

NOTES!

- ALL TREES ARE TO BE REGULATED BY CHAPTER 183 : TREE PROTECTION, OF THE TOWN OF OSSINING CODE.
- ALL INDICATED TREES REMOVED DUE TO STORM DAMAGE.

ZONING TABULATION

TOWN OF OSSINING (EXISTING LOT)

RESIDENTIAL TYPE: ONE-FAMILY BUILDING TYPE: 5-B ZONING DISTRICT: R-15
 TAX REQUIREMENTS SECTION: 89.08 BLOCK: 1 LOT: 79

RESIDENCE ZONE STANDARDS	REQUIRED	EXISTING	PROPOSED
LOT AREA: (SQUARE FOOT)	15,000.00 S.F.	±95,200 S.F. / 2.19 ACRES	±7,500 S.F.
FRONT YARD:	30'	355.4'	355.4'
SIDE YARD 1:	14'	45.3'	12'-3"
SIDE YARD (BOTH):	30'	107.9'	57'-6"
REAR YARD:	32'	129.5'	88'-9"
LOT WIDTH:	90'	173.74'	173.74'
LOT DEPTH:	120'	527.55'	527.55'
BUILDING HEIGHT:	2.5 STORIES/35 FEET	2.0 STORIES	16'-11" AVG. HEIGHT
BUILDING COVERAGE:	25% OF 95,200 = 23,800 S.F.	3246 S.F. / 3.4%	4706 S.F. / 4.9%
IMPERVIOUS COVERAGE:	11,260 SF / 22% OF LOT AREA	11,426 SF / 12%	12,806 / 13.4%
ACCESSORY BLDG HEIGHT:	15'	N/A	BAR-SHED: 10'-7" AVG. HEIGHT
ACCESSORY BLDG SIDE YARD:	10'	12.9'	BAR-SHED: 24'-8"
ACCESSORY BLDG REAR YARD:	10'	103.4'	BAR-SHED: 89'-0"

SPECIAL NOTES

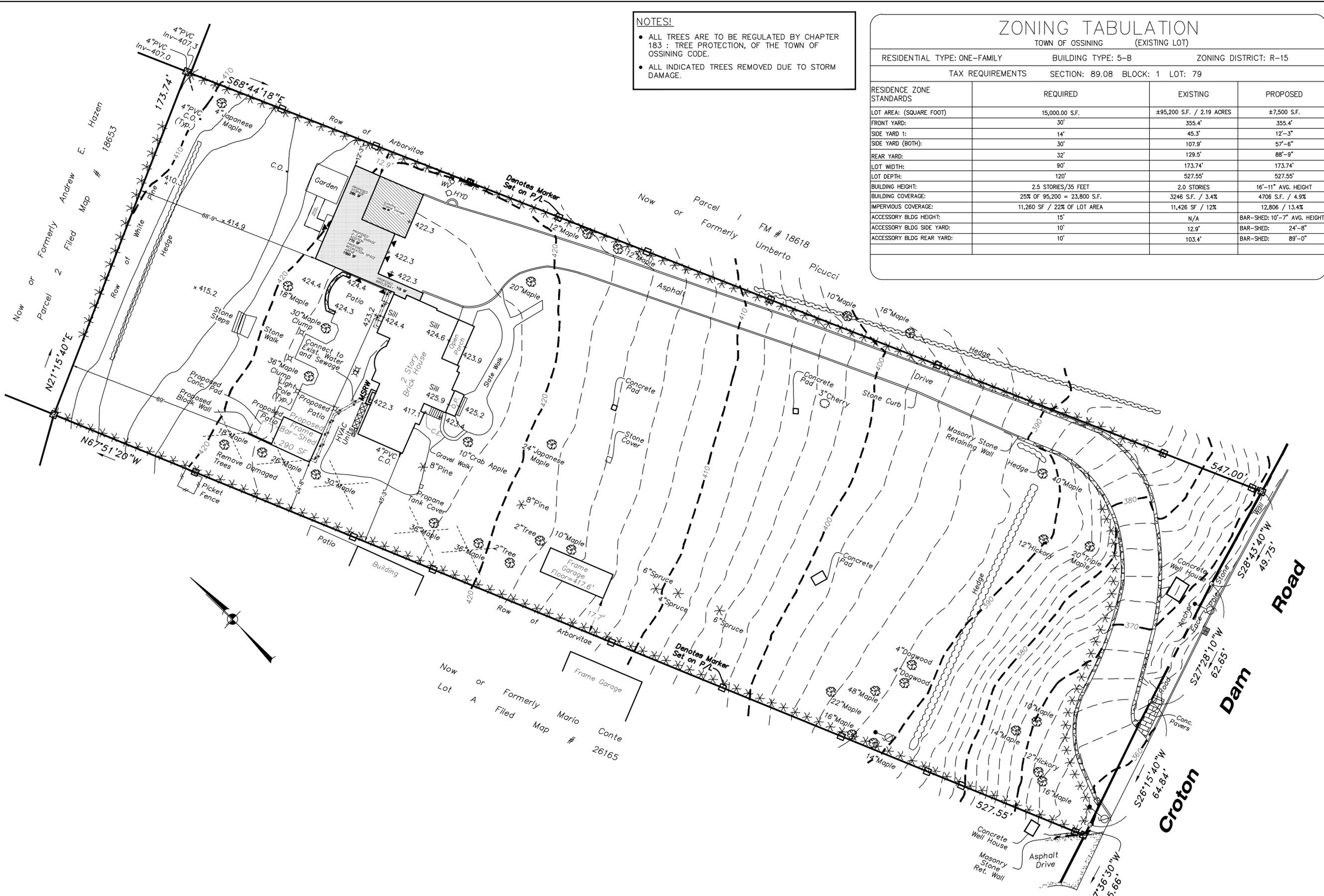
Rev. no.	by	date	description
3	MI	12/03/20	general revisions
2	MI	12/06/20	general revisions
1	MI	11/08/20	general revisions



date: 12/03/20
 scale: as noted
 drawn by: mi/sep
 project no.: 19-033

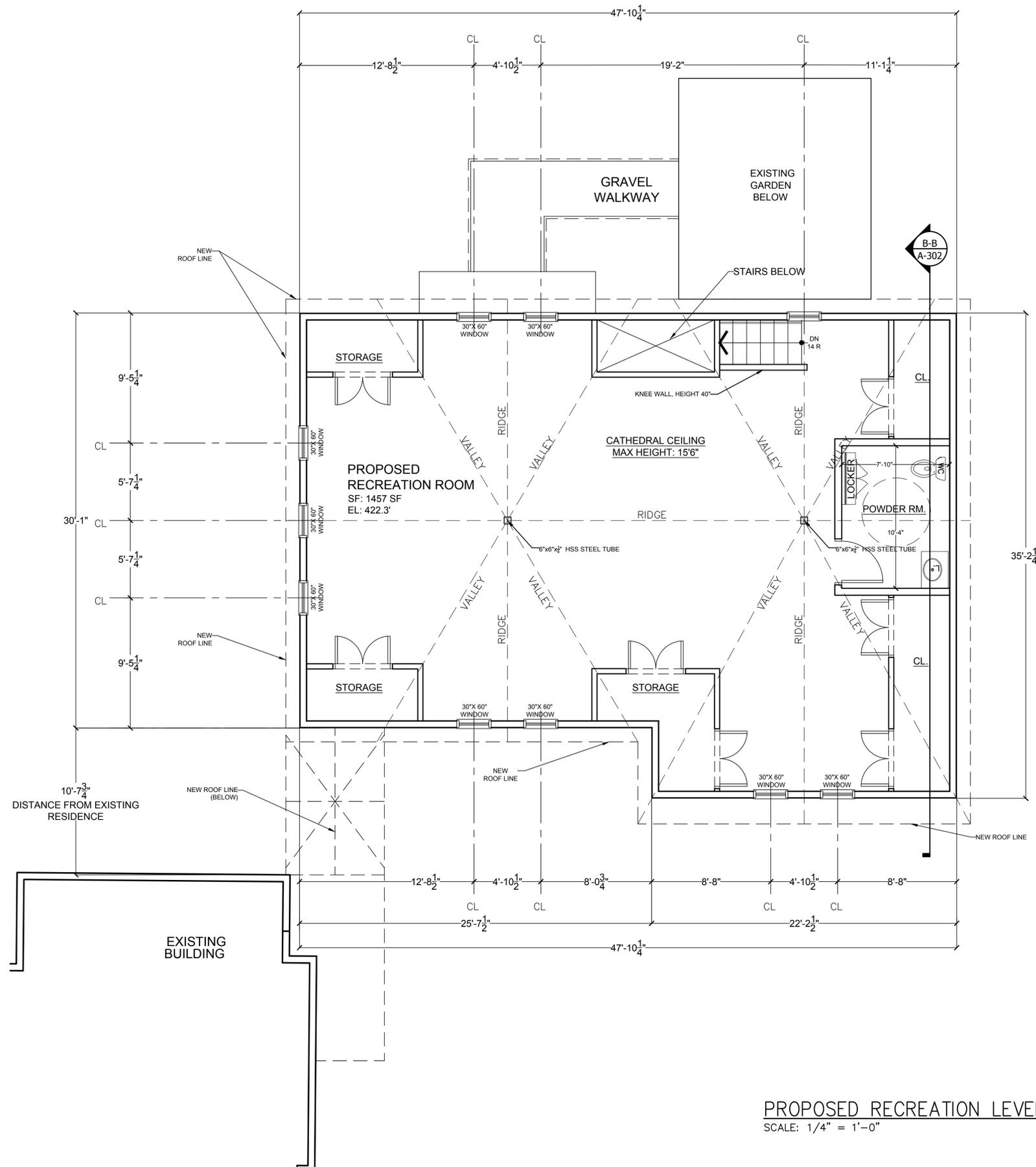
drawing title: **proposed plot plan**
 proposed residence for:
mark seiden
 49 croton dam road, ossining, ny 10562
 gemmola & associates architects/planners
 317 elwood avenue, hamhams, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **SY-101**



