

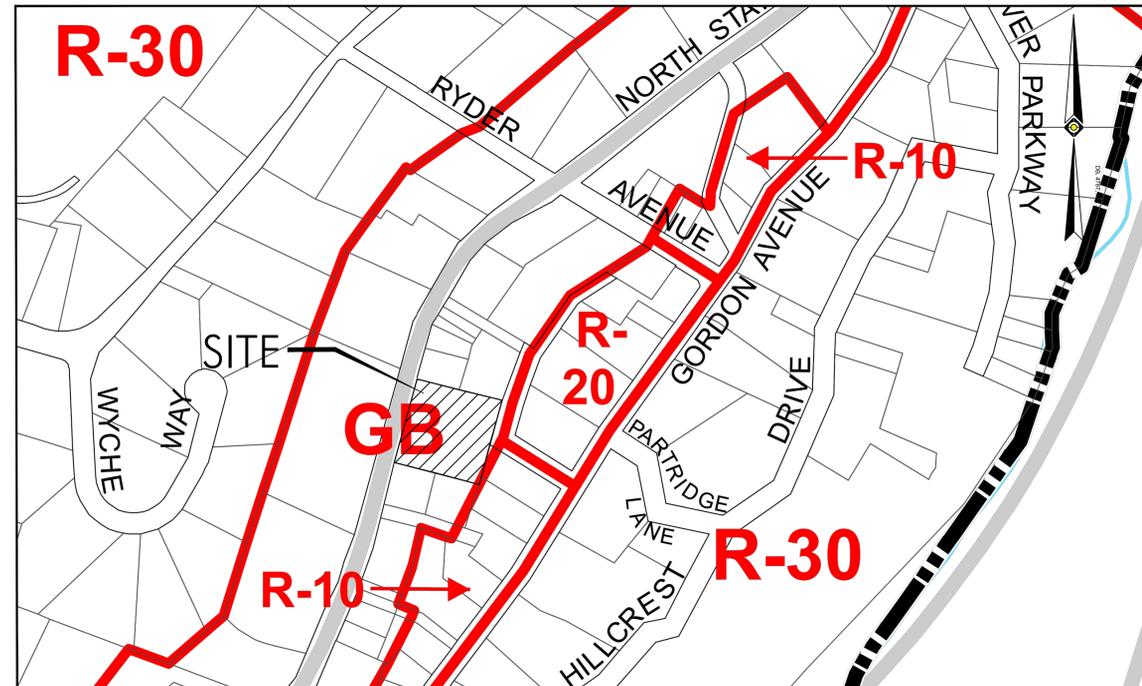
PRELIMINARY / FINAL SITE PLAN

THE LEARNING EXPERIENCE

530 NORTH STATE ROAD, TOWN OF OSSINING, BRIARCLIFF MANOR, WESTCHESTER COUNTY, STATE OF NEW YORK
SECTION 90.15, BLOCK 2, LOT 18



AERIAL MAP
SCALE : 1"=100'



ZONING MAP
SCALE : 1"=200'

ZONING SCHEDULE				
ZONE - GB - GENERAL BUSINESS				
Bulk Regulation	Units	Requirement	Existing	Proposed
Principal Permitted Uses		See Note 2	STORAGE YARD FOR CONSTRUCTION EQUIPMENT	CHILD CARE FACILITY
Lot Area	S.F.	20,000	43,264	43,264
Lot Width	Feet	100	208	208
Lot Depth	Feet	130	208	208
Front Yard	Feet	30	29.2	30.0
Side Yard	Feet	-	54.9	12.2
Rear Yard along any Residence District Boundary	Feet	30	110.7	39.7
Rear Yard Landscape Buffer To Residence District	Feet	20	0.0	20.0
Max. Building Height	Stories	2	1	1
Max. Building Height	Feet	35	< 35	23
Aggregate Floor Area on any Lot	S.F.	-	3,706	10,000
Building Coverage	%	30	8.6	23.1

Abbreviations
C Conforms
ENC Existing Non Conformance
V Variance Required

Notes:
1 Code based on Town of Ossining (Westchester, NY), Zoning Ordinance, 200-23, Amended 06-14-94.
2 As per Township Code, Ordinance 200-18 A: (10) permitted uses are child-care and elder-care facilities.

PARKING PROVIDED: 35 spaces inclusive of 2 ADA accessible spaces
PER CODE SECTION 200-29: Reasonable and appropriate off-street parking requirements for structures and uses which do not fall within the categories listed shall be determined by the Planning Board upon consideration of all factors entering into the parking needs of each such use.

PROJECT CONTACTS	
APPLICANT: BRIARCLIFF MANOR PARTNERS, LLC c/o JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039 OWNER: NSRR REALTY, LLC c/o BOBCAT OF NEW YORK, INC. 58-64A MAURICE AVENUE MASPETH, NEW YORK 11378 ATTORNEY: ADAM L. WEKSTEIN, ESQ HOCHERMAN TORTORELLA & WEKSTEIN, LLP ONE NORTH BROADWAY, SUITE 701 WHITE PLAINS, N.Y. 10601	ENGINEER: RICHARD A. JARMEL, PE JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039 ARCHITECT: MATTHEW B. JARMEL, AIA JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC. 42 OKNER PARKWAY LIVINGSTON, NJ 07039

PRELIMINARY/FINAL SITE PLAN OF:
"THE LEARNING EXPERIENCE"

SECTION 90.15, BLOCK 2, LOT 18

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

(MUNICIPAL ENGINEER) (DATE)

APPROVED BY THE PLANNING BOARD

(CHAIRMAN) (DATE)

(SECRETARY) (DATE)

DRAWING INDEX					
SHEET NO.	DRAWING NO.	DRAWING NAME	DATE	LAST REV.	DATE
1	C-001	COVER SHEET	4-27-18	10-26-18	
2	C-100	EXISTING CONDITIONS PLAN	4-27-18	9-20-18	
3	C-200	DEMOLITION PLAN	4-27-18	9-20-18	
4	C-300	SITE AND UTILITIES PLAN	4-27-18	10-26-18	
5	C-400	GRADING AND DRAINAGE PLAN	4-27-18	10-26-18	
6	C-600	LANDSCAPING PLAN	4-27-18	10-18-18	
7	C-650	LIGHTING PLAN AND DETAILS	4-27-18	10-26-18	
8	C-700	SOIL EROSION AND SEDIMENT CONTROL PLAN	4-27-18	10-26-18	
9	C-900	DETAIL SHEET	4-27-18	9-20-18	
10	C-901	DETAIL SHEET	4-27-18	9-20-18	
11	C-902	DETAIL SHEET	4-27-18	9-20-18	
12	C-903	DETAIL SHEET	9-20-18	9-20-18	

Jarmel Kizel
ARCHITECTS AND ENGINEERS, INC.
42 OKNER PARKWAY
LIVINGSTON, NEW JERSEY 07039
TEL: 973-994-9669
FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE			
NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION			
NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED DRAWING INDEX	GPG

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA AZ LIC 48139 CO LIC ARC-051483 CT LIC AR-001418 DC LIC AR-01849 DE LIC SC-000756 FL LIC AR-04034 GA LIC AR-11484 IA LIC 00577 IL LIC 001-000669 IN LIC AR-0209 MD LIC 120162189 MI LIC 08522 NJ LIC 380043100 NY LIC 07481 OH LIC 07481 PA LIC 002339 RI LIC 08498 TX LIC 123822	NJ LIC A0212787 AR LIC 44404 NC LIC 10170 NY LIC 3061 NY LIC 024673 CN LIC APN-02444 PA LIC RA-01483-8 IN LIC AR-0004745 SC LIC AR-9163 TN LIC 12850 TX LIC 24972-4089 VA LIC 2453 WI LIC 000000000 NY LIC 21400794900
RICHARD A. JARMEL, PE NJ LIC 37491 PA LIC 07481 PA LIC 002339 PA LIC 002339 PA LIC 002339 TX LIC 123822	NJ LIC 065511 PA LIC 065511 NJ LIC AR 13231 NY LIC 024719 PA LIC RA-405081 NY LIC SC-004993 NJ LIC 06503555 NJ LIC 2141018294 NJ LIC AR-08883 NY LIC 019151 NJ LIC 21400209000 PA LIC RA407927

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name: **COVER SHEET**

Drawing Number: **C-001**

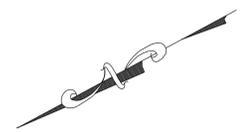
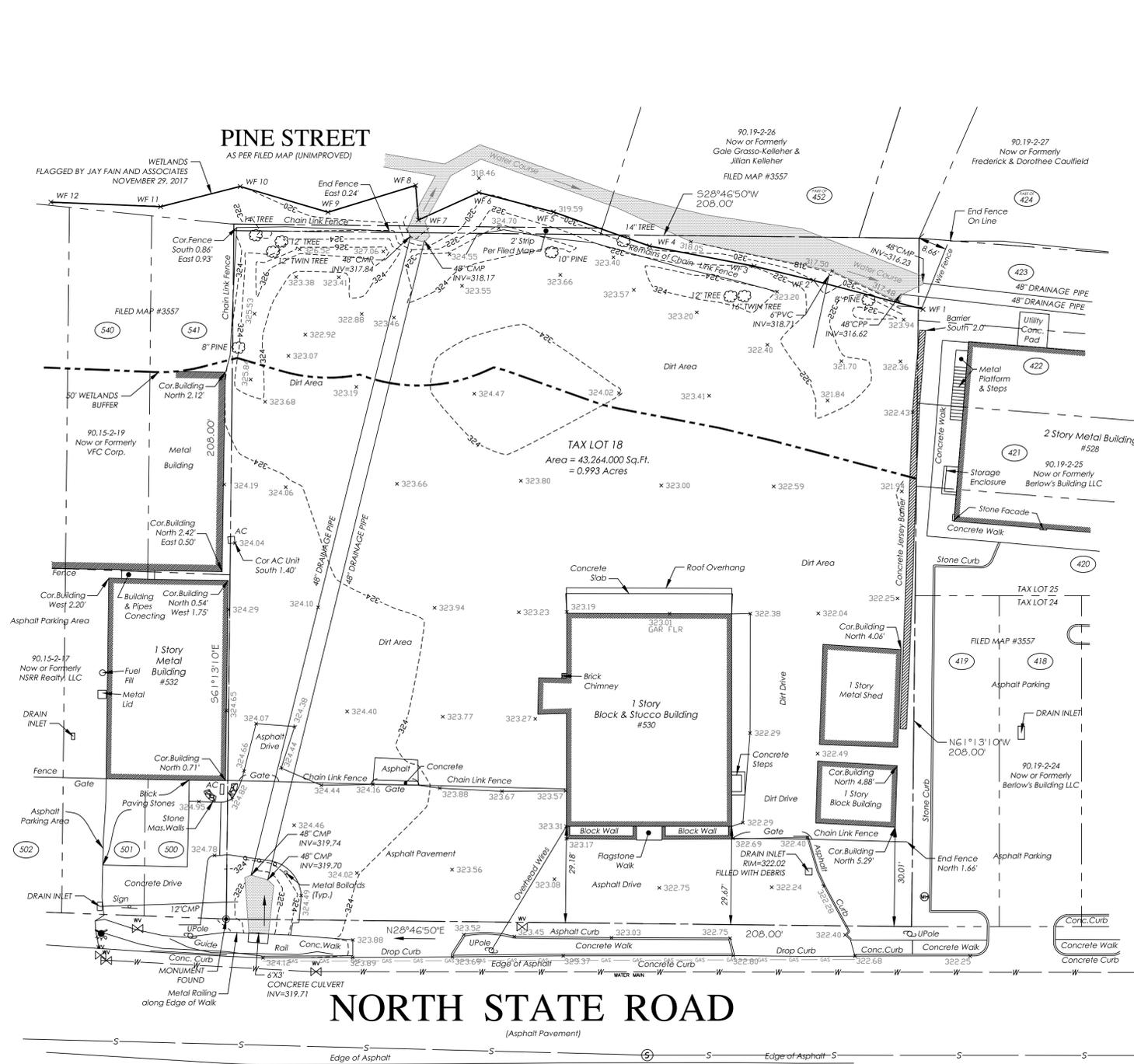
Sheet No: **1** of: **12**

Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

EXISTING CONDITIONS NOTE:

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.



