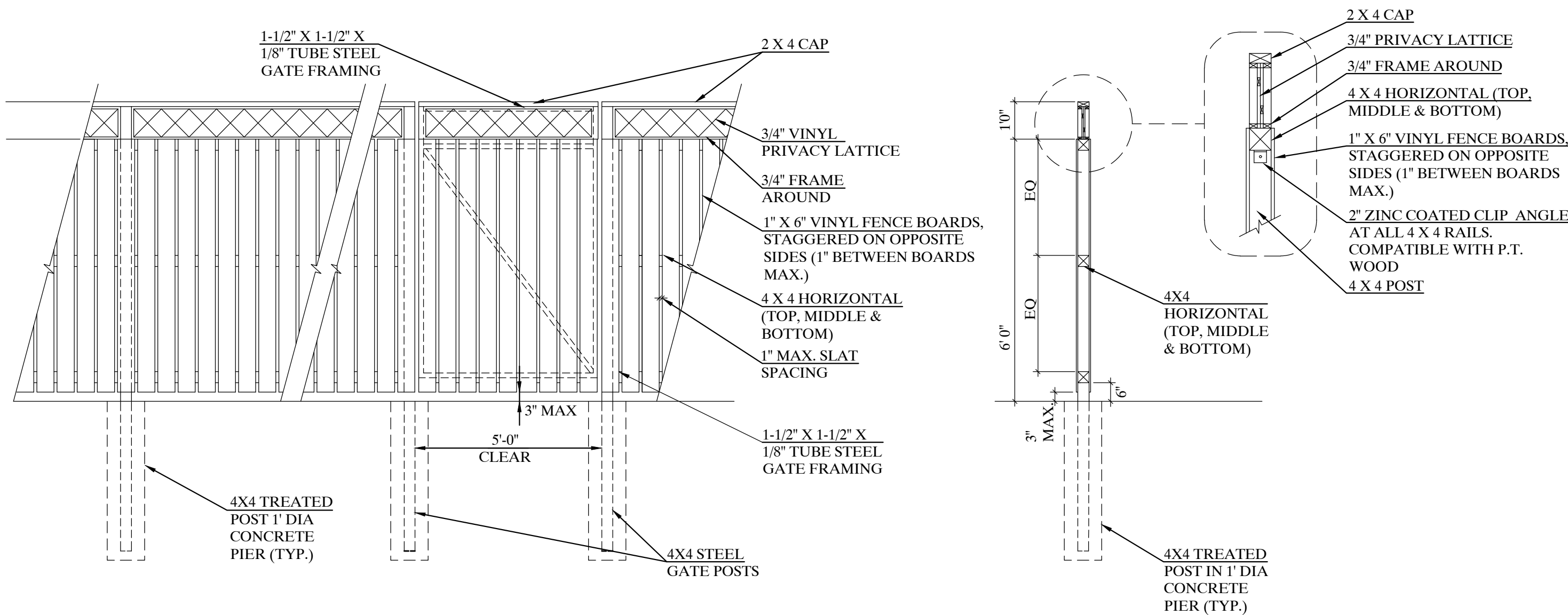
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5.		PROJECT I.D.: ART100 DATE: AUGUST 1, 2015
4.	AUGUST 29, 2016 - GENERAL REVISIONS	
3.	JUNE 20, 2016 - GENERAL REVISIONS	
2.	APRIL 6, 2016 - WETLAND REVISIONS	
1.	NOVEMBER 9, 2015 - GENERAL REVISIONS	