PROPOSED PLOT PLAN
 SCALE: 1" = 20'-0"

SY-101

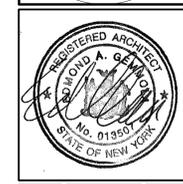
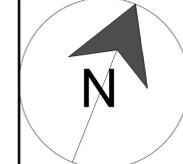


PROPOSED RECREATION LEVEL PLAN
SCALE: 1/4" = 1'-0"

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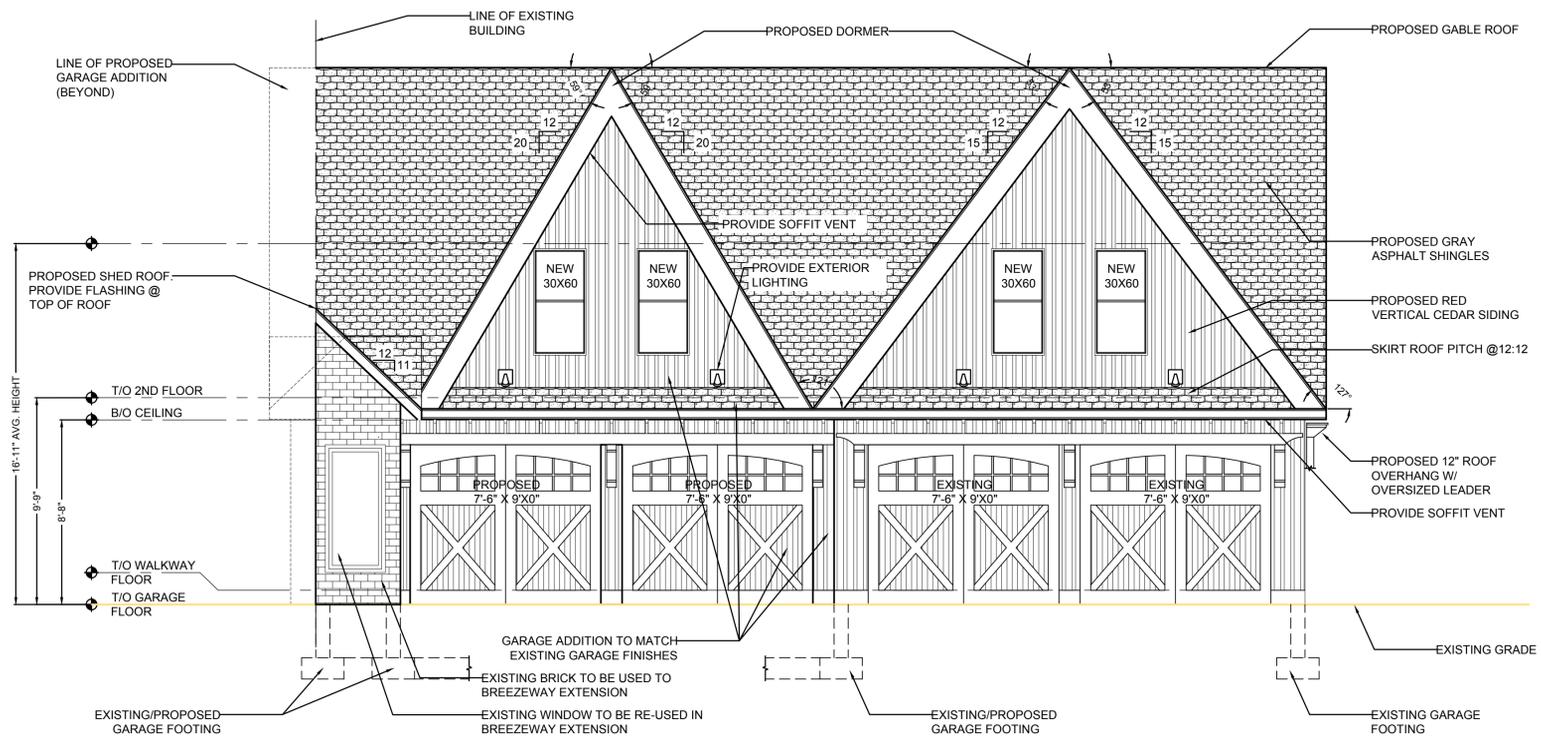
SPECIAL NOTES

Rev. no.	by	date	description
6	MI	12/07/20	general revision
5	MI	11/18/20	general revision
4	MI	10/20/20	general revision
3	MI	10/29/20	general revision
2	MI	07/14/20	general revision
1	MI	07/10/20	revisions made as per meeting with owner

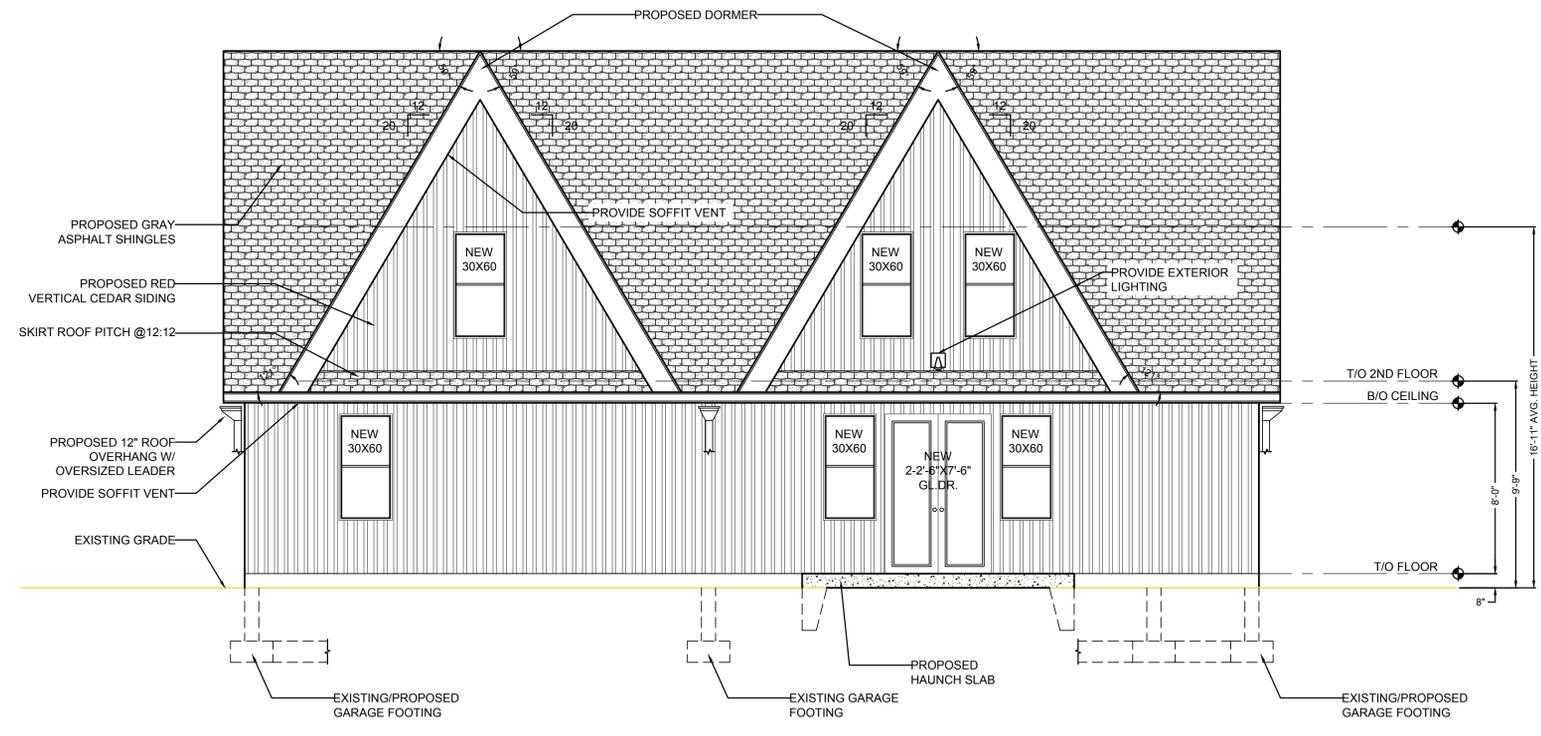


drawing title: **proposed recreation room plan**
 date: 12/03/20
 scale: as noted
 project: **proposed residence for: mark seiden**
 149 croton dam road, cossing, ny 10562
 project no. 19-033
 architects/planners: **gemmola & associates**
 377 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **A-102**