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REVISION

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1	9.20.18	PER 9/5/18 PB MEETING	GPG

- PRINCIPALS**
- MATTHEW B. JARMEL, AIA, MBA**
AZ LIC 48139
CO LIC ARC-401483
CT LIC AR-0011415
DC LIC ARC-101849
DE LIC 55-0007256
FL LIC ARK4034
GA LIC 40411484
IA LIC 00577
IL LIC 001-000069
IN LIC 4810296
MD LIC 1201262
MI LIC 1202189
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NY LIC 00000000
PA LIC 00000000
SC LIC AR-9163
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VT LIC 2453.0
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WV LIC 330024300
- IRWIN H. KIZEL, AIA, PP**
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- RICHARD A. JARMEL, PE**
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- ASSOCIATES**
- RONALD A. BROKENSHIRE, PE**
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- DAVID L. LESSENE, RA**
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- MICHAEL J. VOLLMER, RA**
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- FREDERICK KINCAID, RA**
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- JEROME LESLIE EBEL, PA, PP**
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- CHERYL SCHWENKER, AIA**
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N.J. State Board of Architects, Registration No. 161
N.J. State Board of Engineers and Land Surveyors, Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No:	TLENY-S-17-155	Scale:	1" = 20'
Drawn By:	LB	Approved By:	RAJ

Drawing Name:

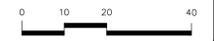
EXISTING CONDITIONS PLAN

Drawing Number: **C-100**

Sheet No. of: **2 12**

Initial Date: **APRIL 27, 2018**

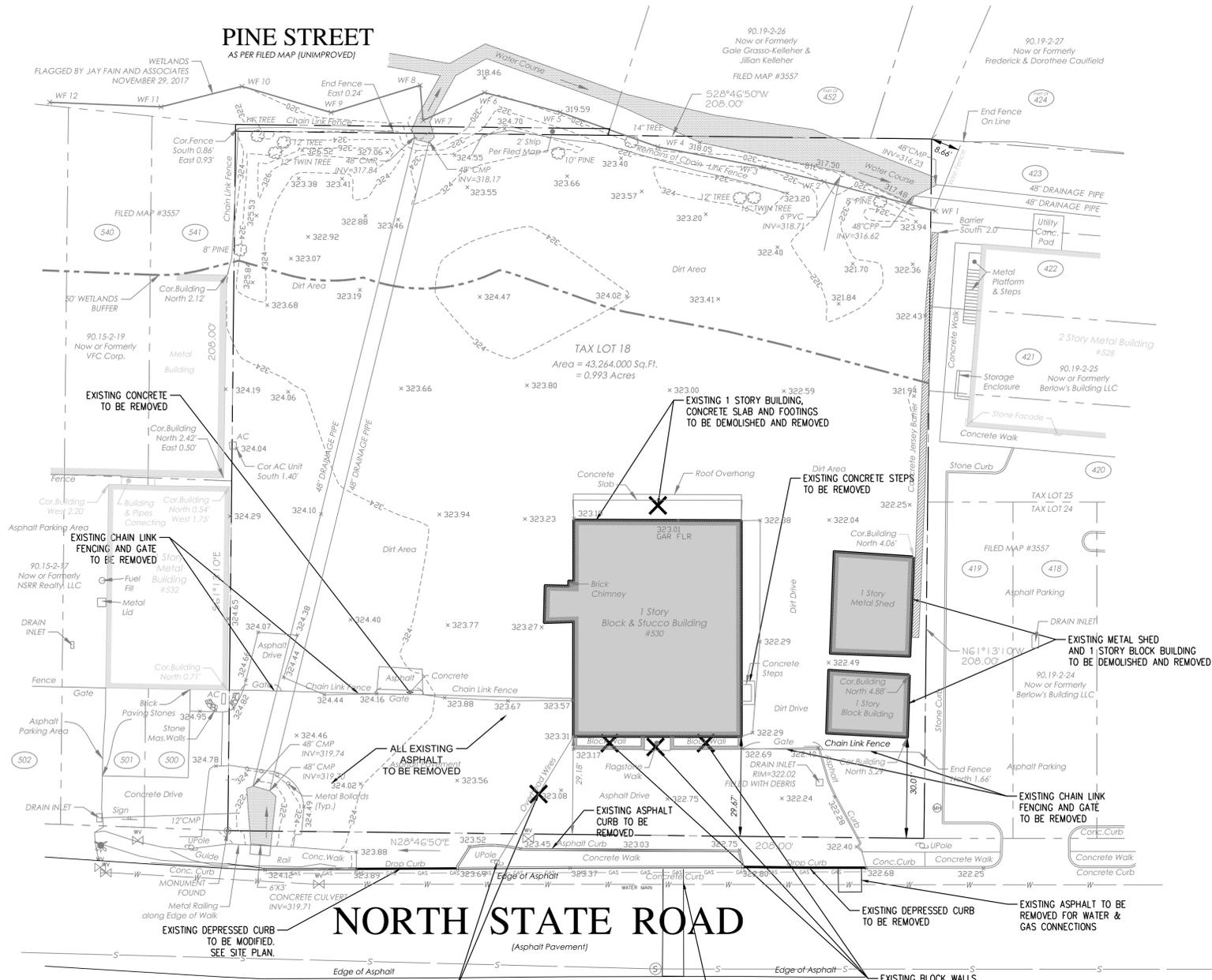
RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1



S:\PROJECTS\17-155 TLE OSSINING\NY\CADD\17-155 C-100 EXISTING.DWG FBERMEK PLOTTED: 10/26/2018

DEMOLITION NOTES:

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- CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND SHALL VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY ON DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSING IN A LEGAL MANNER IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL CONCRETE PADS, ASPHALT PARKING, CURBS, ETC, SUCH THAT ALL THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NECESSARY DISCONNECTS OF THE EXISTING UTILITY AND RECONNECTION SHALL BE INCLUDED.
- IT IS CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AS REQUIRED PRIOR TO DEMOLITION.
- CONTRACTOR IS DESIGNATED TO MAKE REMOVALS AND DISPOSAL OF THE MATERIALS IS HIS RESPONSIBILITY.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEAN UP TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- THE CONTRACTOR SHALL IMPLEMENT ALL NECESSARY MEASURES TO PROTECT ADJACENT AND ON-SITE PROPERTY, STRUCTURES AND UTILITIES THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.
- THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE OWNER AND THE MUNICIPAL OFFICIALS. THE OWNER'S REPRESENTATIVE IS NOT RESPONSIBLE FOR JOBSITE SAFETY.
- ALL SIDEWALK, CURBS, DRIVEWAYS, PIPES, STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE DURING CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TRAFFIC CONTROL DEVICES REQUIRED BY THE MUNICIPALITY AND LOCAL AGENCIES.
- PULVERIZED CONCRETE OR MASONRY SHALL NOT BE USED AS BACKFILL MATERIAL.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED THE OWNER/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE EACH DAY TO INSPECT AND REMOVE ALL DIRT, GRAVEL AND LOOSE MATERIAL DUMPED, SPILLED, ETC FROM THE CONSTRUCTION SITE ONTO OTHER SITES, ROW, PUBLIC OR PRIVATE STREET.
- CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE DEMOLITION AND MAINTAIN EROSION CONTROL DEVICES AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, CURBING, PAVEMENT, LIGHTING AND/OR STORM INLETS STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, CURBING, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).



NORTH STATE ROAD
(Asphalt Pavement)

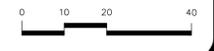
EXISTING POLE AND OVERHEAD WIRES TO BE REMOVED AND RELOCATED BY UTILITY COMPANY. NEW LOCATIONS TO BE DETERMINED BY UTILITY COMPANY.

EXISTING CURB & ASPHALT TO BE REMOVED FOR SEWER CONNECTION

EXISTING BLOCK WALLS AND FLAGSTONE WALK TO BE DEMOLISHED AND REMOVED

EXISTING DEPRESSED CURB TO BE REMOVED

EXISTING ASPHALT TO BE REMOVED FOR WATER & GAS CONNECTIONS



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MATTHEW B. JARMEL, AIA, MBA	NJ LIC: A0112787 NY LIC: 48139 CO LIC: ARC-401483 DC LIC: AR0011415 DE LIC: AR0011849 FL LIC: AR04034 GA LIC: AR011484 IL LIC: 001-000069 IN LIC: AR02096 MD LIC: 120102189 MI LIC: 08522 NJ LIC: 21A007947920 NY LIC: 20011 PA LIC: AR0042444 VA LIC: AR01481-8 WI LIC: AR0004745 SC LIC: AR-9163 TN LIC: 103859 TX LIC: 24979 VT LIC: 0401-4089 WV LIC: 2453
IRWIN H. KIZEL, AIA, PP	NJ LIC: 21A007947920 NY LIC: 20011 PA LIC: AR0042444
RICHARD A. JARMEL, PE	NJ LIC: 37491 NY LIC: 07486 PA LIC: PE020339 TX LIC: 18354
ASSOCIATES	
RONALD A. BROKENSHIRE, PE	NJ LIC: CE45511 NY LIC: PE08819
DAVID L. LESSENE, EA	NJ LIC: A13231 NY LIC: 024719
MICHAEL J. VOLAND, RA	PA LIC: RA-05081 NY LIC: 050993
GERARD P. GESARIO, PE	NJ LIC: CE032555 NY LIC: 21A1018294
FREDERICK KINCAID, RA	NJ LIC: A18883 NY LIC: 019151
JEROME LESLIE EBEL, P.A., PP	NJ LIC: A00209000 PA LIC: RA407927
CHELY SCHWENKER, AIA	

NJ State Board of Architects Authorization No. 161
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TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **1" = 20'**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name:

DEMOLITION PLAN

Drawing Number: **C-200**

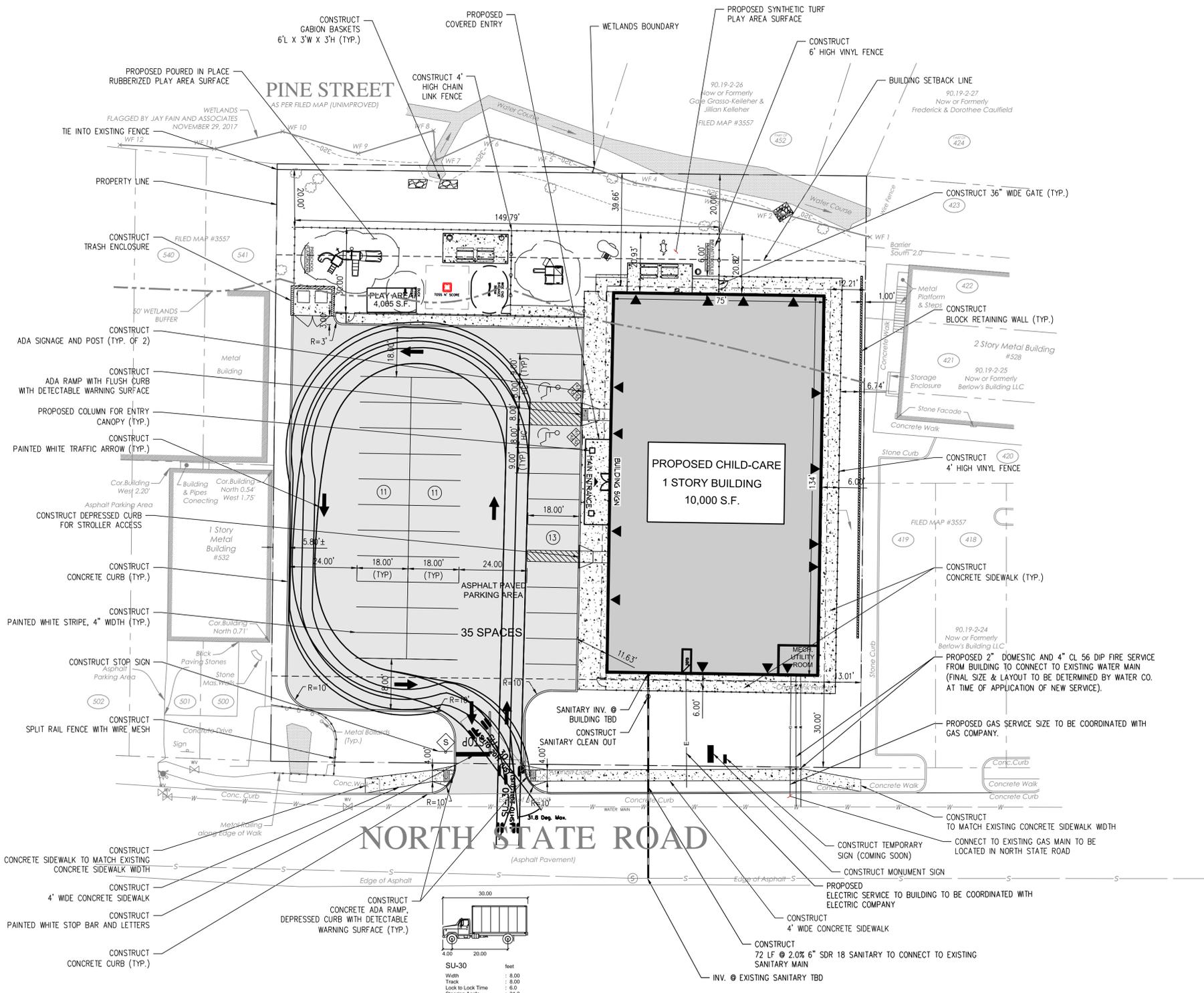
Sheet No: **3** of: **12**

Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEL
PROFESSIONAL ENGINEER
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GENERAL NOTES:

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- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DOOR LOCATIONS.
- ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
- CONSTRUCTION MATERIALS AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO MJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION AND AMENDMENTS).
- THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIs) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIs SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT NEW YORK ONE CALL NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW YORK ONE CALL INFORMATION - PHONE: 811, WEB: WWW.DIGSAFELYNEWYORK.COM
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- THE MUNICIPAL ENGINEER MUST BE NOTIFIED ONE WEEK PRIOR TO THE CONSTRUCTION OF ANY CURBING, SIDEWALKS, PAVEMENT GRADING, OR OTHER UTILITIES.
- THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
- CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NY BARRIER FREE CODE REQUIREMENTS.
- SUBJECT TO ALL APPLICABLE RULES, REGULATIONS, ORDINANCES AND STATUTES OF THE TOWN OF OSSINING, WESTCHESTER COUNTY AND STATE OF NEW YORK AND ANY OTHER JURISDICTION.
- NO DEED RESTRICTIONS OR COVENANTS EXIST ON SITE NOR ARE ANY PROPOSED.
- CONTRACTOR SHALL REPLACE ALL CURBING ALONG THE SITE FRONTAGE THAT HE DAMAGES (AS DIRECTED BY THE TOWNSHIP OR COUNTY, AS APPLICABLE).
- ALL WORK WITHIN THE TOWNSHIP ROAD RIGHT OF WAY SHALL BE ACCORDING TO TOWN OF OSSINING STANDARDS.