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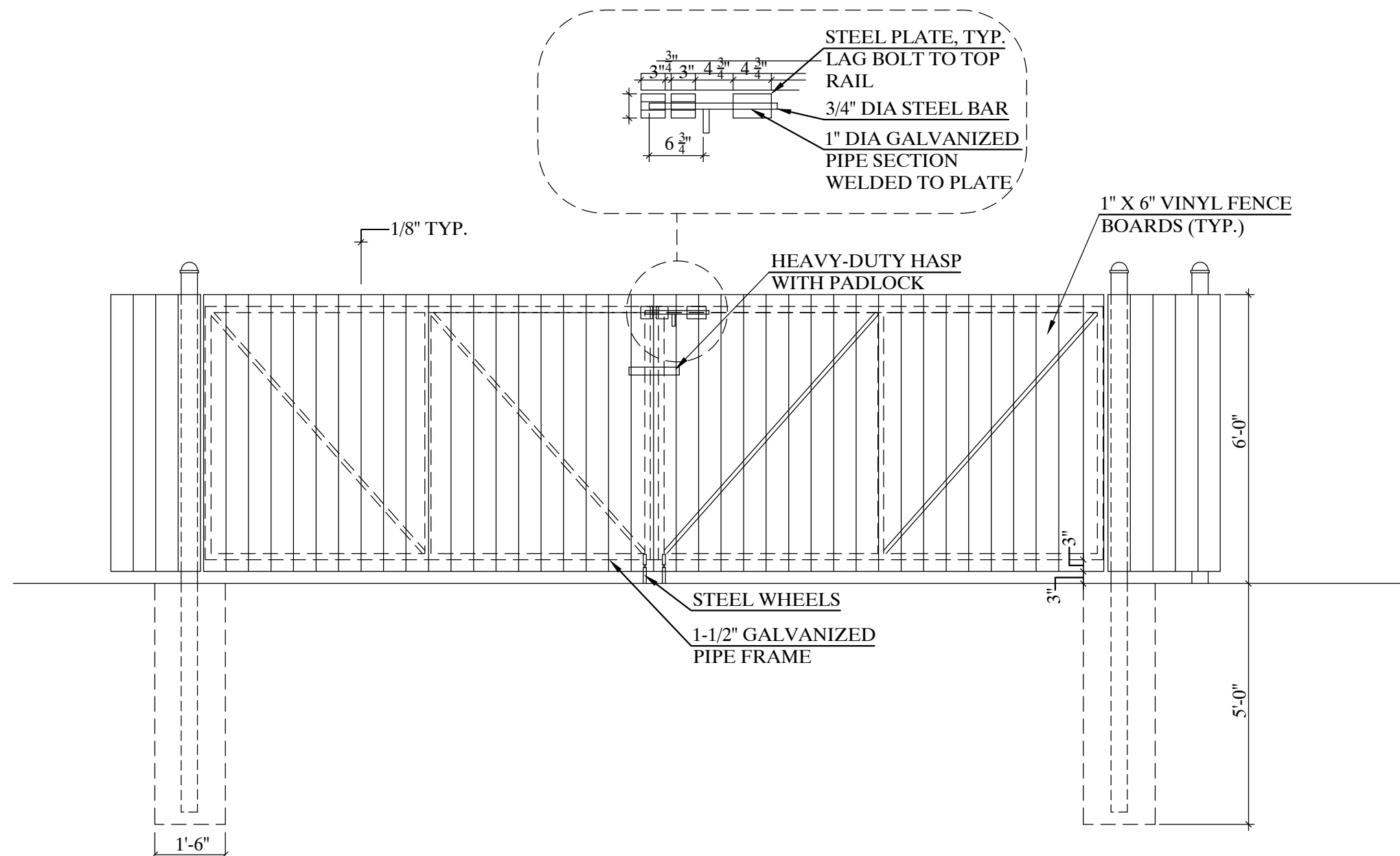