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

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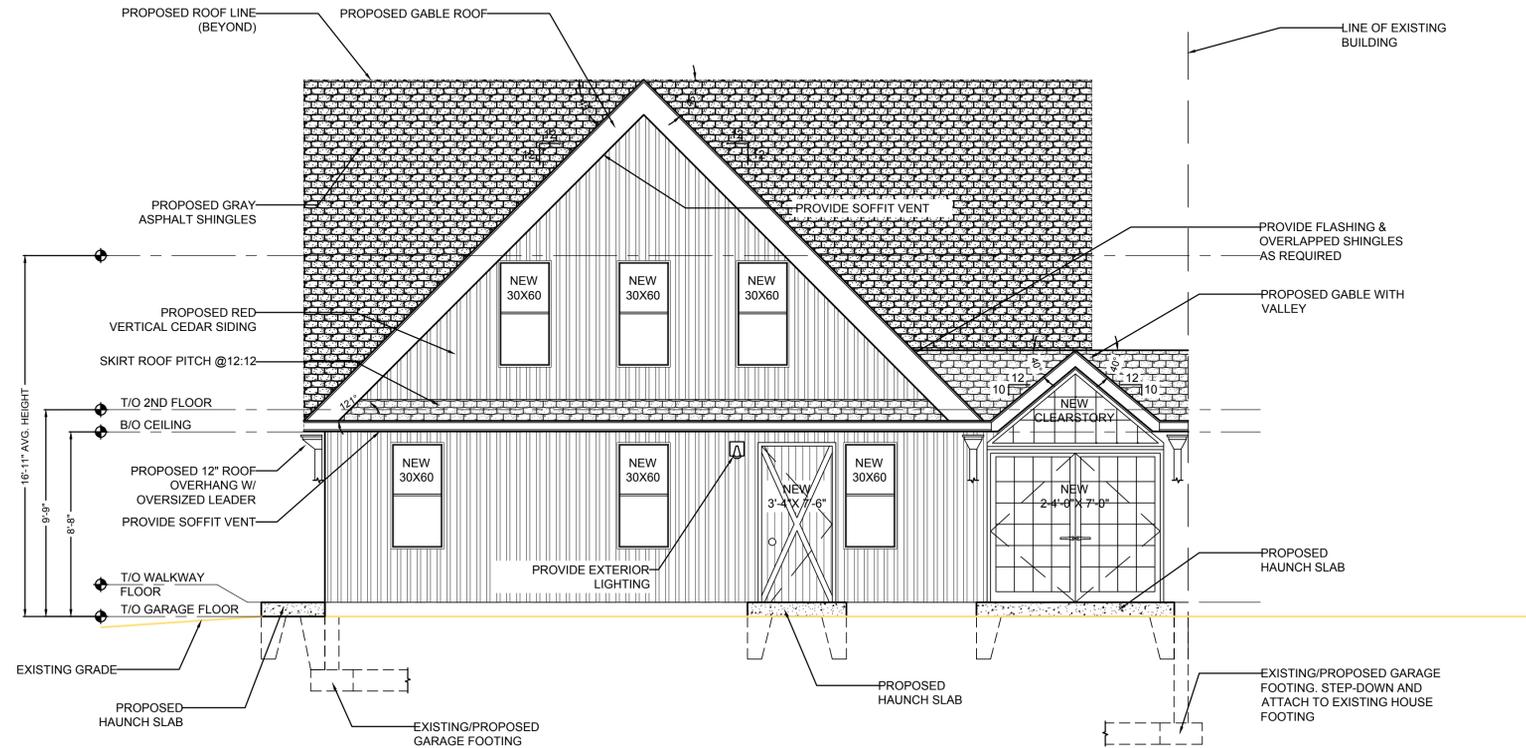
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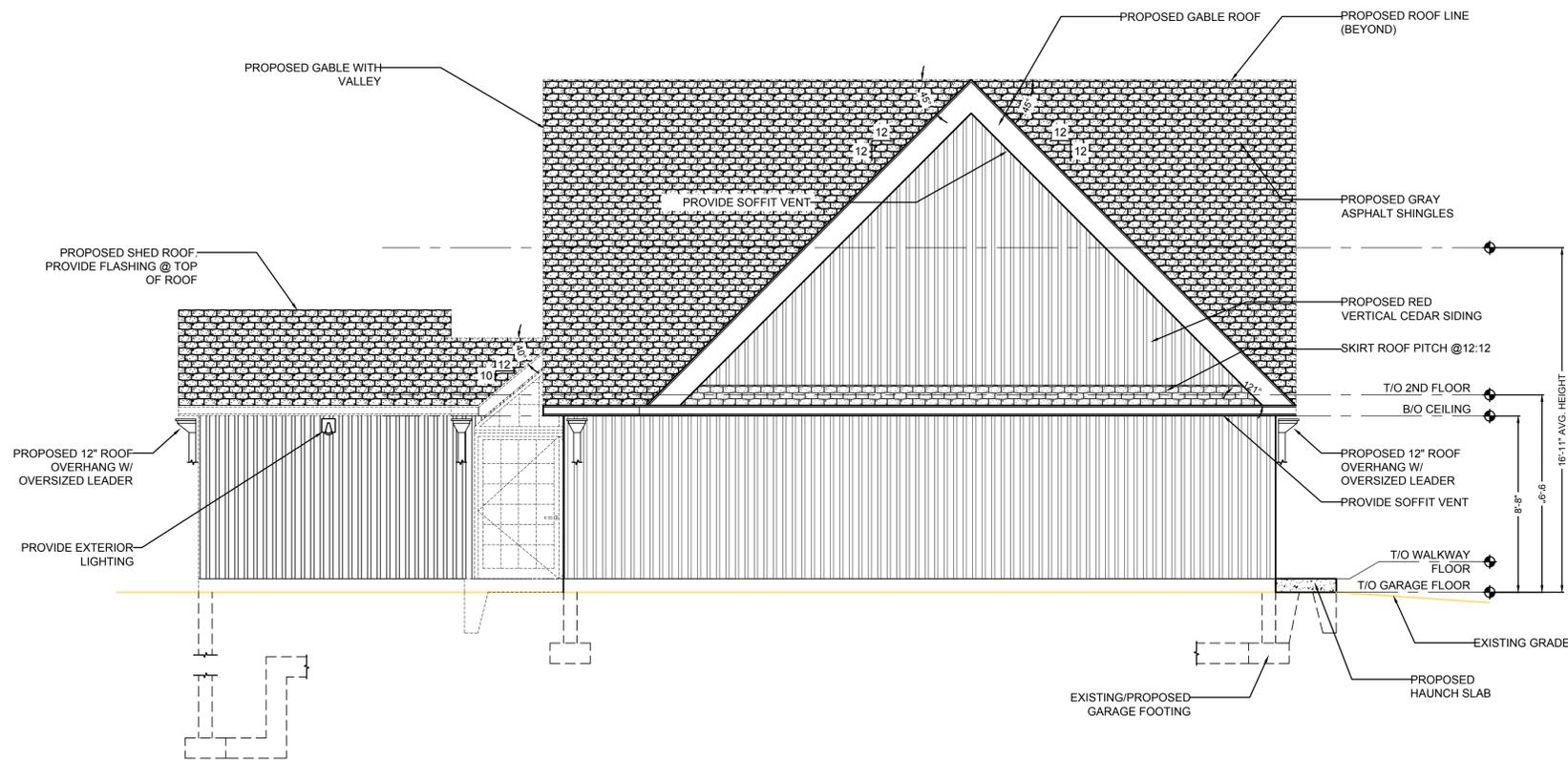


drawing title: **proposed elevations**
 proposed residence for:
mark seiden
 149 croton dam road, cossing, ny 10562
 gemmola & associates architects/planners
 377 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **A-201**



PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SPECIAL NOTES

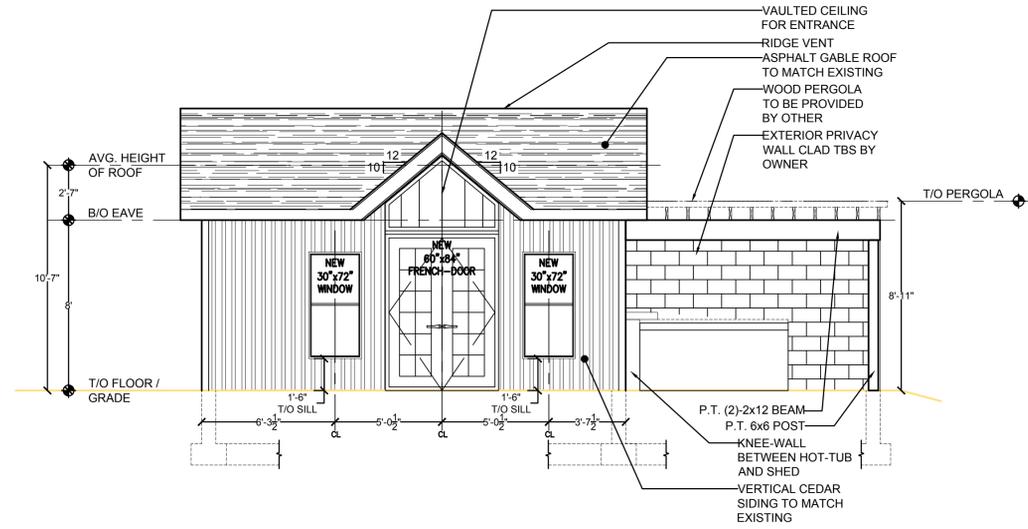
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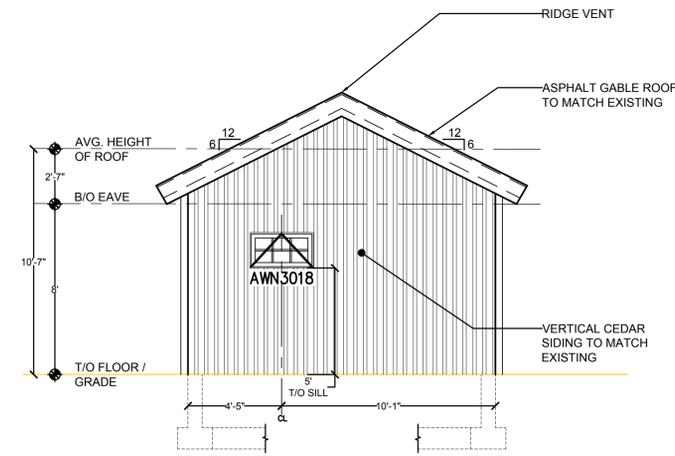


drawing title: **proposed elevations**
 project: **proposed residence for: mark seiden**
 49 croton dam road, cossing, ny 10562
 gemmola & associates architects/planners
 377 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204
 date: 12/03/20
 scale: as noted
 drawn by: mi/agg
 project no. 19-033