LEGEND		
	EXISTING	PROPOSED
PROPERTY LINE	---	---
BUILDING LINE	---	---
BUILDING CANOPY	---	---
CURB LINE	---	---
DEPRESSED CURB	N/A	---
CONCRETE WALK	N/A	---
SIGN	---	---
FENCE	---	---

SIGN LEGEND AND DETAILS			
SYMBOL	QJAN	USDOT FHA DESIGNATION	SIGN DETAIL
	1	R1-1	
	2	R7-5	
	2	R7-8b	
	2	R7-8B	
	1	RS-1 (30x30)	

- SIGN NOTES:**
- ALL SIGNS SHALL CONFORM TO THE MANUAL ON TRAFFIC CONTROL DEVICES.
 - SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.
 - REFER TO MOUNTING DETAILS FOR HEIGHTS. ALL SIGNS SHALL BE MEASURED FROM PAVEMENT OR GROUND TO BOTTOM OF SIGN.

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Architecture
Engineering
Interior Design
Implementation Services

ISSUE			
NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION			
NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED PLAY AREA & TURNING TEMPLATE	GPG

PRINCIPALS

MATTHEW B. JARMEI, AIA, MBA	NU LIC: A0112787 AR: LIC: 46454 AZ: LIC: 48139 CO LIC: AR-051483 CT: LIC: AR-0011415 DC: LIC: AR-101849 DE: LIC: SS-0007556 FL: LIC: AR-040324 GA: LIC: AR-11484 IA: LIC: 05517 IL: LIC: 001-020069 IN: LIC: AR-05296 MD: LIC: 1251022189 MI: LIC: 06822 NJ: LIC: 21A00794700 NY: LIC: 20979 VT: LIC: 2453	NY LIC: A0112787 AR: LIC: 46454 AZ: LIC: 48139 CO LIC: AR-051483 CT: LIC: AR-0011415 DC: LIC: AR-101849 DE: LIC: SS-0007556 FL: LIC: AR-040324 GA: LIC: AR-11484 IA: LIC: 05517 IL: LIC: 001-020069 IN: LIC: AR-05296 MD: LIC: 1251022189 MI: LIC: 06822 NJ: LIC: 21A00794700 NY: LIC: 20979 VT: LIC: 2453
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IRWIN H. KIZEL, AIA, PP

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RICHARD A. JARMEI, PE

NY LIC: 21A00794700	NY LIC: 21A00794700
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JEROME LESLIE EBEL, P.E., P.P.	NY LIC: 016502-8 NJ LIC: 21A0039000
CHELY SCHWENKER, AIA	PA LIC: RA-07927

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **1" = 20'**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name: **SITE AND UTILITIES PLAN**

Drawing Number: **C-300**

Sheet No: **4** of **12**

Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEI
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

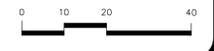
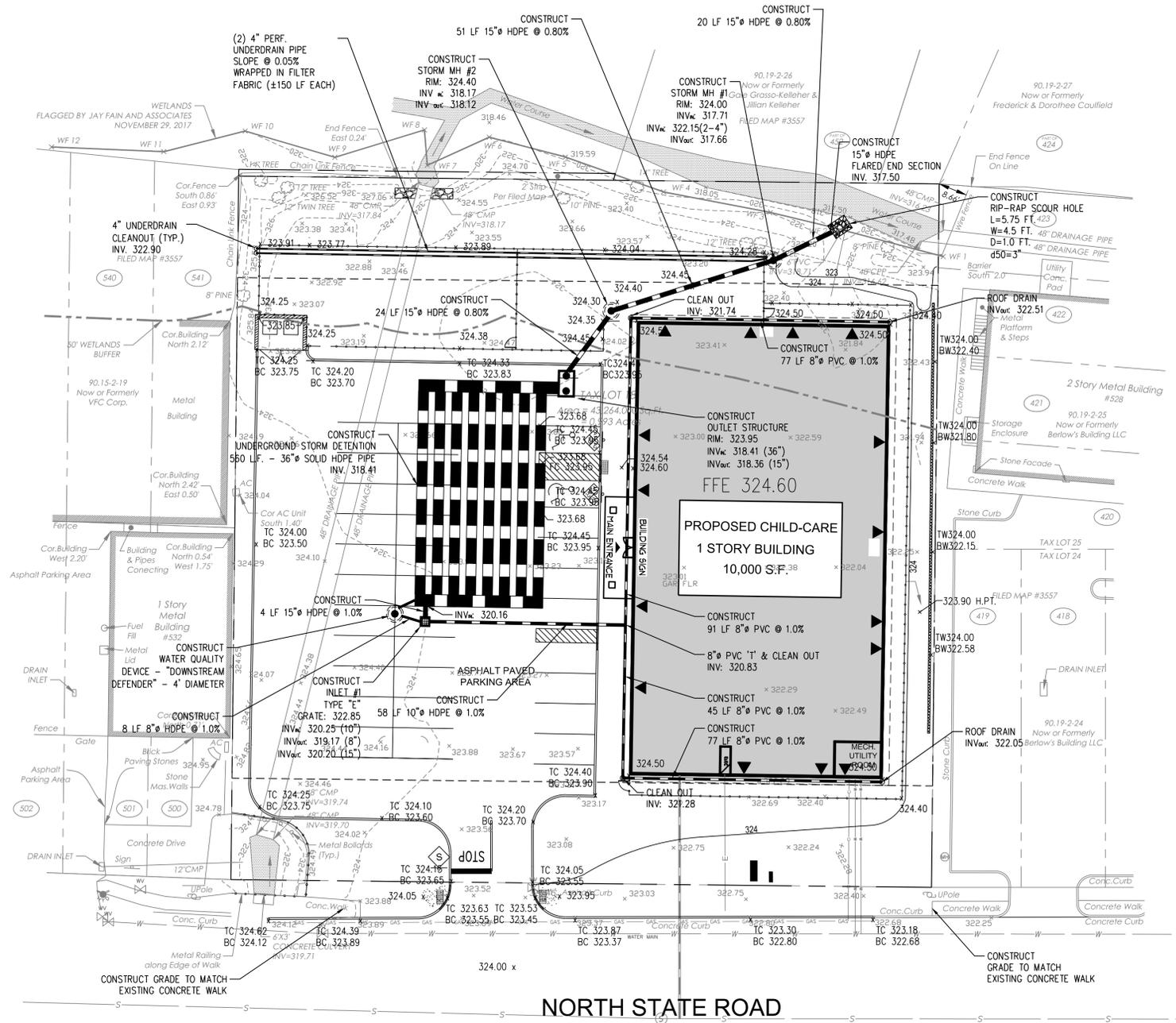
S:\PROJECTS\TLENY-S-17-155 TLE OSSINING NY\CADD\17-155 C-300 SITE PLAN.DWG FBREMEK PLOTTED: 10/26/2018

GRADING AND DRAINAGE PLAN NOTES

- BOUNDARY & TOPOGRAPHY INFORMATION IS BASED ON A SURVEY TITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR NSRR REALTY, LLC SITUATED IN THE TOWN OF OSSINING, WESTCHESTER COUNTY, NEW YORK" BY TC MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 WITH LATEST REVISION DATE 12/4/2017.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON SURVEY AND, WHERE POSSIBLE MEASUREMENTS SHOULD BE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- EXCAVATED MATERIAL CONTAINING ROCK OR STONE GREATER THAN SIX (6) INCHES IN LARGEST DIMENSION IS UNACCEPTABLE AS FILL TO WITHIN THE PROPOSED BUILDING AND PAVING AREA.
- ROCK OR STONE LESS THAN SIX (6) INCHES IN LARGEST DIMENSION IS ACCEPTABLE AS FILL TO WITHIN TWENTY-FOUR (24) INCHES OF SURFACE OF PROPOSED SURGED WHEN MIXED WITH SUITABLE MATERIAL AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- ROCK OR STONE LESS THAN TWO (2) INCHES IN LARGEST DIMENSION AND MIXED WITH SUITABLE MATERIAL IS ACCEPTABLE AS FILL WITHIN THE UPPER TWENTY-FOUR (24) INCH OF PROPOSED SUBGRADE AS PERMITTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- ALL SITEWORK AND EARTHWORK OPERATIONS CONDUCTED ON THE SITE TO BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE:

FILL AREA	STANDARD PROCTOR DRY DENSITY
SIDEWALKS	95%
PAVEMENTS AND ROADWAYS	95%
LANDSCAPE AREAS	93%
TRENCH BACKFILL	SAME AS SURROUNDING AREA
- PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS-SECTION.
- GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS OR CONTOURS ARE INDICATED ON DRAWINGS, OTHER THAN PAVED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISH DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
- ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE 4000 PSI.
- REPRESENTATIVES OF THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT THE DRAINAGE FACILITIES LOCATED ON THE PROPOSED LOT FROM TIME TO TIME AS DEEMED NECESSARY.
- CATCH BASINS SHALL BE CLEANED OUT PERIODICALLY TO PREVENT THE BUILDUP OF SEDIMENT AND DEBRIS IN STRUCTURES.
- ROOF LEADER CLEANOUTS LOCATED IN GRASSED AREAS SHALL BE PLASTIC SCREW CAPS WHILE ROOF LEADER CLEANOUTS LOCATED WITHIN CONCRETE AREAS SHALL BE FLUSH BRASS CAPS.

LEGEND	
EXISTING	PROPOSED
STORM SEWER	N/A
PROPERTY LINE	N/A
MANHOLE	N/A
CATCH BASIN	N/A
SPOT ELEVATION	TC: 100.57 BC: 100.45
CONTOUR	99.30



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2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED PLAY AREA	GPG

PRINCIPALS	
MATTHEW B. JARMEL, AIA, MBA	NJ LIC: 481287 NY LIC: 48159 CO LIC: ARC-401483 CT LIC: AR-0011415 DC LIC: ARC101849 DE LIC: 55-0007556 FL LIC: APR4034 GA LIC: 64811484 IA LIC: 00537 IL LIC: 001-000669 IN LIC: 4815294 MD LIC: 120102189 MI LIC: 000000000 MO LIC: 000000000 NC LIC: 4815294 ND LIC: 120102189 OH LIC: 000000000 PA LIC: 000000000 SC LIC: 4815294 TN LIC: 000000000 TX LIC: 000000000 VA LIC: 000000000 WI LIC: 000000000 WV LIC: 000000000
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NJ State Board of Architects, Registration No. 161
NJ State Board of Engineers and Land Surveyors, Authorization No. GA-278177

Project: **THE HOLDING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name: **GRADING AND DRAINAGE PLAN**

Drawing Number: **C-400**

Sheet No: **5** of **12**

Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

PLANT NOTES

- VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO ANY PLANTING PIT EXCAVATION. CONTACT CALL BEFORE YOU DIG 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. COORDINATE BUILDER REGARDING UNDERGROUND SYSTEMS.
- NOTIFY THE LANDSCAPE ARCHITECT AT LEAST FIVE (5) DAYS IN ADVANCE OF PLANT MATERIAL DELIVERY TO THE SITE.
- LAYOUT ALL PLANT MATERIAL WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANT PIT EXCAVATION. SET UP OF ALL MATERIAL IN BEDS REQUIRED FOR OWNERS AND LANDSCAPE ARCHITECTS APPROVAL PRIOR TO PLANTING. SEE PLAN FOR BED AND PLANT LAYOUT.
- IF ANY DISCREPANCY OCCURS BETWEEN THE QUANTITIES CALLED FOR IN THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BID.
- ALL PLANT MATERIAL IS TO CONFORM TO THE REQUIREMENTS OF THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN FOR EXTRA HEAVY GRADE UNLESS OTHERWISE SPECIFIED, TRUE TO NAME AND SIZE. INVESTIGATE SOURCES OF SUPPLY AND BE CERTAIN IT WILL BE POSSIBLE TO PROVIDE ALL PLANT MATERIALS SPECIFIED IN THE QUALITY AND QUANTITY REQUIRED PRIOR TO BIDDING.
- ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD, DYING NOT TRUE TO NAME OF SIZE AS SPECIFIED OR NOT IN SATISFACTORY GROWTH, OR HAVING BRANCHED OR DEFORMED STRUCTURE DUE TO LOSS OF LIMBS OR BRANCHED AS DETERMINED BY THE LANDSCAPE ARCHITECT, THAT PLANT MUST BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH AN APPROVED PLANT OF EQUAL SIZE AND SPECIES. PLANT VARIETY AND SIZE SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS PROVED THAT THE SPECIFIED PLANT MATERIAL IS UNATTAINABLE OR CANNOT MEET SPECIFICATION REQUIREMENTS, THEN THE USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WILL BE CONSIDERED. PLANT MATERIAL LARGER THAN SPECIFIED MAY BE USED AT NO INCREASE IN COST. PROPOSED SUBSTITUTIONS MUST RECEIVE THE LANDSCAPE ARCHITECTS AUTHORIZATION PRIOR TO BID.
- STAKE TREES ONLY AS NECESSARY TO INSURE STABILITY.
- ALL STOCKPILED MATERIALS ARE TO BE STORED IN AN AREA WITH GOOD SURFACE DRAINAGE. SOIL BALLS ARE TO BE COVERED WITH MULCH AND PLANTS ARE TO BE WATERED FREQUENTLY TO KEEP SOILS BALLS MOIST.
- ALL PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- RESTORE ALL DISTURBED OR DAMAGED AREAS RESULTING FROM PLANTING OPERATIONS TO ORIGINAL CONDITIONS.
- PROVIDE 4" SCREENED TOPSOIL IN ALL AREAS NOT TO BE PAVED AS NEEDED, USE OWNERS STOCKPILE/ EXISTING SOIL AS PRACTICAL. MULCH BED AREAS WITH 2" OF SHREDDED PINE BARK. PROVIDE SAMPLE OF MULCH FOR OWNER'S APPROVAL. PROVIDE PER YARD PLACE & SPREAD TOPSOIL PRICE.
- SEE PLAN FOR LAWN LIMIT AND BED LAYOUT - CUT BEDS AFTER APPROVAL FROM OWNER AND LANDSCAPE ARCHITECT. SEED OR SOD PER CONTRACT LAWN AREAS AND MULCH NEW SEED WITH CHOPPED STRAW OR SALT HAY. PROVIDE STARTER FERTILIZER IN SEED MIX. SEED MIX, OR APPROVED EQUAL, AS FOLLOWS:
 - BLENDED 3 TALL FESCUES FOR WATER AND FERTILIZER NEEDS REDUCTION, i.e. 'DEFIANCE XRE FESCUE GRASS SEED BLEND' CONTAINING SPEEDWAY, BLACKWATCH AND SR-8650 TALL FESCUES THAT ARE TURF FORMING AND SELF HEALING
- PROVIDE TRUNK GUARDS ON ALL EXPOSED TREE TRUNKS WITHIN THE BUFFER AREA TO PROTECT FORM BROWSE AND RUB.
- PROVIDE TEMPORARY IRRIGATION SYSTEM TO ASSURE ADEQUATE WATERING DURING PLANT ESTABLISHMENT PERIOD OF 5 YEARS. SEE NOTE ON PLAN.
- PROVIDE TEMPORARY DEER FENCING AROUND BUFFER PLANTING FOR 5 YEARS MINIMUM.

