GENERAL REQUIREMENTS:

G-1 USER GROUP CLASSIFICATION: R-3 TWO FAMILY OCCUPANCY USE GROUP -
AUTOMATIC FIRE SPRINKLERS ARE NOT REQUIRED FOR TWO STORY TOWNHOUSES
TWO STORIES PER UL (TABLE 503)
FIRE WALLS FOR TOWNHOUSE UNITS - (1) HOUR FIRE WALLS PROVIDED
BETWEEN UNITS FOR SOUND ISOLATION

G-2 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CODES:

BUILDING CODE: BUILDING CODE OF NEW YORK STATE
NFPA 101 LIFE SAFETY CODE
ENERGY CODE: ENERGY CONSERVATION CODE OF NEW YORK STATE
MECHANICAL: BUILDING CODE OF NEW YORK STATE
ELECTRICAL: BUILDING CODE OF NEW YORK STATE
NATIONAL ELECTRICAL CODE NFPA 70
PLUMBING: BUILDING CODE OF NEW YORK STATE
HANDICAPPED: ICC/ANSI A117.1 - ACCESSIBILITY AND USABILITY BUILDINGS & FACILITIES
FIRE PROTECTION: FIRE CODE AND MAINTENANCE CODE OF NEW YORK STATE
NFPA 101 LIFE SAFETY CODE

G-3 PRIOR TO THE START OF WORK THE GENERAL CONTRACTOR SHALL VERIFY THE FOLLOWING:
1) ALL BUILDING PERMITS HAVE BEEN GRANTED
2) THAT THE OWNER'S REPRESENTATIVE HAS BEEN NOTIFIED,
AND PERMISSION TO START CONSTRUCTION, FROM THE
OWNER'S REPRESENTATIVE HAS BEEN GRANTED (WRITTEN DOCUMENTATION).

G-4 THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AGAINST THE DRAWINGS AND INFORM THE ARCHITECT/ ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.

G-5 THE GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS SHALL TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE TO COMPLETED WORK.

G-6 THE CONTRACTOR SHALL PERFORM ALL WORK IN THIS AREA ACCORDING TO OWNER'S AGREED UPON WORK PLAN- ADJACENT SPACE MAY BE OCCUPIED ALL EXITWWAYS MUST BE KEPT CLEAR AT ALL TIMES.

G-7 THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND SUPPLIERS SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES FOR ALL MATERIALS AND INSTALLATIONS.

G-8 ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION FOR REVIEW AND COMMENT PRIOR TO ANY INSTALLATION

G-9 ALL INTERIOR FINISHES, WALLS - SHALL BE CLASS "B" FINISH MINIMUM

PROJECT TITLE:

ALBANY POST ROAD DUPLEX

39 OLD ALBANY POST ROAD
OSSINING, New York

ZONING TABLE:

ZONE: NC NEIGHBORHOOD COMMERCIAL DISTRICT 6-2017 10-3-2017
PROPOSED USE: (2) TWO (3) THREE BEDROOM APARTMENTS -
SUBJECT TO THE FOLLOWING CONDITIONS: NOT TO EXCEED TWO DWELLINGS ON EACH LONE AS REGULATED BY THE DIMENSIONAL REQUIREMENTS IN R10 RESIDENTIAL DISTRICT.

MINIMUM REQUIREMENTS:		PROPOSED
LOT AREA:	10,000 S.F.	11,553 S.F.
LOT WIDTH:	75'	150 AVERAGE
LOT DEPTH:	100'	80 AVERAGE
FRONT YARD:	25'	25'
1 SIDE YARD	12'	12'
BOTH SIDE YARDS	26'	26'
LIVABLE FLOOR AREA/DWELLING UNIT	1,000	1,335
MAXIMUM PERMITTED:		
BUILDING HEIGHT:	.	
STORES:	2 ½	2
HEIGHT	35'	28'
BUILDING COVERAGE:	.27%	12.9%