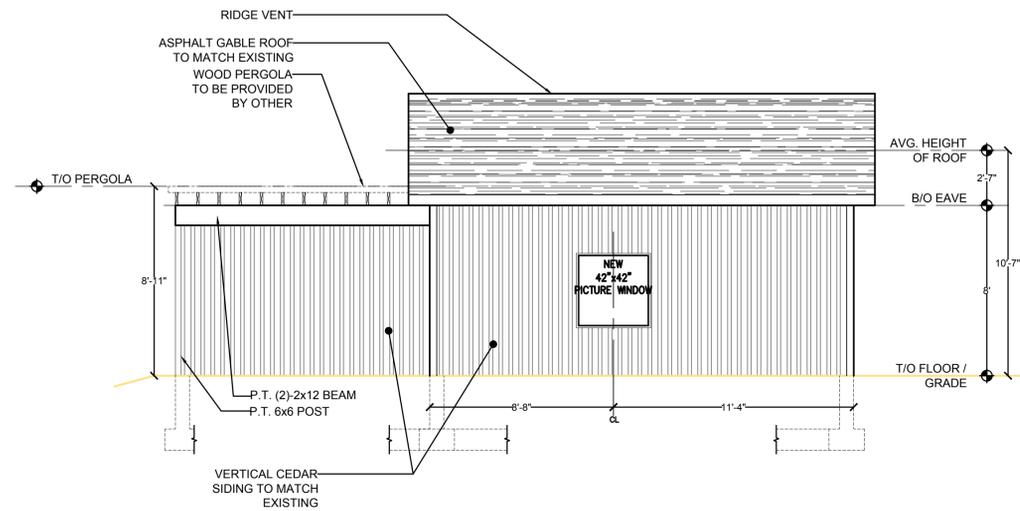
drawing no. **A-202**



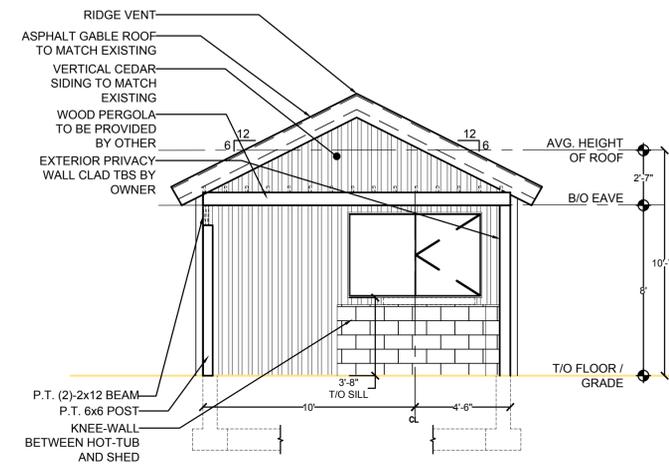
PROPOSED FRONT ELEVATION-1
SCALE: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION-3
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION-2
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION-4
SCALE: 1/4" = 1'-0"

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2	MI	07/14/20	general revision
1	MI	07/10/20	revisions made as per meeting with owner



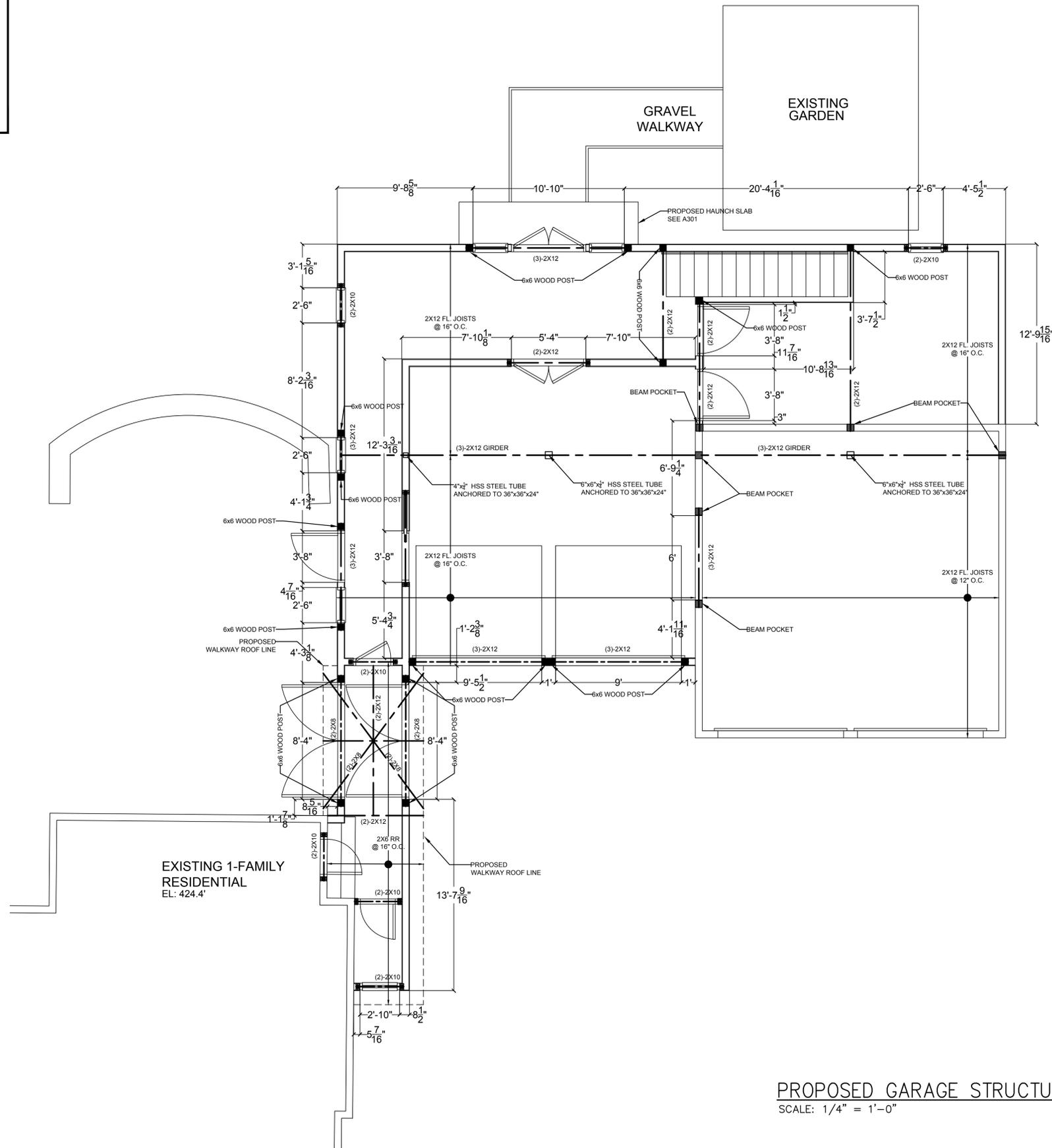
drawing title: **proposed elevations**
 project: **proposed residence for: mark seiden**
 149 croton dam road, cossing, ny 10562
 date: 12/03/20
 scale: as noted
 drawn by: mi/agg
 project no.: 19-033
 architects/planners: **gemmola & associates**
 377 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

A-203

NOTES:

- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



PROPOSED GARAGE STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

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2	MI	07/14/20	general revisions
1	MI	07/10/20	revisions made as per meeting with owner