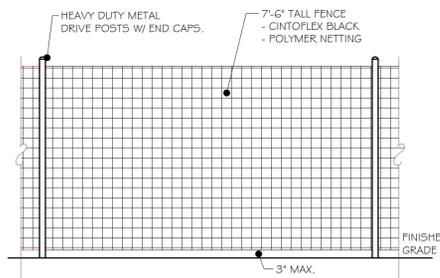
PLANT LIST for Buffer areas (Native and deer resistant)

Quan.	Sym.	Botanical/ Common Name	Size/ Root	Remark
TREES				
1	A	Acer rubrum / Red Maple	1.75-2" Cal/ BB	overstory
1	BN	Betula nigra / River Birch	1.75-2" Cal/ BB	overstory
3	CF	Comus florida / Flowering Dogwood	1.75-2" Cal/ BB	understory
2	MC	Malus coronaria / Wild Crabapple	1.75-2" Cal/ BB	understory
1	NS	Nyssa sylvatica / Black Gum	1.75-2" Cal/ BB	overstory
7	TGG	Thuja p. 'Green Giant'	6-7' ht/ BB	Screen
3	JV	Juniperus virginiana / Eastern Red Cedar	6-7' ht/ BB	Screen
2	PG	Picea glauca / White Spruce	6-7' ht/ BB	screen
SHRUBS				
9	CA	Clethra alnifolia/ Sweet Pepperbush	#3/Cont.	buffer
5	IV	Itea virginiana /Sweetspire	#3/ Cont.	buffer
10	MP	Myrica pensylvanica / Bayberry	#3 Cont.	buffer
2	SD	Salix discolor/ Pussywillow	5-6' ht clump	buffer
3	SC	Sambucus Canadensis / Elderberry	#3 cont.	buffer
FORBS				
7	At	Amsonia taberna/ Bluestar	2 gal	buffer
7	Ai	Asclepias incarnata / Swamp milkweed	1 gal.	buffer
20	Apd	Aster n. 'Purple Dome'	1 gal	Buffer front
20	Ep	Echinacea purpurea/ Coneflower	1 gal	Buffer
20	Ha	Heuchera americana / Coral bells	1 gal	Buffer front
6	Hm	Hibiscus moscheutos /Rose Mallow	2 gal.	Sides
20	Rf	Rudbeckia f. 'Goldsturm' / Blackeyed Susan	1 gal	buffer
GRASSES				
7	Cl	Chasmanthium latifolium/ N. Sea Oats	1 gal	Bank/ shade
22	Pv	Panicum virgatum ' Northwind' /Switchgrass	2 gal	buffer
20	Sh	Sporobolus heterolepis/ Praire Dropseed	1 gal	Buffer front
3lbs	Seed mix	'Riparian Buffer Mix'ERNMX-178 by Ernst Seeds	1/2 lb per 1000 SF	Over seed entire buffer area

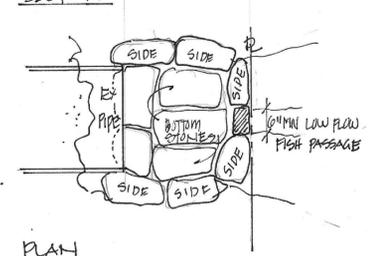
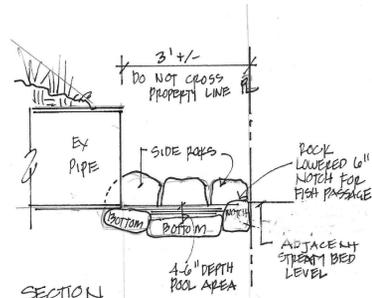
Note: 2 nest boxes proposed on cedar posts
 Note: Provide tree guards on all exposed tree trunks for protection from browse and rub

PLANT LIST for Non Buffer areas (Native and deer resistant)

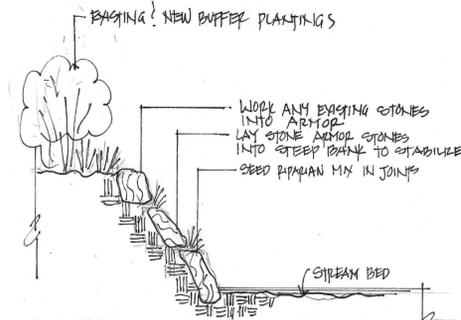
Quan.	Sym.	Botanical/ Common Name	Size/ Root	Remark
TREES				
3	AC	Amelanchier c. x. 'Autumn Brilliance' / Shadblow	2-2.5" cal/ BB	side
2	CC	Cercis canadensis /Eastern Red bud	2-2.5" cal/ BB	side
1	CCA	Carpinus caroliniana / American Hornbeam	2-2.5" cal/ BB	side
3	OV	Ostrya virginiana / American Hophornbeam	2-2.5" cal/BB	Trees in front-matching
4	TGG	Thuja p. 'Green Giant'	6-7' ht/ BB	Screen at side
2	IO	Ilex opaca / American Holly	6-7' ht / BB	Screen at side
2	PG	Picea glauca / White Spruce	6-7' ht/ BB	Screen at side
SHRUBS				
9	CS	Comus sericea / Redtwig Dogwood	#3 Cont.	front
7	PF	Potentilla fruticosa ' Goldfinger'	#5 Cont.	Front
6	HA	Hydrangea arborescens ' Incrediball'	#5 cont.	Front
FORBS & GRASSES				
14	Ss	Schizachyrium scoparium / Little Bluestem ' The Blues'	2 gal	front



A TEMPORARY DEER FENCE
NTS



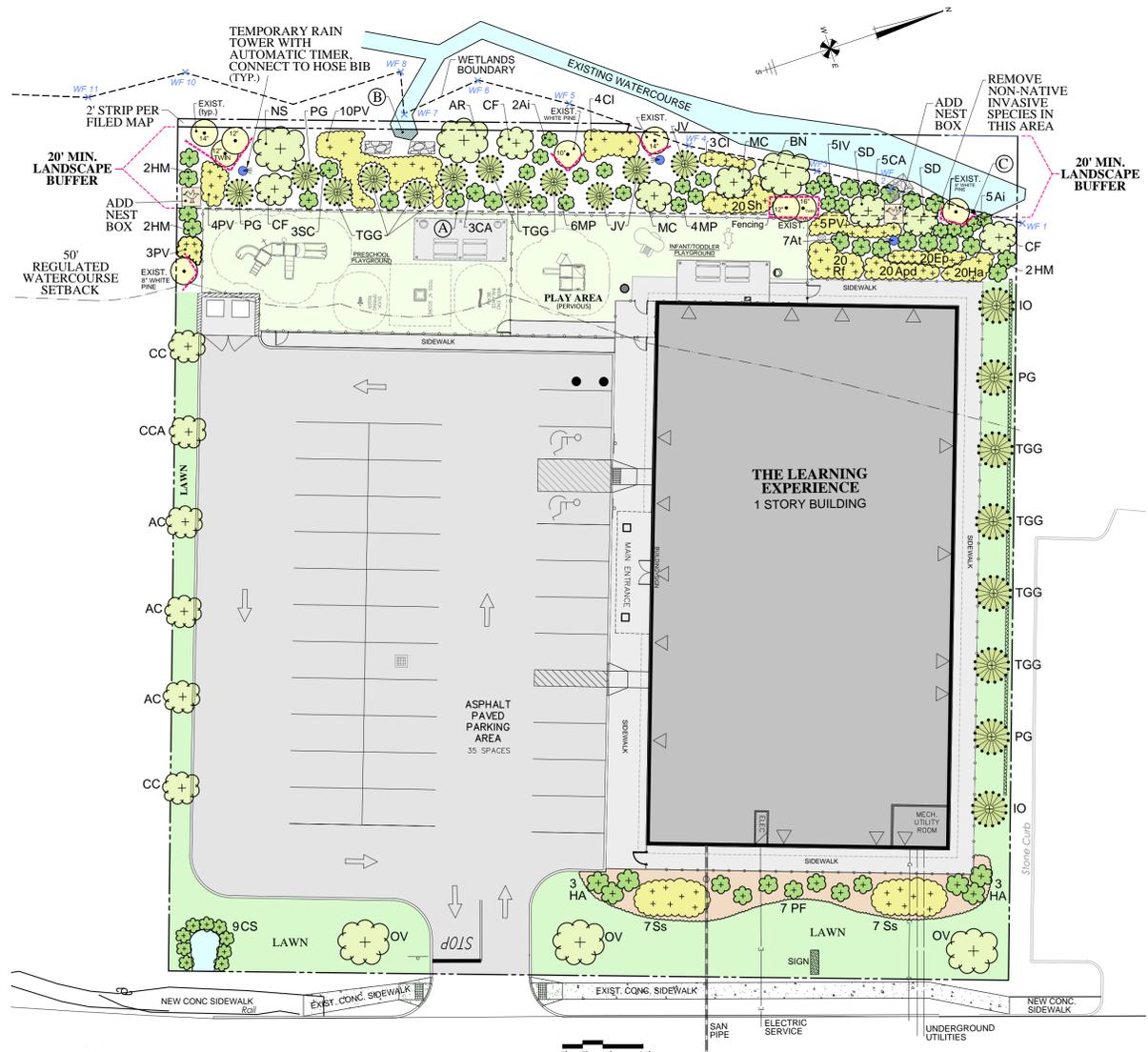
B OUTFALL FOR EROSION CONTROL WITH FISH PASSAGE
NTS



C STREAMSIDE SLOPE STABILIZATION
NTS

GENERAL NOTES

- LANDSCAPE AND WETLAND MITIGATION PLAN FOR PLANTING ONLY.
- FOR ALL OTHER SITE PLAN INFORMATION, REFER TO DRAWING SET DATED APRIL 27, 2018, PROVIDED BY JARMEL KIZEL ARCHITECTS AND ENGINEERS, INC.. TITLED PRELIMINARY/FINAL SITE PLAN THE LEARNING EXPERIENCE, SHEETS 1-11.
- ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.
- EXISTING TREES TO REMAIN, TO BE PROTECTED



DATE	SHEET	REVISION NOTES
09/12/18	L.1	REVISED PLANTINGS, LISTS & NOTES
10/18/18	L.1	REVISED PLANTINGS, LISTS & NOTES ADDED IRRIGATION & DETAILS

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

LANDSCAPE AND WETLAND MITIGATION PLAN

530 NORTH STATE ROAD BRIARCLIFF MANOR, NY

Date: **08-17-18**

Sheet No.: **L.1**

JAY FAIN & ASSOCIATES^{LLC}
Environmental Consulting Services
 134 Round Hill Road Fairfield, CT 06834
 203-254-3156 - fax: 203-254-3167

Jarmel Kizel
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FAX: 973-994-4069
www.jarmelkizel.com

Architecture
Engineering
Interior Design
Implementation Services

ISSUE

NO.	DATE	DESCRIPTION	INT.
3	08/20	PLANNING BOARD SUBMISSION	

REVISION

NO.	DATE	DESCRIPTION	INT.
1	08/20	PER 06/20/18 REVIEW LETTERS	

PRINCIPALS

MATTHEW B. JARMEL, AIA, MBA	NJ LIC AIO-12787
AZ LIC 48159	MIN LIC 46404
CO LIC ARC-401483	NC LIC 10120
CT LIC ARI-0011415	NH LIC 3501
DC LIC ARO101849	NY LIC 024673
DE LIC SS-0007256	OH LIC A-99-12444
GA LIC RA011484	PA LIC RA-014801-9
IL LIC 05577	RI LIC ARC 0004765
IN LIC 001020969	SC LIC AR 9163
IA LIC AR10286	TN LIC 103850
MD LIC 12662	TX LIC 20992
MA LIC 1301052189	VA LIC 5401, 014089
MI LIC 08522	VT LIC 2451, 014700
IRWIN H. KIZEL, AIA, PE	NJ LIC 21400794700
CT LIC 08522	NJ JP LIC 33100243100
IL LIC 05577	NJ LIC 3741
IN LIC 001020969	NY LIC 27181
IA LIC AR10286	PA LIC 000000000-1
MD LIC 12662	PA LIC PE7070600
MA LIC 1301052189	MA LIC 05445
MI LIC 08522	TX LIC 123622

ASSOCIATES

RONALD A. BROOKENSHIRE, PE	NJ LIC GE4551
DAVID L. LESENE, RA	PA LIC PE068517
CT LIC PER0032811	NJ LIC AI 13231
MA LIC 485-0011748	NY LIC 024719
MICHAEL J. KORLAND, RA	PA LIC RA-405081
NY LIC 036993	NY LIC 036993
GERARD P. GESARIO, PE	NJ LIC GE038255
FREDERICK KINGARD, RA	NJ LIC 2141018294
VERONE LESLIE EBEN, FAIA, PP	NJ LIC AI 8863
PA LIC 016502-B	NY LIC 016151
CHERYL SCHWEIKER, AIA	NJ LIC 21402080000
PA LIC RA407927	PA LIC RA407927