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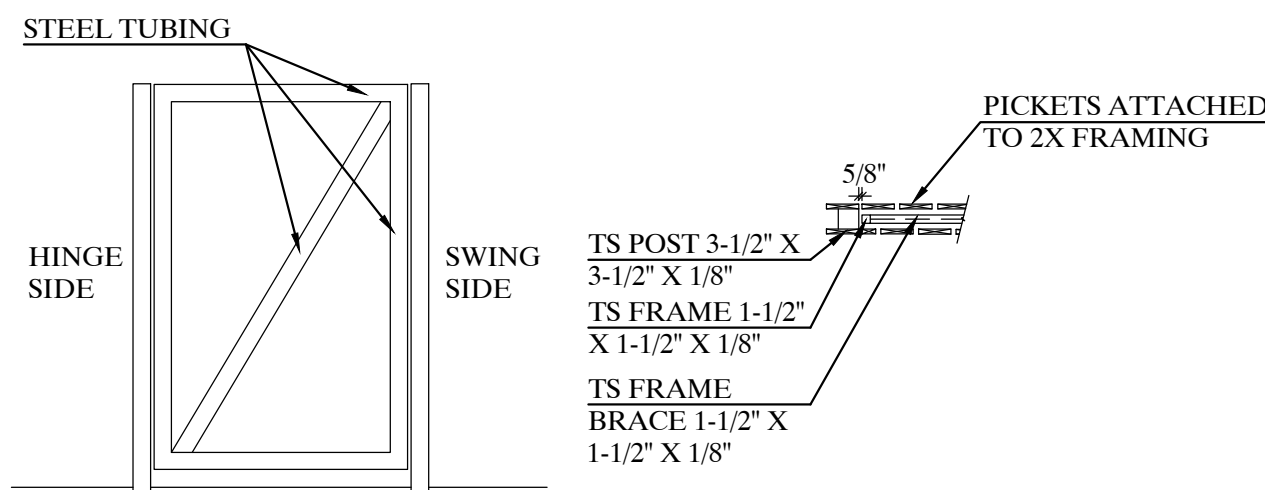
FENCE AT RESIDENT COURTYARD (N.T.S.)



FENCE AT SOLID WASTE COLLECTION & GENERATOR ENCLOSURE (N.T.S.)



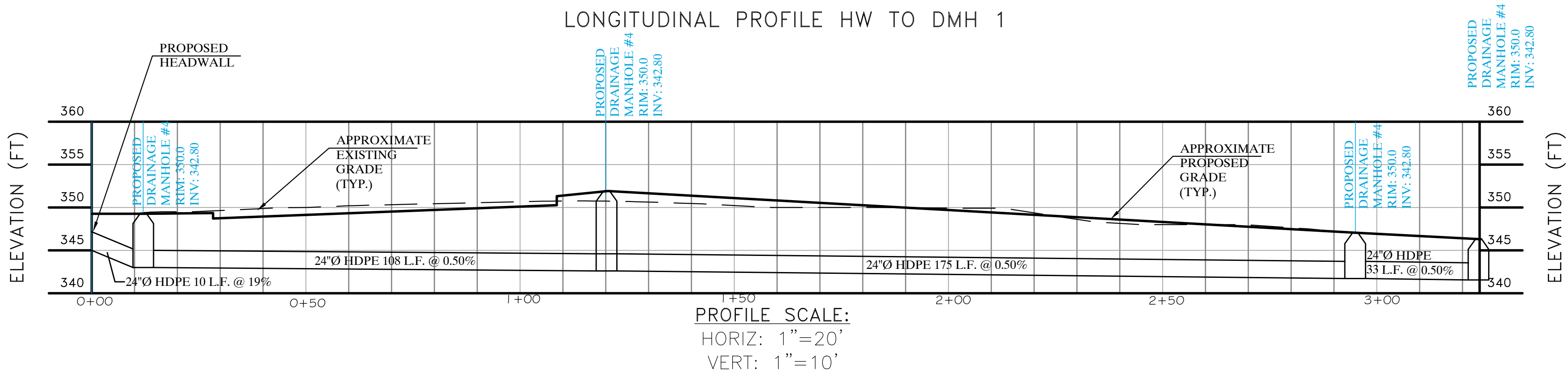
COURTYARD GATE DETAILS (N.T.S.)