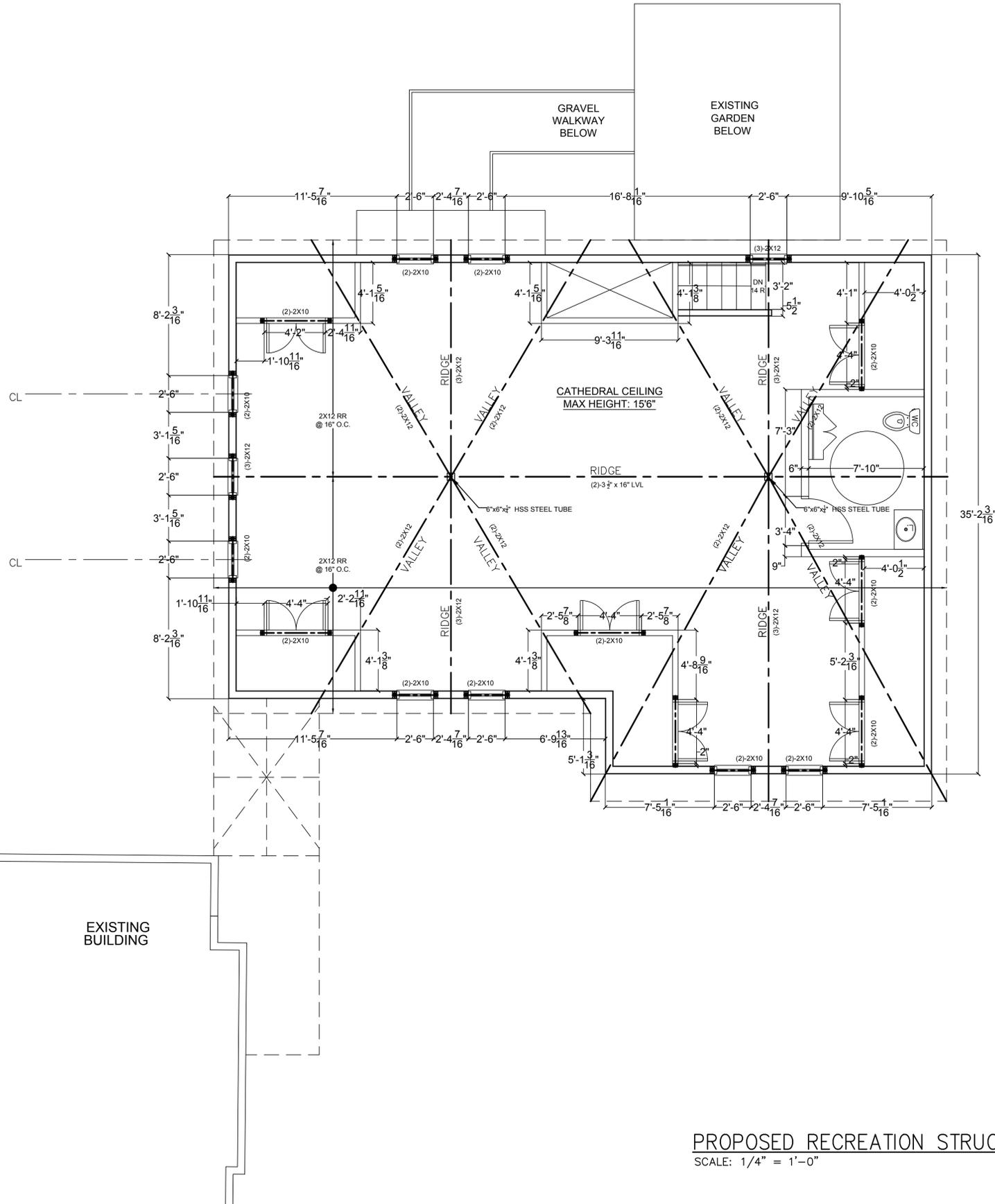


drawing title: **proposed garage level structure**
 date: 12/03/20
 scale: as noted
 project: proposed residence for: **mark seiden**
 149 croton dam road, cossing, ny 10562
 project no. 19-033
 drawing no. 19-033
 architects/planners: **gemmola & associates**
 317 elwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **S-101**

NOTES!

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PROPOSED RECREATION STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

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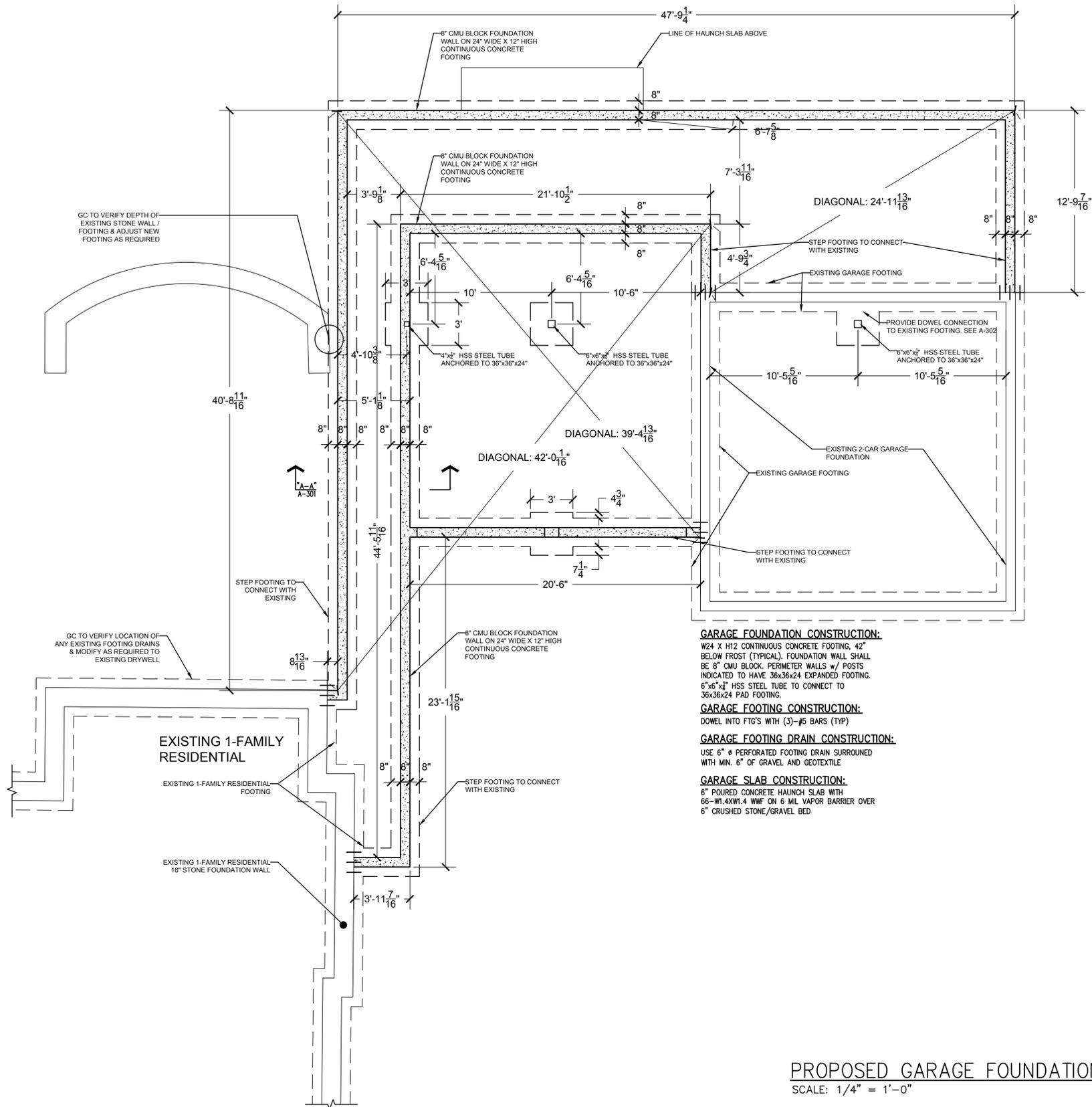
SPECIAL NOTES

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3	MI	10/29/20	general revisions
2	MI	07/14/20	general revisions
1	MI	07/03/20	revisions made as per meeting with owner



drawing title: **proposed recreation level structure**
 date: 12/03/20
 scale: as noted
 project: **proposed residence for: mark seiden**
 149 croton dam road, cossing, ny 10562
 project no. 19-033
 drawing no. 19-033
 architects/planners: **gemmola & associates**
 377 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **S-102**



GARAGE FOUNDATION CONSTRUCTION:
 W24 X H12 CONTINUOUS CONCRETE FOOTING, 42" BELOW FROST (TYPICAL). FOUNDATION WALL SHALL BE 8" CMU BLOCK. PERIMETER WALLS w/ POSTS INDICATED TO HAVE 36x36x24 EXPANDED FOOTING. 6"x6"x4" HSS STEEL TUBE TO CONNECT TO 36x36x24 PAD FOOTING.

GARAGE FOOTING CONSTRUCTION:
 DOWEL INTO FTG'S WITH (3)-#5 BARS (TYP)

GARAGE FOOTING DRAIN CONSTRUCTION:
 USE 6" # PERFORATED FOOTING DRAIN SURROUNDED WITH MIN. 6" OF GRAVEL AND GEOTEXTILE

GARAGE SLAB CONSTRUCTION:
 6" POURED CONCRETE HAUNCH SLAB WITH 66-W1.4XW1.4 WWF ON 6 MIL VAPOR BARRIER OVER 6" CRUSHED STONE/GRAVEL BED

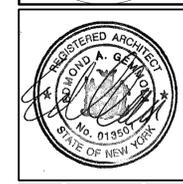
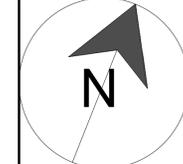
GC TO VERIFY DEPTH OF EXISTING STONE WALL / FOOTING & ADJUST NEW FOOTING AS REQUIRED