Project: THE LEARNING EXPERIENCE
530 NORTH STATE ROAD
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: TLENY-S-17-155
Scale: 1" = 20'-0"

Drawn By: LB
Approved By: RAJ

Drawing Name: **LANDSCAPE AND WETLAND MITIGATION PLAN**

Drawing Number: **C-600**

Sheet No. of: 6 of 12

Initial Date: MAY 22, 2018

Professional Engineer: RICHARD A. JARMEL, PROFESSIONAL ENGINEER, N.Y. LIC. #073898-1



Autobahn Series ATB0 Roadway Lighting

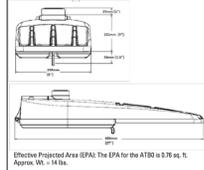
PRODUCT OVERVIEW



Features:
OPTICAL:
 Same Light Performance is comparable to 70-200W HPS roadway luminaires.
 White Light: Correlated color temperature - 4000K, 70 CRI minimum, 3000K, 70 CRI minimum or optional 5000K, 70 CRI minimum.
 Unique IP68 rated LED light engines provided 5% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.
ELECTRICAL:
 Expected Life: LED light engines are rated >100,000 hours at 25°C L70. Electronic driver has an expected life of 100,000 hours at a 25°C ambient.
 Lower Energy: Saves an expected 40-60% over comparable HID luminaires.
 Robust Surge Protection: Three different surge protection options provide a minimum of IEEE/ANSI C82.41 Category C (10kV/5kA) protection. 20kV/10kA protection is also available.
MECHANICAL:
 Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easily leveling at installation.
 Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 5 (per ASTM D1585) after over 1000 hours exposure to salt fog chamber (operated per ASTM B117). Optional Enhanced Corrosion Resistant finish (CR) increases the salt spray exposure to over 5000 hours.
 Mast arm must be adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Provides a 3G vibration rating per ANSI C136.31.
 Wildlife shield is cast into the housing (not a separate piece).
CONTROLS:
 NEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 5 pin and 7 pin receptacles optionally available.
 Premium solid state locking style photocontrol - PCSS (10 year rated life)
 Extreme long life solid state locking style photocontrol - PCLL (20 year rated life)
 Multi-level dimming available to provide scheduled dimming as specified by the customer.
 Optional onboard Adjustable Output module allows the light output and input voltage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.
STANDARDS:
 DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Product List at www.designlights.org/DLC to confirm which versions are qualified.
 CSA Certified to U.S. and Canadian standards
 Rated for -40°C to 40°C ambient
 Complies with ANSI: C136.2, C136.10, C136.31, C136.15, C136.37

Applications:
 Roadways
 Off ramps
 Residential streets
 Parking lots

DIMENSIONS

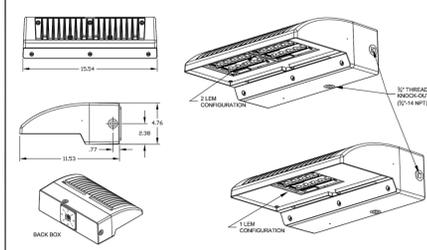


Effective Projected Area (EPA): The EPA for the ATB0 is 0.76 sq. ft. Approx. 16" x 16".

Notes: Specifications subject to change without notice. Actual performance may differ as a result of air movement and application.

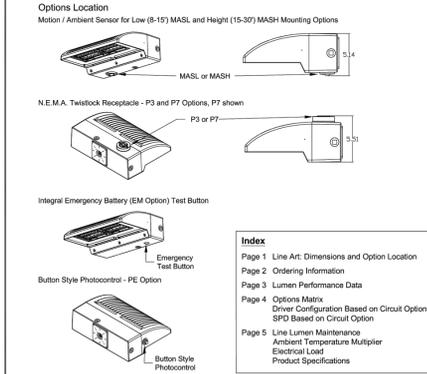


DIMENSIONS



WALLPACK® FULL CUTOFF LED

INFRASTRUCTURE OUTDOOR



Options Location
 Motion / Ambient Sensor for Low (8-15') MASH and Height (15-30') MASH Mounting Options
 NEMA 3 pin photocontrol - P3 and P7 Options, P7 shown
 Integral Emergency Battery (EM Option) Test Button
 Button Style Photocontrol - PE Option

Index
 Page 1 Line Art: Dimensions and Option Location
 Page 2 Ordering Information
 Page 3 Lumen Performance Data
 Page 4 Options Matrix
 Page 5 Line Lumen Maintenance Ambient Temperature Multiplier Electrical Load Product Specifications

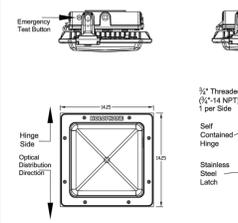


Parkpak® LED

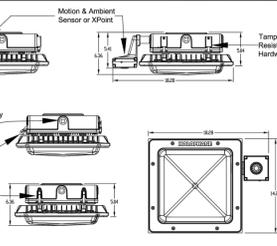


MECHANICAL SPECIFICATIONS
 Heavy grade ABS cast aluminum or equivalent coated with a superior 5-stage pre-treatment, epoxy basecoat and polyester topcoat yield a finish that achieves a scribe creepage rating of 5 after 5,000 hours of salt spray.
 Mount to a standard junction box.
 Provide a swivel kit for pendant mount applications that is secured by a 1/4" inch square electrical box.
 Web location listed.
 IP68 rating.
 3/8" threaded plug (1/4" NPT) on each side, secures 3/4" x 1/2" x 1/2" handle.
 Vibration rating for surface mount: 3G.
 Vibration rating for pendant mount: 3G to 3.5 feet, excludes swivel kit.
 Pendant mount 1/2" - 1/4" NPT in center of housing.
 Bird shield.
ELECTRICAL SPECIFICATIONS
 Electrical harness for quick and safe disconnect / connect of power and options.
 Certified drivers, UL or CSA.
 Rated for -40°C / 40°F minimum ambient.
 Programmable electronic driver with 0-10V control lead.
 Available in: 120-277V 50/60 Hz and 347-480V 50/60 Hz.
 Standard LEDs shall have a minimum of 70 CRI available in 3000K, 4000K and 5000K CCT.
 Optional LEDs shall have a minimum of 80 CRI available in 3000K, 4000K and 5000K CCT (8 week leadtime).
 Internal mounted emergency battery backup for operation in an ambient temperature range from 30°C / 86°F to 100°C / 212°F for P10 thru P40 performance packages, per DLC compliance.
 The electrical system shall be designed to meet ANTI-ICE C136.2 and shall offer a 100V/5kA SPD.

DIMENSIONAL DATA



HoloPhane | 3001 Columbus Rd., Granville, OH 43022 | Phone: 866.HOLOPHANE | www.holophane.com
 ©2014-2017 Acuity Brands Lighting, Inc. All rights reserved. Rev. 5/4/2015-11. Specifications are subject to change without notice.



NOTES:

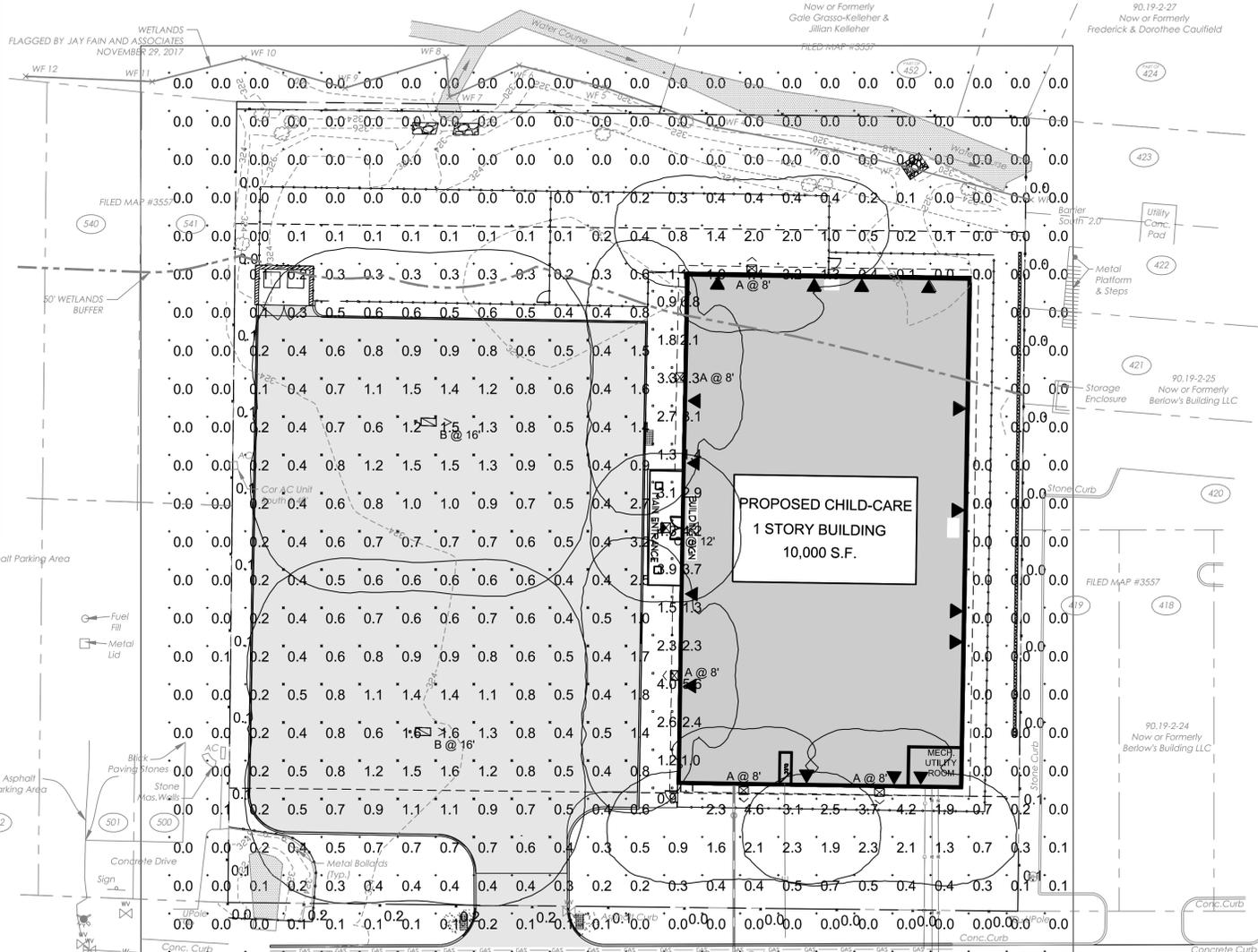
- ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE CLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
- THE OUTDOOR LIGHTS SHALL BE LED AND SHALL NOT BE INCANDESCENT OR HALOGEN.
- THE OUTDOOR LIGHTS SHALL BE ON MOTION SENSORS FROM DUSK UNTIL DAWN AND SHALL NOT BE ON UNLESS MOTION ACTIVATED.
- THE COLOR TEMPERATURE OF THE OUTDOOR LIGHTING SHALL BE LESS THAN OR EQUAL TO 3,000 DEGREES KELVIN.

Luminaire Locations						
No.	Label	X	Y	Z	MH	Tilt
10	A	135.91	30.90	8.00	8.00	180.00 0.00
11	A	171.54	30.40	8.00	8.00	180.00 0.00
12	A	138.06	165.42	8.00	8.00	0.00 0.00
13	A	118.69	59.95	8.00	8.00	270.00 0.00
14	A	120.04	138.02	8.00	8.00	270.00 0.00
17	C	115.39	98.61	12.00	12.00	0.00 0.00
18	B	48.14	45.33	16.00	16.00	91.00 0.00
19	B	49.63	128.39	16.00	16.00	91.12 0.00

- Readings shown are based on a total LLF of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
- Please refer to the "luminaire locations" for mounting heights.
- Product information can be obtained at www.holophane.com or through your local agency.