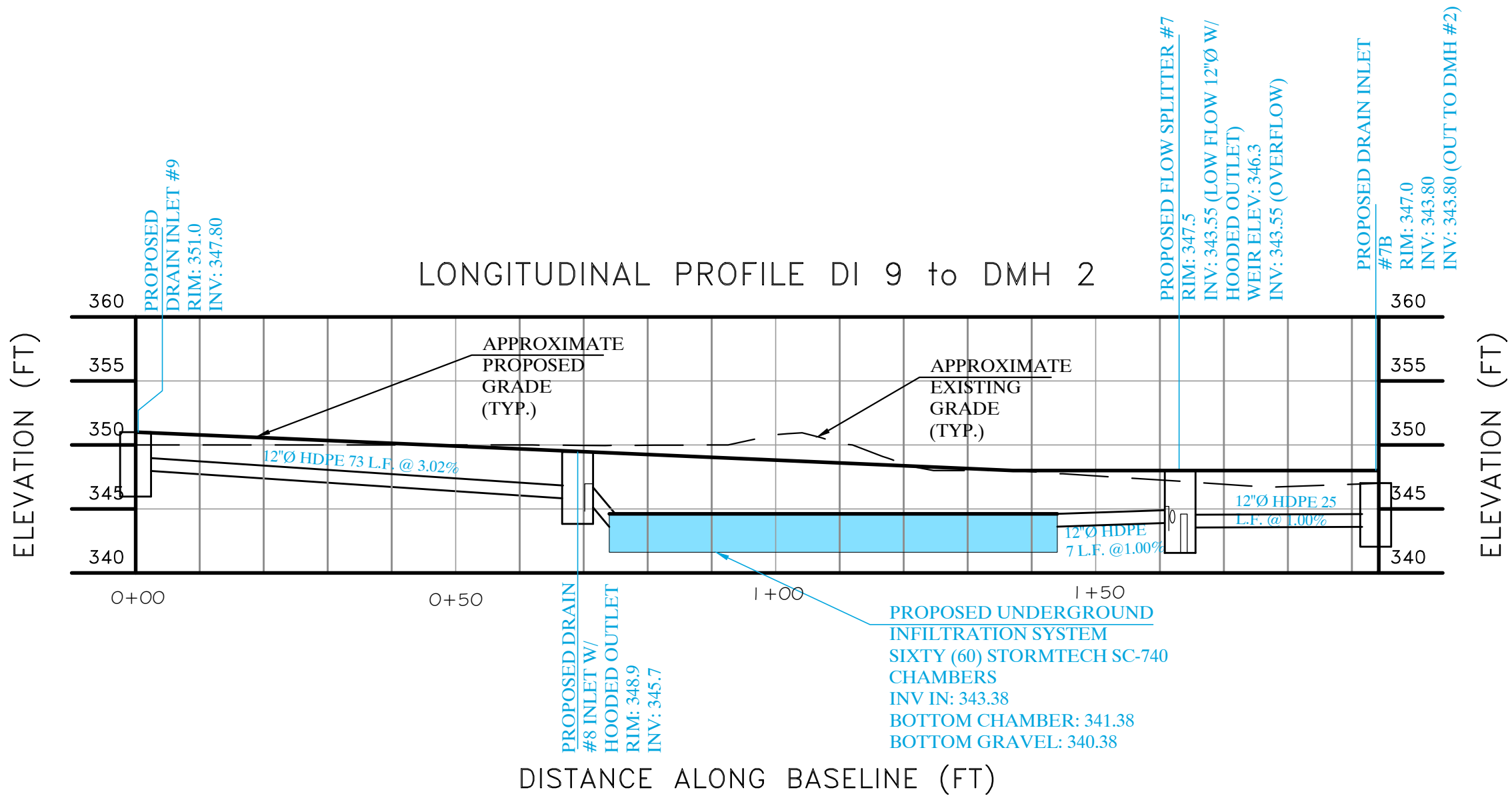
GENERAL NOTES:

1. EACH 2X4 CAP RAIL TO SPAN AT LEAST (2) FENCE SECTIONS CONTINUOUSLY.
2. AT DOUBLE-SIDED COURTYARD FENCE, OFFSET SLAT LOCATION TO PROVIDE VISUAL SCREENING.
3. GATES ARE TO PROPERLY SECURED BY CONTRACTOR UNTIL OWNER LOCKS ARE INSTALLED AND OPERABLE.
4. REFER TO ELECTRICAL DRAWINGS FOR DOOR SECURITY HARDWARE.

LONGITUDINAL PROFILE HW TO DMH 1



LONGITUDINAL PROFILE DI 9 to DMH 2



PROFILE SCALE:  
HORIZ: 1"=20'  
VERT: 1"=10'

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11	11
PROJECT I.D.:	ART100
DATE:	AUGUST 1, 2015

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