GC TO VERIFY LOCATION OF ANY EXISTING FOOTING DRAINS & MODIFY AS REQUIRED TO EXISTING DRYWELL

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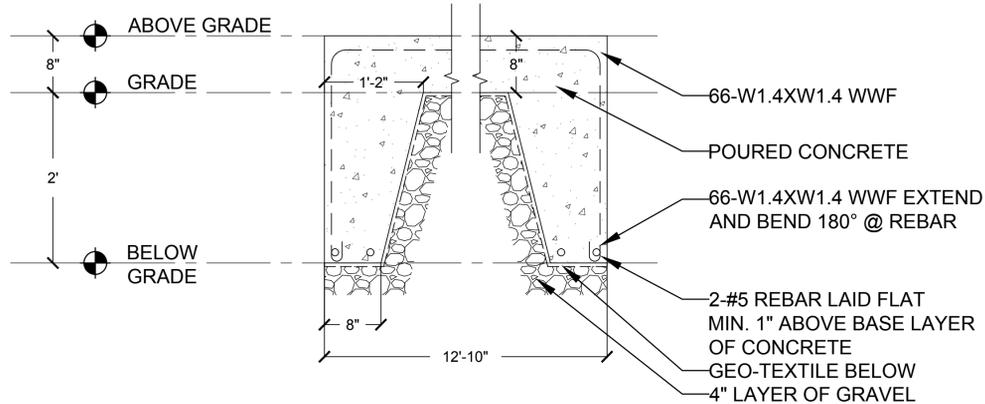
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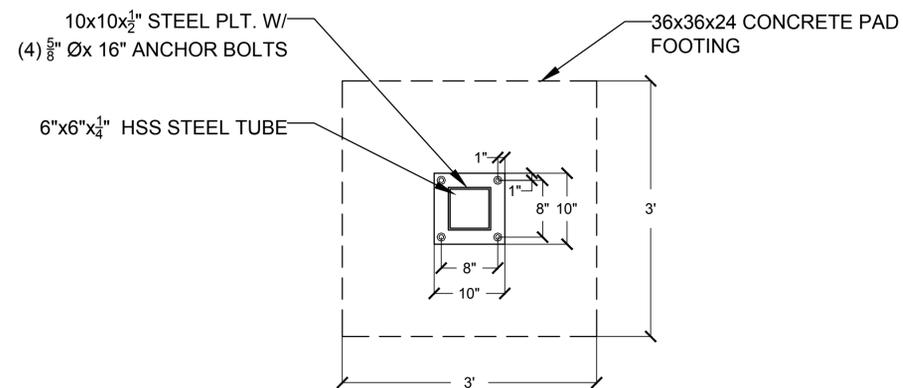
drawing title: **proposed garage foundation plan**
 date: 12/03/20
 scale: as noted
 project: proposed residence for: **mark seiden**
 19 croton dam road, cossing, ny 10562
 project no. 19-033
 architects/planners: **gemma & associates**
 377 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax. (914) 862-0204

drawing no. **F-101**

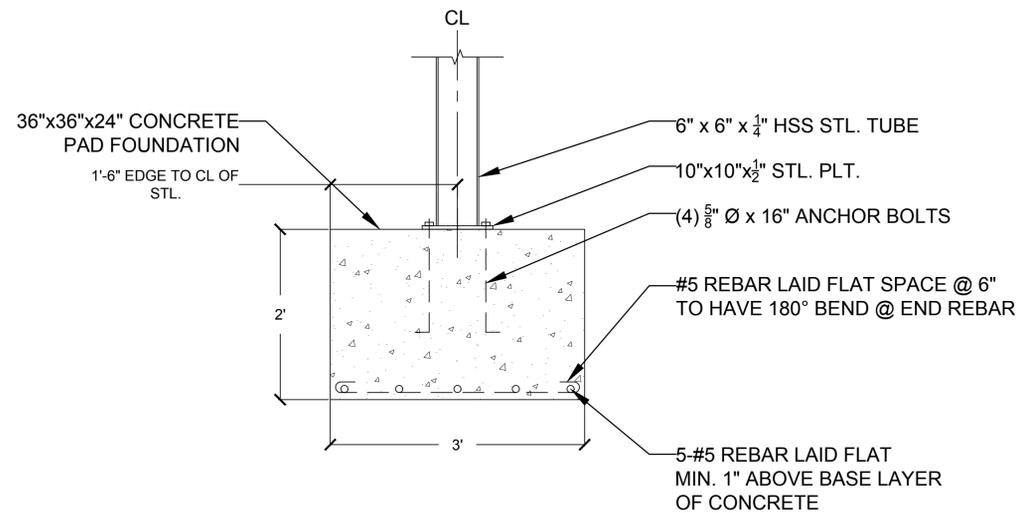
PROPOSED GARAGE FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



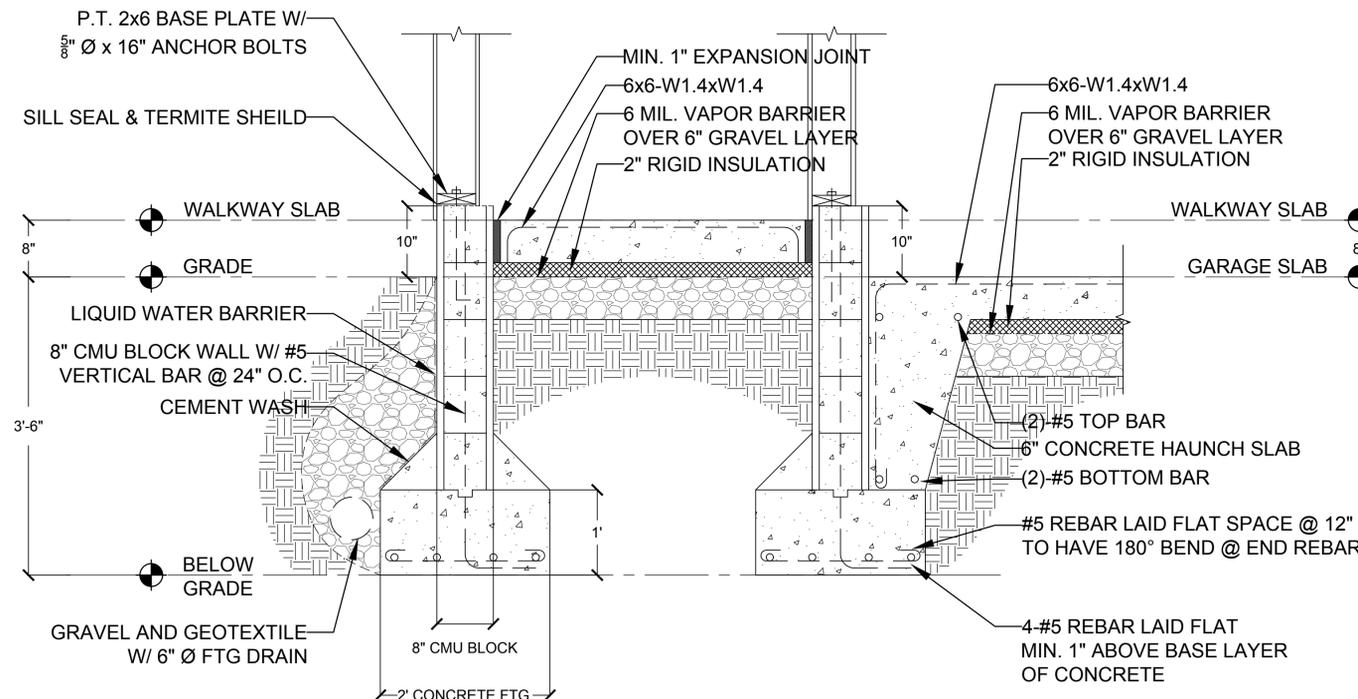
HAUNCH SLAB DETAIL
SCALE: 1" = 1'-0"



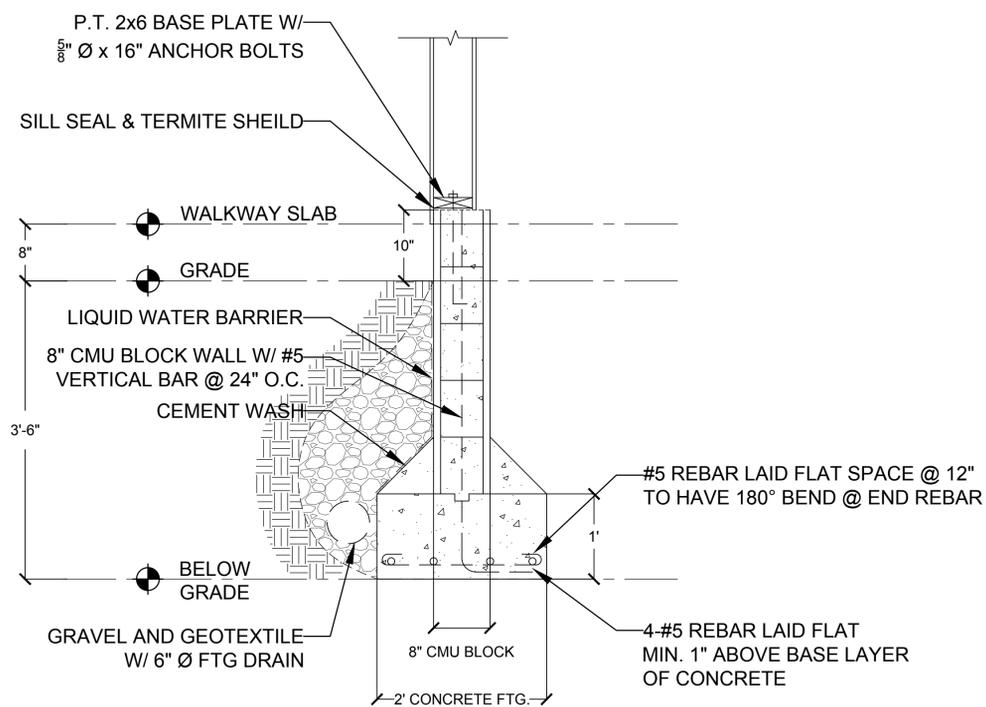
CONCRETE PAD PLAN VIEW
SCALE: 1" = 1'-0"