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Approximate Property Line	✕	0.0 fc	0.2 fc	0.0 fc	N/A
Parking Lot	◇	0.8 fc	3.2 fc	0.4 fc	8.0:1
Sidewalk	□	2.5 fc	5.6 fc	0.8 fc	7.0:1
SPILL LIGHT SUMMARY	+	0.4 fc	4.6 fc	0.0 fc	N/A

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⊗	A	5	Holophane	HLWPC2 P10 30K XX T3M	Wallpack Full Cutoff LED, LED Performance Package P10, 3000 series CCT, Voltage, Type III Medium	LED	1	HLWPC2_P10_30K_XX_T3M.ies	2800	0.92	28
⊗	B	2	American Electric Lighting	ATB0 10BLEDE15 XXXXX R5 3K	ATB0 SERIES LED 1500MA TYPE 5 3000K CCT	LED Array	1	ATB0_10BLEDE15_XXXXX_R5_3K.ies	5551	0.97	54
⊗	C	1	Holophane	PPSQL2 P10 30K XX FC T5E	Holophane ParkPak Square LED, LED Performance Package P10, 25W, 3000K CCT, Voltage, Zero uplight, Type V, Entryway	LED	1	PPSQL2_P10_30K_XX_FC_T5E.ies	2928	0.93	25



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 www.jarmelkizel.com

Architecture
 Engineering
 Interior Design
 Implementation Services

ISSUE			
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1.	5.23.18	INITIAL SUBMISSION	GPG
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2	9.20.18	PER 9/5/18 PB MEETING	GPG
3	10.26.18	REVISED PLAY AREA	GPG

PRINCIPALS	
MATTHEW B. JARMEI, AIA, AIA	NJ LIC: 1213787 NY LIC: 48159 CO LIC: AEC-401483 CT LIC: AEC0011415 DC LIC: AEC101849 DE LIC: 55-0007256 FL LIC: AER44034 GA LIC: 60411484 IA LIC: 050377 IL LIC: 001-020069 IN LIC: AEC12296 MD LIC: 120102189 MI LIC: 0602189 NJ LIC: 21A00794200 NY LIC: 08022 PA LIC: 000007735 RI LIC: 251102339 VA LIC: 5415 VT LIC: 0202189 TX LIC: 21A00794200
IRWIN H. KIZEL, AIA, PP	NJ LIC: 37491 MD LIC: 074862 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822
RICHARD A. JARMEI, PE	NJ LIC: 37491 MD LIC: 074862 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822
ASSOCIATES	NJ LIC: CE45511 PA LIC: REC07600 NY LIC: 08022 RI LIC: 08022 TX LIC: 123822
DAVID L. LESSENE, RA	NJ LIC: 08022 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822
MICHAEL J. VOLAND, RA	NJ LIC: 08022 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822
GERARD P. GESARIO, PE	NJ LIC: 08022 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822
FREDERICK KINCAID, RA	NJ LIC: 21A1018294 NY LIC: 08022 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822
JEROME LESLIE EBEL, F.A.S.A., PP	NJ LIC: 08022 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822
CHERYL SCHWENKER, AIA	NJ LIC: 08022 PA LIC: REC07600 RI LIC: 08022 TX LIC: 123822

NJ State Board of Architects Registration No. 161
 NJ State Board of Engineers and Surveyors Registration No. GA-278177

Project: **THE LEARNING EXPERIENCE
 530 NORTH STATE ROAD
 TOWN OF OSSING
 BRIARCLIFF MANOR, NY
 SECTION 90.15, BLOCK 2, LOT 18**

Project No: **TLENY-S-17-155** Scale: **1" = 20'**

Drawn By: **LB** Approved By: **RAJ**

Drawing Name: **LIGHTING PLAN**

Drawing Number: **C-650**

Sheet No: **7** of **12**

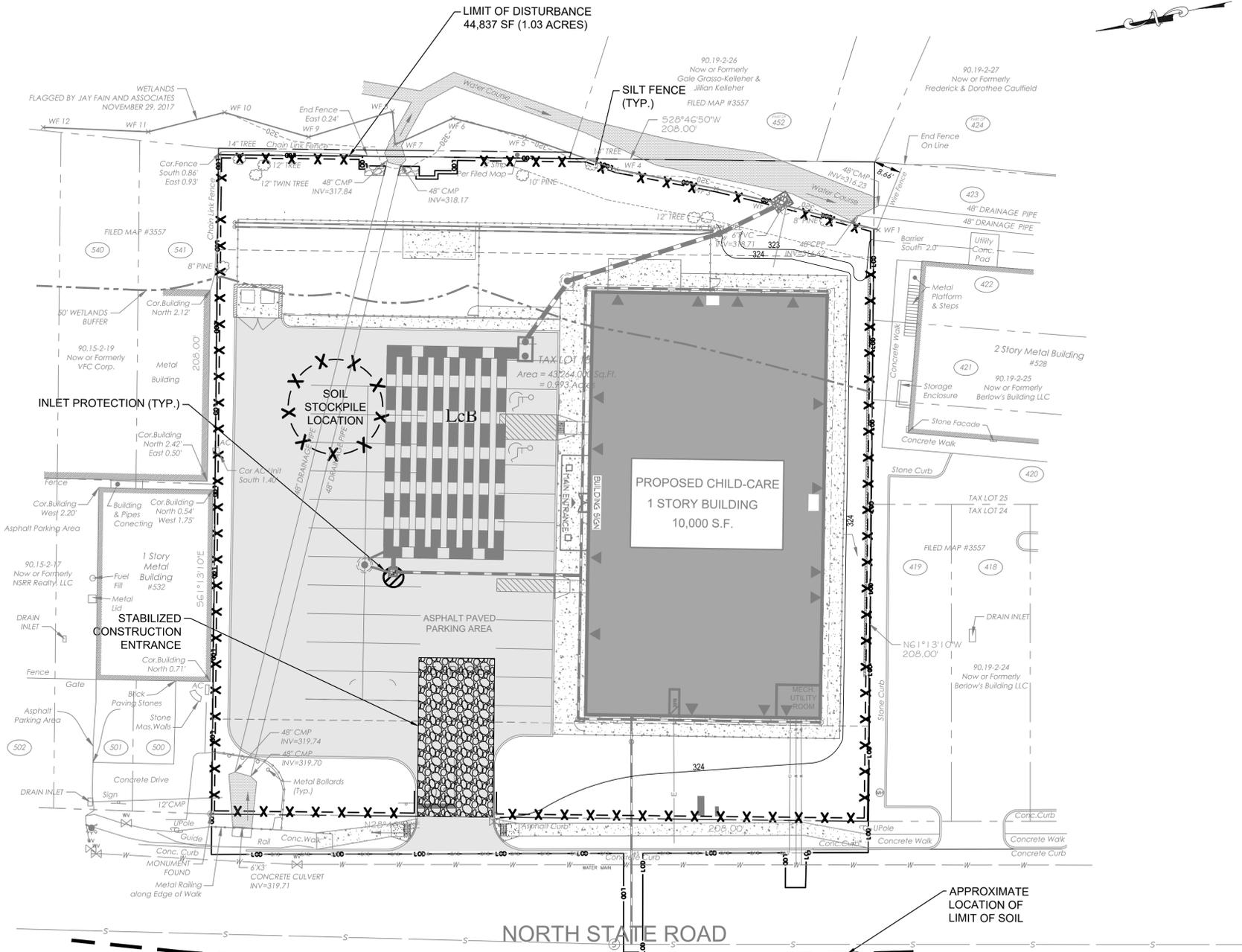
Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEI
 PROFESSIONAL ENGINEER
 N.Y. LIC. #073898-1

S:\PROJECTS\TLENY-S-17-155 TLE OSSING NY\CADD\17-155 C-650 LIGHTING.DWG FBREK 10/26/2018

SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NY STATE STANDARDS.
3. PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL WORK WITHIN COUNTY RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH NASSAU COUNTY RULES AND REGULATIONS.
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
7. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
8. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION OF PROJECT.
9. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.



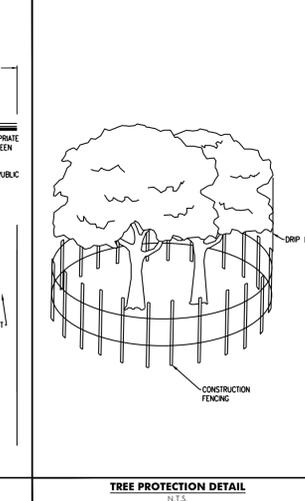
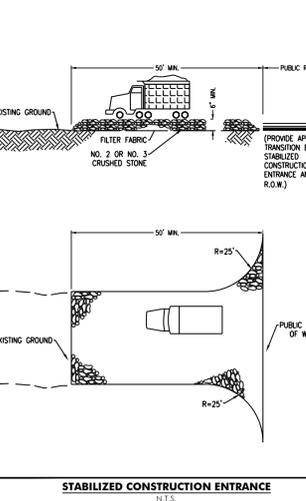
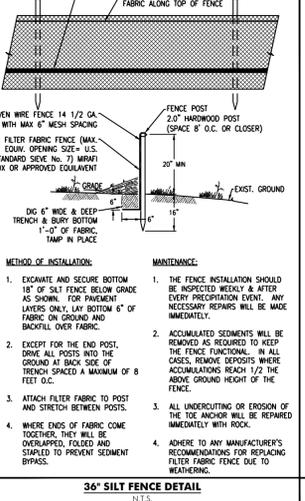
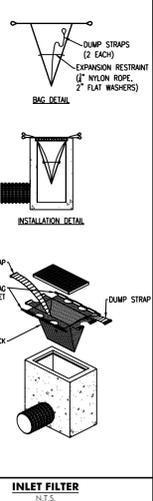
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- PRINCIPALS**
- MATTHEW R. JARMEL, AIA, MBA
 - IRWIN H. KIZEL, AIA, PE
 - RICHARD A. JARMEL, PE
 - RONALD A. BROKENSHIRE, PE
 - DAVID L. LESSENE, RA
 - MICHAEL J. VOLLMER, RA
 - GERARD P. GESARIO, PE
 - FREDRICK KINCAID, RA
 - JEROME LESLIE EBEL, PA, PP
 - CHELY SCHWIEBER, AIA
- ASSOCIATES**
- DAVID L. LESSENE, RA
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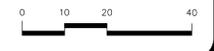


SEQUENCE OF CONSTRUCTION:

ITEM	DURATION
1. INSTALL SOIL EROSION MEASURES	2
2. DEMO SITE	7
3. GRADE SITE FOR BUILDING AND PAVEMENT	5
4. CONSTRUCT BUILDING AND PLAY AREA	200
5. CONSTRUCT STORM SYSTEM	15
6. CONNECT UTILITIES	5
7. INSTALL NEW CURB	5
8. POUR NEW WALKWAYS	5
9. PAVE DRIVEWAYS & LINESTRIPING	10
10. PLANT NEW VEGETATION	5
11. REMOVE SOIL EROSION MEASURES	1
TOTAL:	260 DAYS

LEGEND

PROPERTY LINE	---
CONSTRUCTION ENTRANCE	[Pattern]
SILT FENCE	X X
LIMIT OF DISTURBANCE	---
SOIL TYPE	LEB: LEICESTER LOAM, 3% TO 8% SLOPES, STONY O.C.: CHARLTON-CHAFFIELD COMPLEX, 0% TO 15% SLOPES, VERY ROCKY



THE LEARNING EXPERIENCE
530 NORTH STATE ROAD
TOWN OF OSSING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **1" = 20'**

Drawn By: **LB** Approved By: **RAJ**

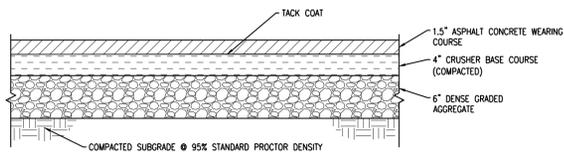
Drawing Name: **SOIL EROSION AND SEDIMENT CONTROL PLAN**

Drawing Number: **C-700**

Sheet No: **8** of **12**

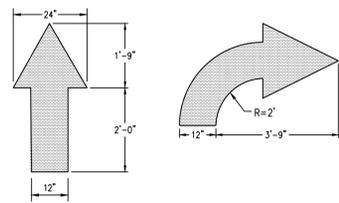
Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1



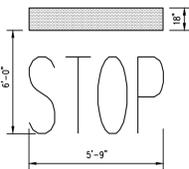
- NOTES:
1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
 3. THE 4 INCHES OF CRUSHER BASE COURSE SHALL CONSIST OF FINE PARTICLES SMALLER THAN 1" SIZE PRODUCED AT THE CRUSHING PLANT FROM CRUSHED TRAP ROCK OR DOLOMITE. RUN OF CRUSHER SHALL MEET THE REQUIREMENTS OF THE GENERAL SPECIFICATIONS, NON-METALLIC MATERIALS.
 4. THE 1 1/2 INCHES OF ASPHALT CONCRETE WEARING COURSE SHALL CONSIST OF ASPHALT CONCRETE TYPE 1 AC.

ASPHALT PAVEMENT SECTION
N.T.S.



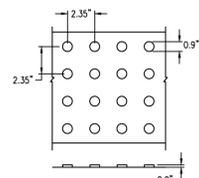
- NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 2. THESE TRAFFIC FLOW ARROWS SHALL BE PAINTED REFLECTIVE YELLOW.

TRAFFIC FLOW ARROWS
N.T.S.



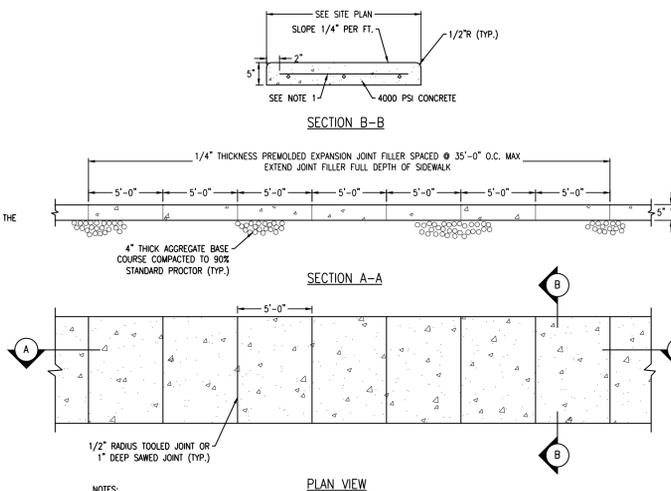
- NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

STOP BAR DETAIL
N.T.S.



- NOTES:
1. A 24" WIDE TACTILE PATTERN OF RAISED TRUNCATED DOMES SHALL BE PROVIDED ON THE WALKING SURFACE AT THE PLATFORM EDGE.
 2. DOMES SHALL HAVE A DIAMETER OF 0.9", A HEIGHT OF 0.2", AND A CENTER-TO-CENTER SPACING OF 2.35".
 3. MATERIAL SHALL BE NEEHAH FOUNDRY CAST IN PLACE STEEL DETECTABLE PLATES (COLOR-RED).

DETECTABLE WARNING SURFACE
N.T.S.



- NOTES:
1. ALL WORK WITHIN THE NASSAU COUNTY RIGHT-OF-WAY SHALL CONFORM TO NASSAU COUNTY RULES AND REGULATIONS.
 2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
 3. CONCRETE SIDEWALK SHALL CONSIST OF ONE PART PORTLAND CEMENT TYPE II, ONE AND ONE HALF PARTS OF FINE AGGREGATE AND THREE PARTS OF COARSE AGGREGATE (EITHER BROKEN STONE OR SCREENED GRAVEL) SIZE NUMBER 3 (1").
 4. NO. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6" x 6" - #14 x #14 WWF.