PARKING: 4 OFF STREET SPACES REQUIRED | 4 OFF STREET SPACES PROVIDED

CONSULTANT DIRECTORY

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ABBREVIATION LIST

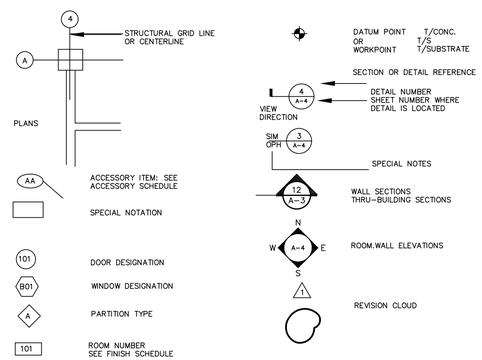
A.	AMP. AMPS.	F.S.	FULL SIZE	PREFIN.	PREFINISHED
A.C.T.	ACOUSTICAL CEILING TILE	FOUND.	FOUNDATION	PRO. PR.	PROPOSED
ADJ.	ADJUSTABLE	FTG.	FOOTING	P.T.	PRESSURE TREATED
A.F.F.	ABOVE FINISHED FLOOR	FPSC	FIRE PROOF SELF CLOSING	P.C.	PRE CAST
ALUM.	ALUMINUM	GA.	GAUGE	RECEPT.	RECEPTACLE
ARCH.	ARCHITECTURAL	GALV.	GALVANIZED	REINF.	REINFORCED
BLDG.	BUILDING	G.C.	GENERAL CONTRACTOR	REQ'D.	REQUIRED
CIRC.	CIRCULAR	GL.	GLASS	RND.	ROUND
C.J.	CONTROL JOINT	G.W.B.	GYPSUM WALLBOARD	R.O.D.	ROUGH OPENING DIMENSION
CLG.	CEILING	H.	HOLLOW	S.C.	SOLID CORE
C.M.U.	CONCRETE MASONRY UNIT	H.C.	HANDICAPPED	SECT.	SECTION
COL.	COLUMN	HGT.	HEIGHT	SHT.	SHEET
CONC.	CONCRETE	H.P.	HIGH POINT	SIM.	SIMILAR
CONT.	CONTINUOUS	INSUL.	INSULATION	SL	SLIDING
C.T.	CONTROL JOINT	JT	JOINT	SPEC.	SPECIFICATION
CYL.	CYLINDER	LAM.	LAMINATE	STL.	STEEL
C.O.	CERTIFICATE OF OCCUPANCY	LT.	LIGHT	STRUCT.	STRUCTURAL
DF	DOUGLAS FIR	MAX.	MAXIMUM	SUSP.	SUSPENDED
DIA.	DIAMETER	MECH.	MECHANICAL	TEMP.	TEMPORARY
DIAG'L.	DIAGONAL	MFG.	MANUFACTURER	TYP.	TYPICAL
DN/	DOWN	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DR.	DOOR	MISC.	MISCELLANEOUS	U.G.	USE GROUP
DTL'S	DETAILS	MTD	MOUNTED	V.	VOLT. VOLTS
DWG.	DRAWING	MTL.	METAL	V.B.	VINYL BASE
ELEV.	ELEVATION	N.I.C.	NOT IN CONTRACT	V.C.T.	VINYL COMPOSITION TILE
EQ.	EQUAL	NO.	NUMBER	V.I.F.	VERIFY IN FIELD
EXT'G EX.	EXISTING	N.T.S.	NOT TO SCALE	V.W.C.	VINYL WALL COVERING
EXP.	EXPOSED	O.C.	ON CENTER	W	WATT. WATTS
EXT.	EXTERIOR	O.H.	OVER HEAD	W/	WITH
F.D.	FLOOR DRAIN	OPNG.	OPENING	WD/	WOOD
FR.	FRAME	PL.	PLATE	WDW	WINDOW
FIN.	FINISH	P.LAM	PLASTIC LAMINATE	WWM	WELDED WIRE MESH
FIXT.	FIXTURE	PLYWD.	PLYWOOD		
FLRX	FLEXIBLE				

MATERIAL DESIGNATIONS

EARTH
STONE, GRAVEL
BITUMINOUS PAVING
CONCRETE (NON-STRUCTURAL)
SHADED STRUCTURAL CONCRETE
SHADED PRE-CAST CONCRETE (STRUCTURAL)
CONCRETE MASONRY UNITS
BRICK
STONE
SAND, MORTAR
ALUMINUM
STEEL
SHEET METAL
REINFORCING - W.W.M.
REINFORCING BAR (RODS)
EARTH
GYPSUM WALLBOARD
GLASS
PLYWOOD
WOOD (FINISHED)
2 WOOD BLOCKING (CONT.) (NOM. DIMEN.)
WOOD SHIMS (NON-CONT.)
BATT INSULATION
RIGID INSULATION
ACOUSTICAL TILE
PARTICLE BOARD
EARTH
CARPET
QUARRY TILE
VAPOR SHIELD

PROJECT SPECIFIC LEGEND
TO BE NOTED
TO BE NOTED

GRAPHIC SYMBOLS



"CALL811" BEFORE YOU DIG

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IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THE DOCUMENT IN ANY WAY. IF THIS DOCUMENT BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX HIS/HER SEAL AND THE NOTATION "ALTERED BY", FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

ALBANY POST ROAD
DUPLEX APARTMENT

39 OLD ALBANY POST ROAD
OSSINING, NY

REVISIONS

NO.	DATE	DESCRIPTION
1.	1.29.20	AREA REDUCED

REGISTERED ARCHITECT PAUL B. JANKOVITZ 018605 THE STATE OF NEW YORK

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title sheet
39 OLD ALBANY POST ROAD
DUPLEX APARTMENT

DATE: NOV. 5, 2019
PROJECT NO. 110519
SCALE: N.T.S.
DRAWING NO. A-1.0