CONCRETE PAD SECTION
SCALE: 1" = 1'-0"



SECTION "A-A"
SCALE: 1" = 1'-0"



FOOTING AND CMU FOUNDATION DETAIL
SCALE: 1" = 1'-0"

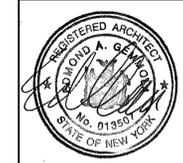
NOTES:

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- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
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1	MI	10/29/20	general revisions



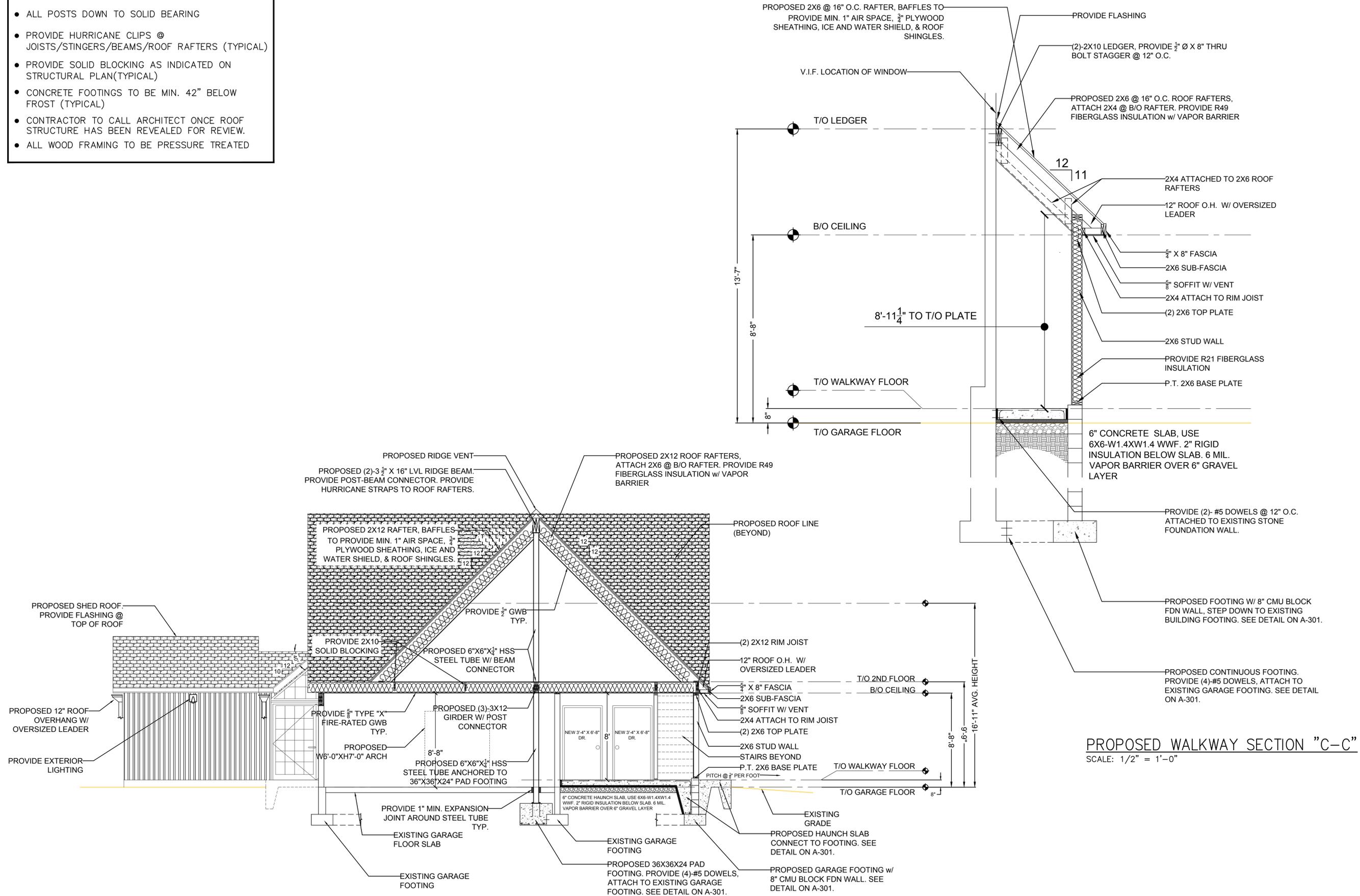
proposed garage/recreation sections
 date: 12/03/20
 scale: as noted
 drawn by: mi/agg
 project no.: 19-033
 proposed residence for:
 mark selden
 149 croton dam road, cossingham, ny 10562
 gemmola & associates architects/planners
 317 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no.

A-301

NOTES!

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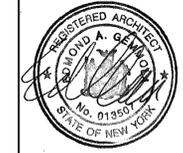
PROPOSED GARAGE SECTION "B-B"
SCALE: 1/4" = 1'-0"

PROPOSED WALKWAY SECTION "C-C"
SCALE: 1/2" = 1'-0"

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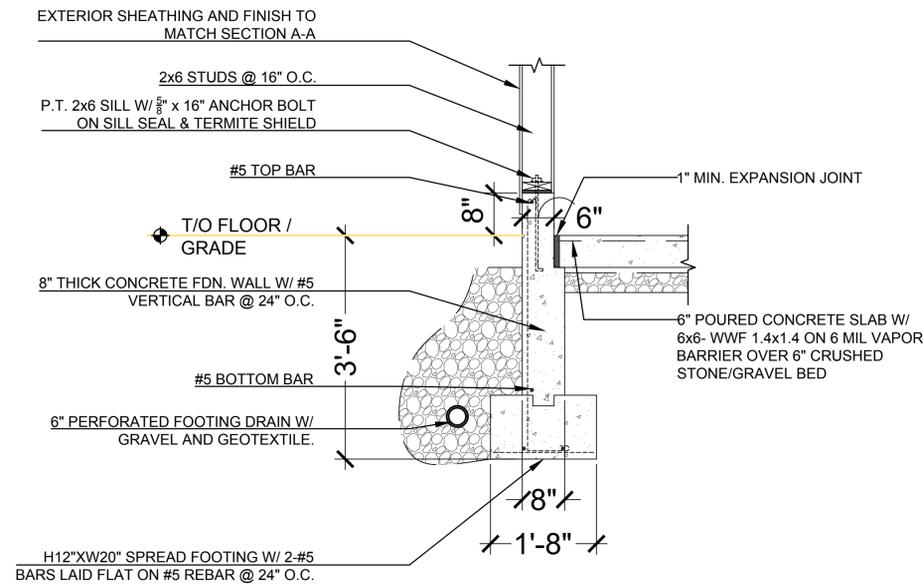


proposed garage/recreation sections
 date: 12/03/20
 scale: as noted
 project no. 19-033
 drawing no. 10562
 proposed residence for:
mark selden
 149 croton dam road, cossington, ny 10562
gemma & associates architects/planners
 317 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

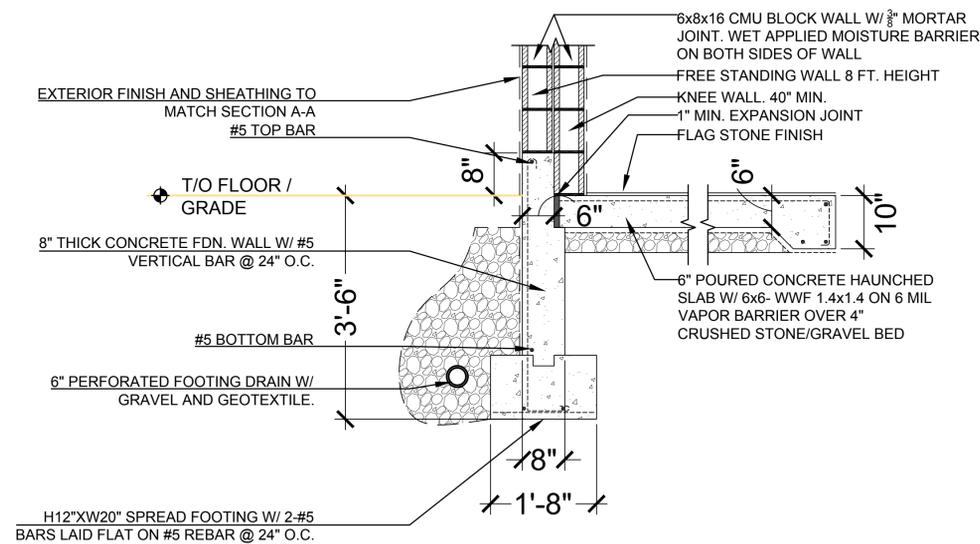
drawing no. **A-302**

NOTES!