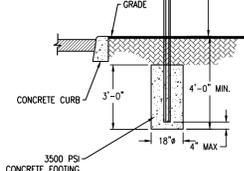
CONCRETE SIDEWALK
N.T.S.



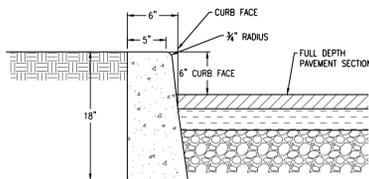
- NOTES:
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
 2. ALL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING, WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A 123.
 3. INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZED SIGNS, SHIELDS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT "STANDARD HIGHWAY SIGNS PUBLICATION" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".

SIGN FACE:

1. LETTERS, SYMBOLS AND BORDERS SHALL BE REFLECTORIZED.
2. ALL LETTERING SHALL BE UPPER CASE LETTERS OF THE TYPE APPROVED BY THE JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.
3. ALL LETTERS SHALL BE SERIES "C" ALPHABET IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

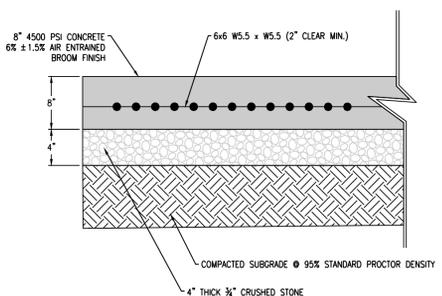


SIGN MOUNTING DETAIL
N.T.S.

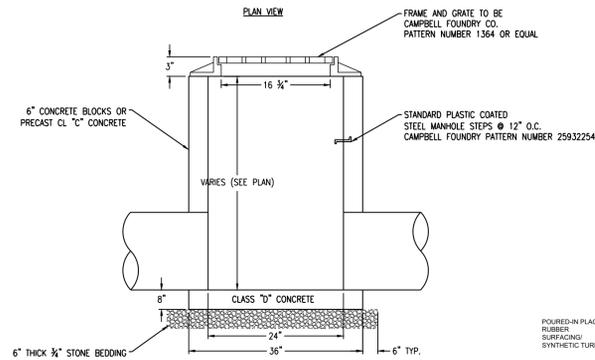
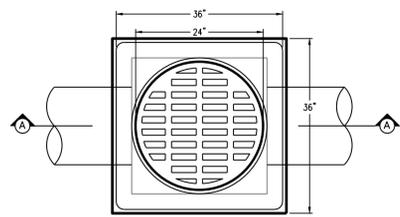


- NOTES:
1. CONCRETE TO TEST 4000 PSI MINIMUM ON 28 DAY DAY TEST, AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3" MAX.
 2. TRANSVERSE JOINTS 24" WIDE SHALL BE INSTALLED IN THE CURB 20-FT APART AND SHALL BE FILLED WITH PREFORMED STAINLESS STEEL JOINT FILLER.
 3. EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE SMOOTH FINISHED SURFACE.

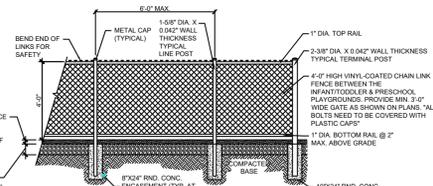
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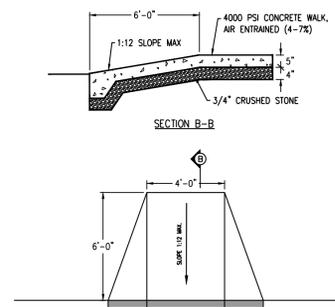
CONCRETE SLAB FOR DUMPSTER
N.T.S.



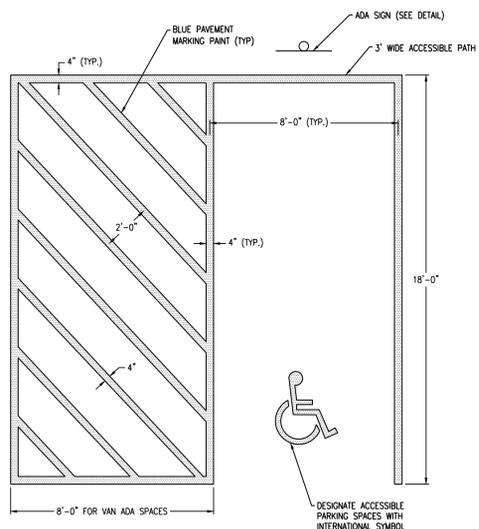
FIELD INLET
N.T.S.



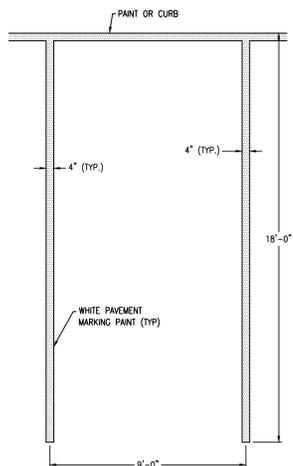
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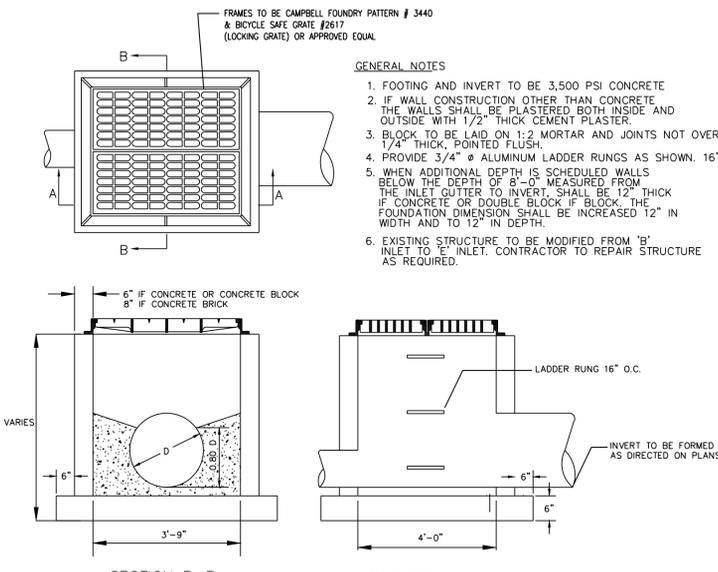
HANDICAP CURB AT SIDEWALK
N.T.S.



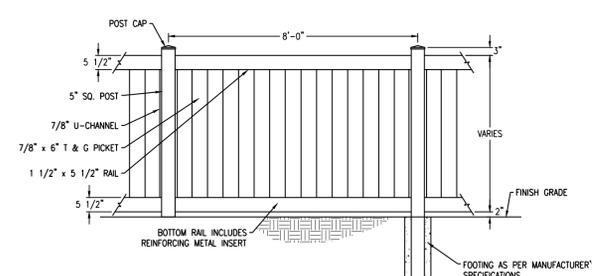
ADA PARKING SPACE STRIPING
N.T.S.



STANDARD PARKING SPACE STRIPING
N.T.S.



TYPE \"/>



- NOTES:
1. FENCE TO BE "LEGEND VINYL SERIES", PRIVACY STYLE FENCE, WHITE COLOR, BY MASTER HALCO, OR APPROVED EQUIVALENT.
 2. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
 3. FOOTING AS PER MANUFACTURER'S SPECIFICATION.

SOLID VINYL FENCE DETAIL
N.T.S.

Jarmel Kizel
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Architecture
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4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION			
NO.	DATE	DESCRIPTION	INT.
1	8.20.18	PER 6/20/18 REVIEW LETTERS	LB
2	9.20.18	PER 9/5/18 PB MEETING	GPG

PRINCIPALS	
MATTHEW B. JARMEI, AIA, MBA NJ LIC. 48139 CO LIC. ARC-401483 CT LIC. AR-001416 DC LIC. ARC-101849 DE LIC. 35-0007564 FL LIC. AR-44034 GA LIC. 4811484 IA LIC. 00037 IL LIC. 001-000069 IN LIC. 4810296 MD LIC. 12010000 MI LIC. 12010000 NJ LIC. 12010000 NY LIC. 12010000 PA LIC. 12010000 TX LIC. 88498	JARMEI, AIA, MBA NJ LIC. 48139 AR LIC. 44604 NC LIC. 10170 VA LIC. 3051 NY LIC. 024273 CA LIC. A-912444 PA LIC. RA-014851-B WV LIC. AR-0004745 SC LIC. AR-9163 TN LIC. 120850 VA LIC. 24979 VA LIC. 0481-014089 VA LIC. 2451-022189 NJ LIC. 21A00794700 NJ PPLC 21A00243100 NJ LIC. 37491 NJ LIC. 47482 NJ LIC. 0202339 NJ LIC. 0202339 TX LIC. 88498
ASSOCIATES	
RONALD A. BROKENSHIRE, PE NJ LIC. PE88819 DAVID L. LESSENE, RA NJ LIC. 0201719 NJ LIC. 02011748 NJ LIC. 31422 MICHAEL J. HOLMAD, RA NJ LIC. 0200993 GERARD P. GESARIO, PE NJ LIC. 0200955 FREDERICK KINCAD, RA NJ LIC. 21A1018294 NJ LIC. 41883 NJ LIC. 019151 NJ LIC. 21A00239000 PA LIC. RA407927	JARMEI, AIA, MBA NJ LIC. 48139 AR LIC. 44604 NC LIC. 10170 VA LIC. 3051 NY LIC. 024273 CA LIC. A-912444 PA LIC. RA-014851-B WV LIC. AR-0004745 SC LIC. AR-9163 TN LIC. 120850 VA LIC. 24979 VA LIC. 0481-014089 VA LIC. 2451-022189 NJ LIC. 21A00794700 NJ PPLC 21A00243100 NJ LIC. 37491 NJ LIC. 47482 NJ LIC. 0202339 NJ LIC. 0202339 TX LIC. 88498

N.J. State Board of Architects, Professional Engineers, and Professional Land Surveyors, Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSING
BRIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No: **TLENY-S-17-155** Scale: **AS NOTED**

Drawn By: **LB** Approved By: **GPG**

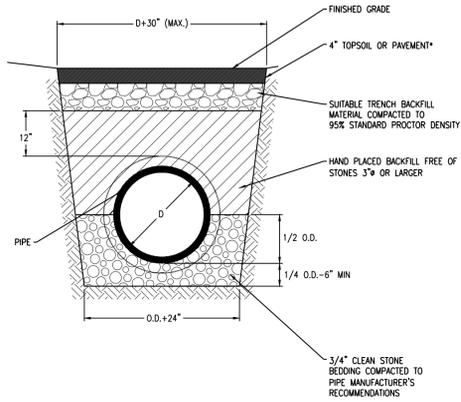
Drawing Name: **DETAIL SHEET**

Drawing Number: **C-900**

Sheet No: **9** of: **12**

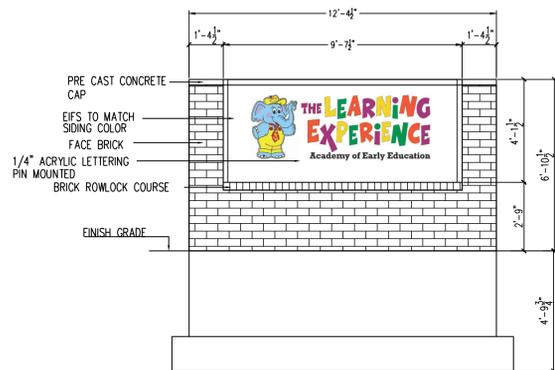
Initial Date: **APRIL 27, 2018**

RICHARD A. JARMEI
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

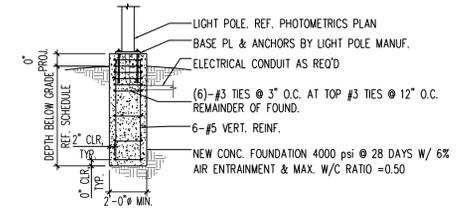
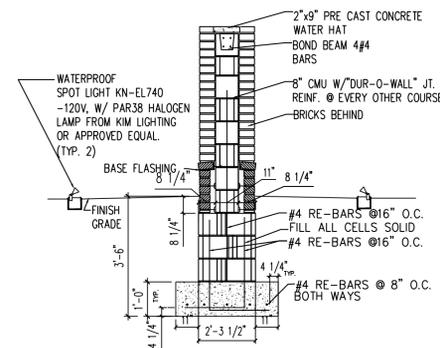


GENERAL NOTE:
1. ALL BACKFILL UNDER PAVEMENT SHALL BE TYPE 1-2 SELECT MATERIAL OR SA BASE COURSE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY.

TRENCH/BACKFILL SECTION
N.T.S.



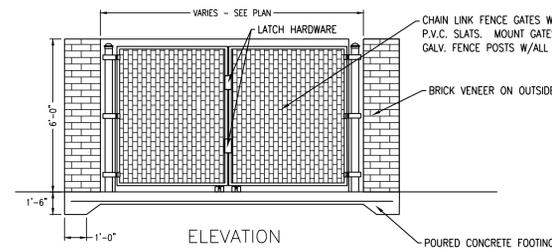
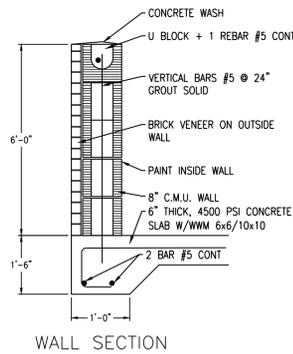
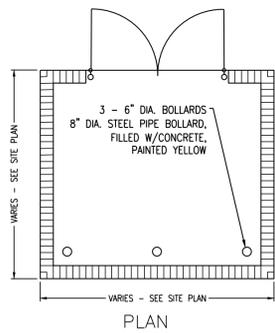
TLE MONUMENT SIGN
N.T.S.