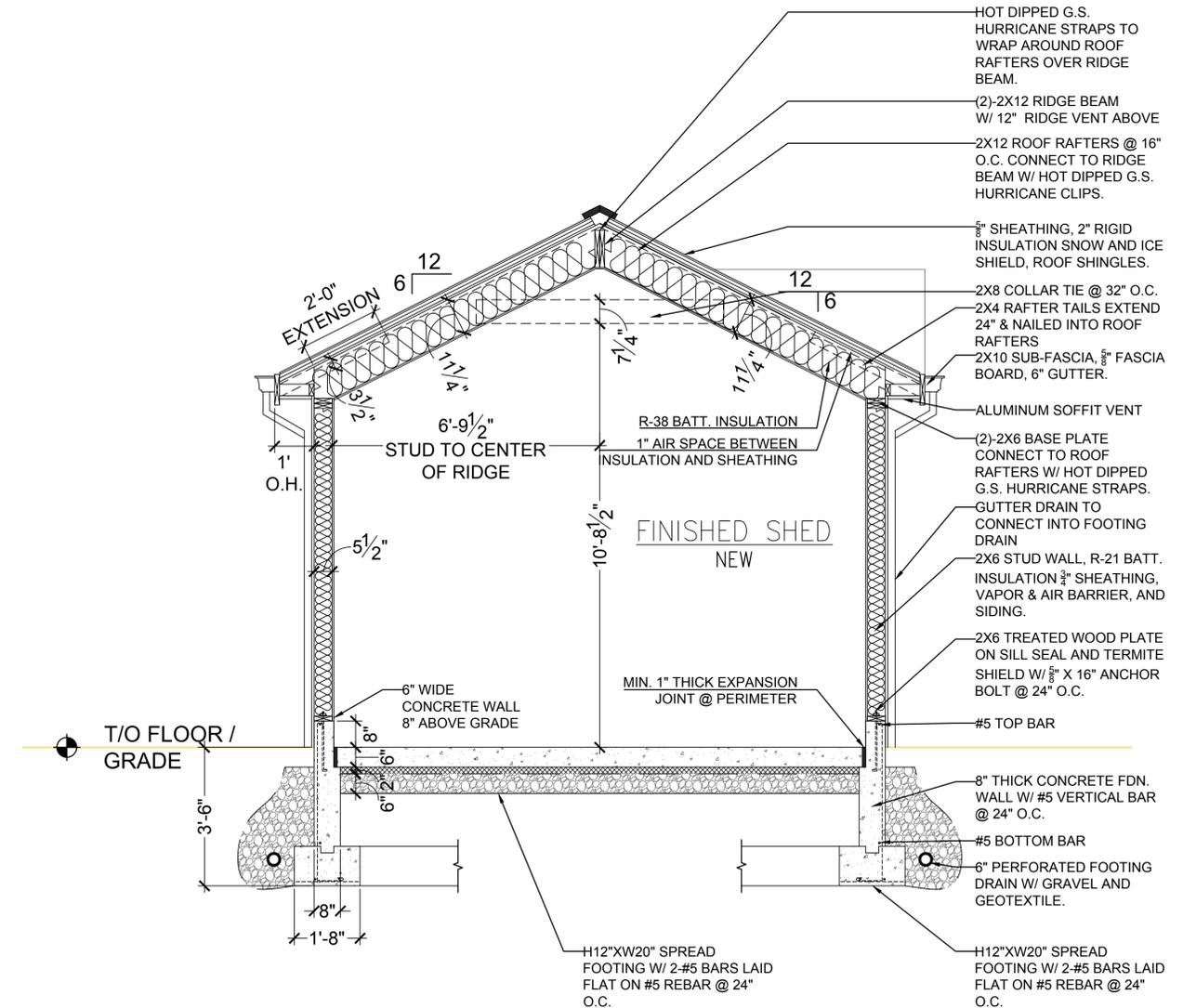
- ALL POSTS DOWN TO SOLID BEARING
- PROVIDE HURRICANE CLIPS @ JOISTS/STINGERS/BEAMS/ROOF RAFTERS (TYPICAL)
- PROVIDE SOLID BLOCKING AS INDICATED ON STRUCTURAL PLAN(TYPICAL)
- CONCRETE FOOTINGS TO BE MIN. 42" BELOW FROST (TYPICAL)
- CONTRACTOR TO CALL ARCHITECT ONCE ROOF STRUCTURE HAS BEEN REVEALED FOR REVIEW.
- ALL WOOD FRAMING TO BE PRESSURE TREATED



SECTION B-B
SCALE: 3/4" = 1'-0"



SECTION C-C
SCALE: 3/4" = 1'-0"



PROPOSED SECTION A-A
SCALE: 1/2" = 1'-0"

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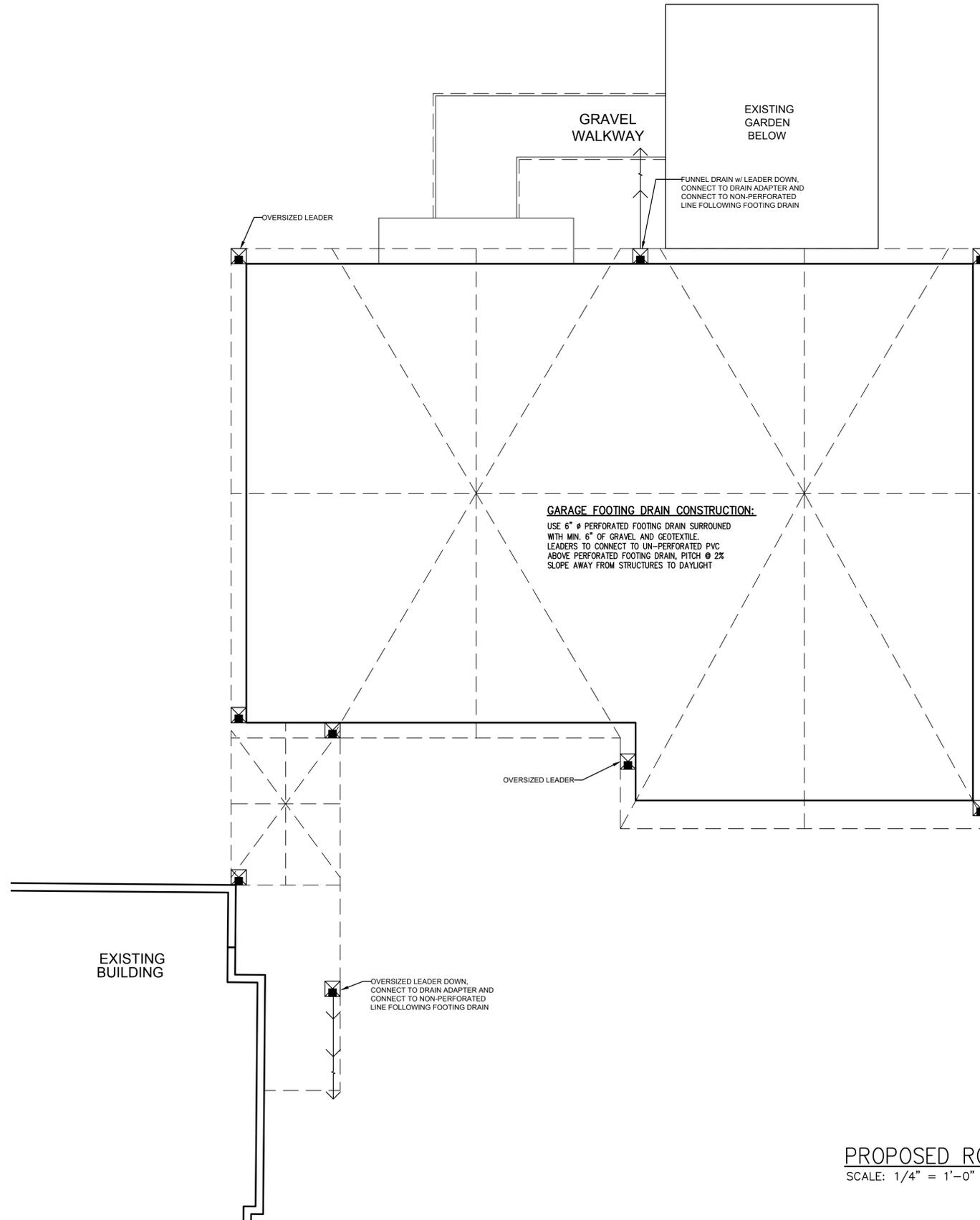
SPECIAL NOTES

Rev. no.	by	date	description
4	MI	12/03/20	general revisions
3	MI	12/01/20	general revisions
2	MI	10/29/20	general revisions
1	MI	10/29/20	general revisions



drawing title:	proposed bar-shed sections
project:	proposed residence for: mark seiden
date:	12/03/20
scale:	as noted
drawn by:	mi/agg
project no.:	19-033
architects/planners:	gemmola & associates
location:	49 croton dam road, cossing, ny 10562
contact:	317 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **A-303**



GARAGE FOOTING DRAIN CONSTRUCTION:
 USE 6" Ø PERFORATED FOOTING DRAIN SURROUNDED WITH MIN. 6" OF GRAVEL AND GEOTEXTILE. LEADERS TO CONNECT TO UN-PERFORATED PVC ABOVE PERFORATED FOOTING DRAIN, PITCH @ 2% SLOPE AWAY FROM STRUCTURES TO DAYLIGHT

PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

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 The construction documents do not indicate/include the design of HVAC/Electrical/Plumbing systems. The Contractor is to discuss/verify the scope of this work with the Owner.
 The Architect is not responsible for Construction Phase. Administration of the construction documents is the responsibility of the Contractor.
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SPECIAL NOTES

Rev. no.	by	date	Description
1	MI	11/01/20	general revisions



drawing title: **proposed garage/recreation roof plan**
 date: 12/03/20
 scale: as noted
 project: **mark seiden**
 19 croton dam road, cossing, ny 10562
 gemmola & associates architects/planners
 377 shwood avenue, hawthorne, new york 10532 tel. (914) 862-0202 fax (914) 862-0204

drawing no. **R-101**