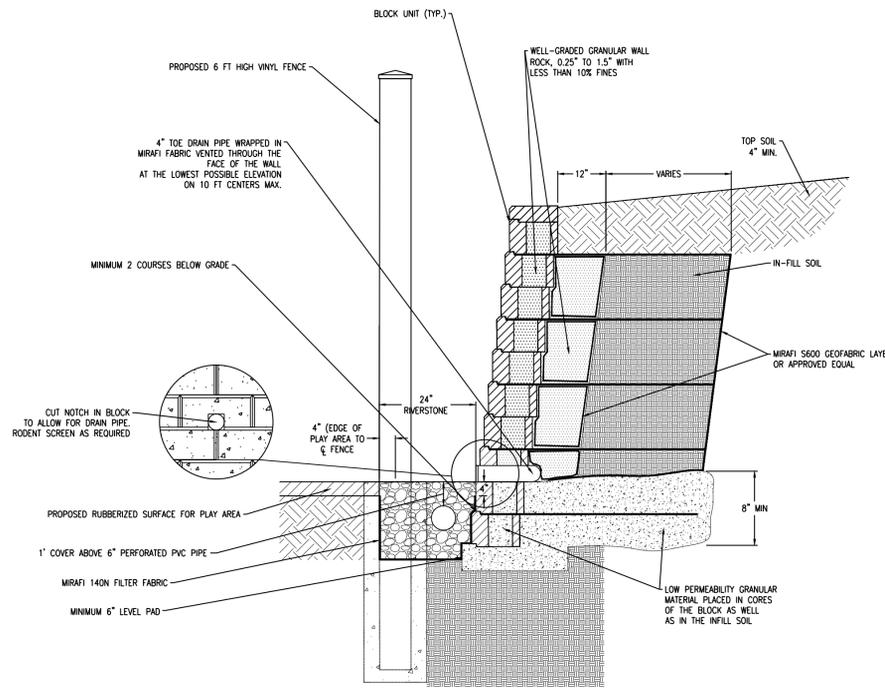
LIGHT POLE FOUNDATION DEPTH PER WIND ANALYSIS		
WIND SPEED (ASCE 7-10)	WIND SPEED (ASCE 7-05)	FND. DEPTH
110 TO 140 MPH	85 TO 120 MPH	5'-6"
150 TO 180 MPH	130 TO 150 MPH	6'-6"

NOTE: REFER TO STRUCTURAL DRAWINGS FOR APPLICABLE WIND SPEED.

LIGHT POLE FOUNDATION
N.T.S.

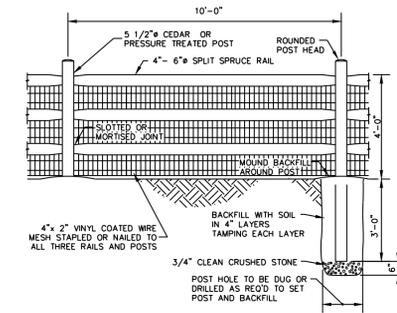


DUMPSTER ENCLOSURE
N.T.S.

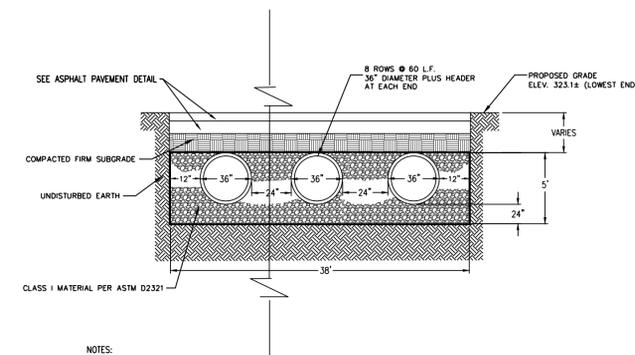


NOTES:
1. CONTRACTOR SHALL PROVIDE DESIGN CALCULATIONS OF THE SEGMENTAL BLOCK RETAINING WALL AND DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW, PREPARED, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK.

TYPICAL BLOCK WALL DETAIL
N.T.S.



SPLIT RAIL FENCE WITH WIRE MESH
N.T.S.



NOTES:
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF TOWN OF OYSTER BAY CONTRACT SPECIFICATIONS, AMENDED JANUARY 2000.
2. ALL DETENTION AND RETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM 2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
3. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.

UNDERGROUND INFILTRATION SYSTEM
N.T.S.

Jarmel Kizel
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Architecture
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REVISION			
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PRINCIPALS	
MATTHEW R. JARMEL, AIA, MBA	NJ LIC: A0212787 AZ LIC: 48139 CO LIC: ARC-401483 CT LIC: AR-0011415 DC LIC: AR-101849 DE LIC: 35-0007556 FL LIC: AR44034 GA LIC: 840311484 IA LIC: 00577 IL LIC: 001-000069 IN LIC: 4810266 MD LIC: 12-0102189 MI LIC: 06022 NJ LIC: 21A00794792 NY LIC: 21A00794792 PA LIC: 3300243100
IRWIN H. KIZEL, AIA, PP	NJ LIC: 37491 AZ LIC: 47482 CA LIC: 65482 DC LIC: BE23060 GA LIC: 20410 TX LIC: 123822
RICHARD A. JARMEL, PE	NJ LIC: 37491 AZ LIC: 47482 CA LIC: 65482 DC LIC: BE23060 GA LIC: 20410 TX LIC: 123822
ASSOCIATES	NJ LIC: CE45511 PA LIC: PE88819 AZ LIC: AI-13231 NY LIC: 024719 PA LIC: RA-455081 NY LIC: CE09953 NJ LIC: CE09855 NJ LIC: 21A1018294 NJ LIC: AI-8883 NY LIC: 019151 NJ LIC: 21A02039000 PA LIC: RA407927

1/ State Board Of Architects, Authorization No. 161
NJ State Board Of Engineers & Land Surveyors, Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**
530 NORTH STATE ROAD
TOWN OF OSSINING
BIARCLIFF MANOR, NY
SECTION 90.15, BLOCK 2, LOT 18

Project No:	Scale:
TLENY-S-17-155	AS NOTED
Drawn By:	Approved By:
LB	CEG

Drawing Name:

DETAIL SHEET

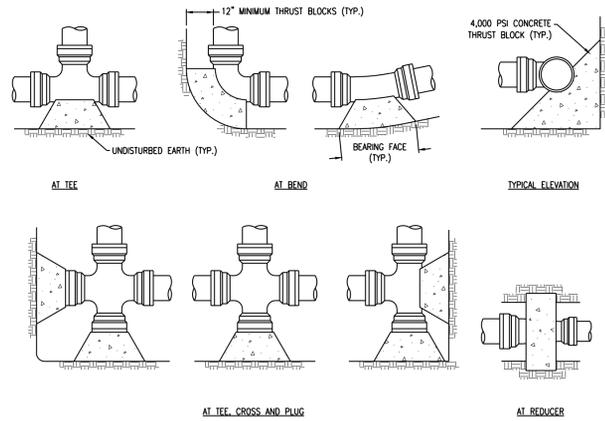
Drawing Number:
C-901

Sheet No: **10** of: **12**

Initial Date:
APRIL 27, 2018

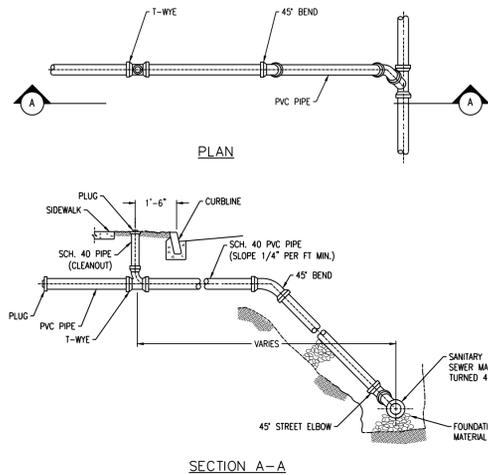
RICHARD A. JARMEL
PROFESSIONAL ENGINEER
N.Y. LIC. #073898-1

PIPE SIZE	BEND				TEE PLUG	REDUCER SIZE	REDUCER AREA
	90°	45°	22-1/2°	11-1/4°			
4" - 6"	4	2.5	1.5	1	3	6" x 4"	2
8"	7	4	2	1	5	8" x 6"	2.5
12"	14.5	8	4	2	10.5	12" x 8"	5.5



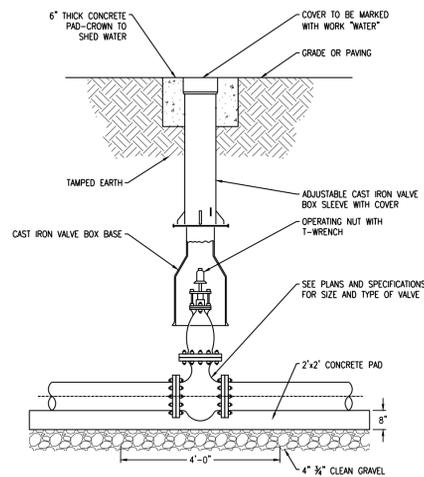
- NOTES:
- SPECIAL DESIGN IS REQUIRED FOR FITTINGS ON DOMESTIC WATER MAIN PIPE LARGER THAN 12 INCHES.
 - THRUST BLOCK IS TO BE POURED AGAINST UNDISTURBED EARTH. WIDTH OF THRUST BLOCK SHOULD BE APPROXIMATELY TWICE HEIGHT.
 - THRUST BLOCK IS TO BE INSTALLED AT ALL BENDS, PLUGS, TEES, AND TAPPING SLEEVE AND VALVE CONNECTIONS.
 - FACTORY CAST OFFSETS ARE TO BE TREATED AS (2) 45 DEGREE BENDS.
 - FOR REDUCERS, THRUST BLOCK IS TO BE KEYS INTO WALLS AND BOTTOM OF TRENCH.
 - MECHANICAL RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCK.
 - WOOD BLOCKING IS NOT PERMITTED.

THRUST BLOCK DETAILS
N.T.S.

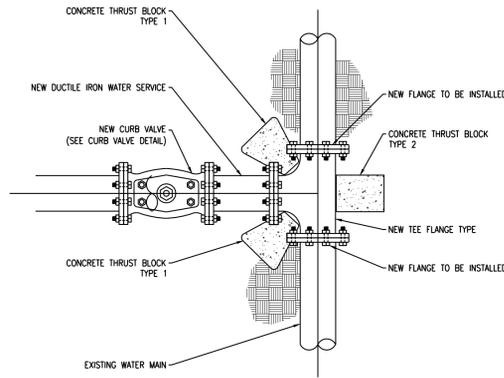


- GENERAL NOTES:
- ALL COUPLINGS, PLUGS, SOIL PIPES & CAPS TO BE STANDARD FOR TYPE OF PIPE USED, INSTALLATION TO BE WATERTIGHT.
 - HOUSE CONNECTIONS ARE TO BE 6" P.V.C.
 - ALL PLUG THREADS SHALL BE GREASED AT TIME OF INSTALLATION.
 - MINIMUM DEPTH OF COVER ON SANITARY SEWER MAINS SHALL BE 5 FEET.
 - POLYVINYL CHLORIDE PIPE AND FITTINGS FOR HOUSE LATERALS SHALL CONFORM TO A.S.T.M. D-3034.

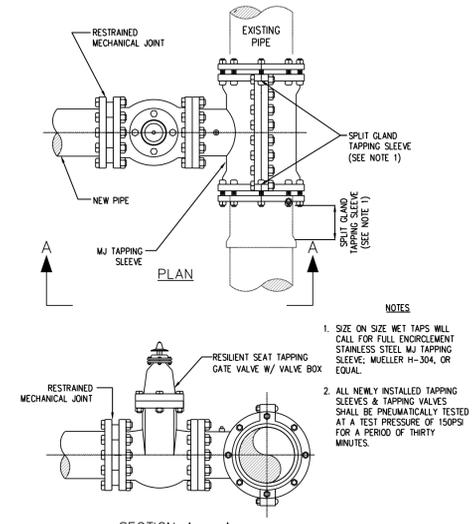
SANITARY SEWER BUILDING CONNECTION
N.T.S.



CURB VALVE DETAIL
N.T.S.

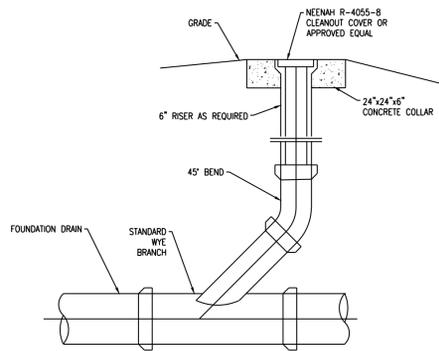


WATER MAIN CONNECTION DETAIL
N.T.S.

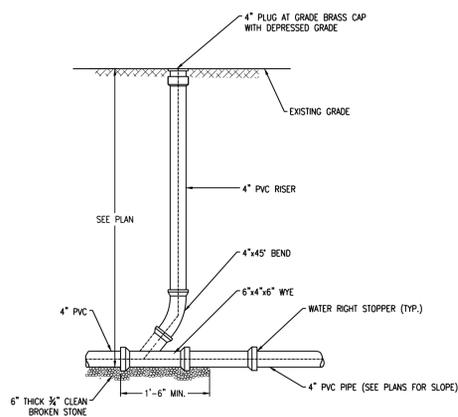


- NOTES:
- SIZE ON SIZE WET TAPS WILL CALL FOR FULL ENDORSEMENT STAINLESS STEEL MJ TAPPING SLEEVE, WELLS H-304, OR EQUAL.
 - ALL NEWLY INSTALLED TAPPING SLEEVES & TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150PSI FOR A PERIOD OF THIRTY MINUTES.

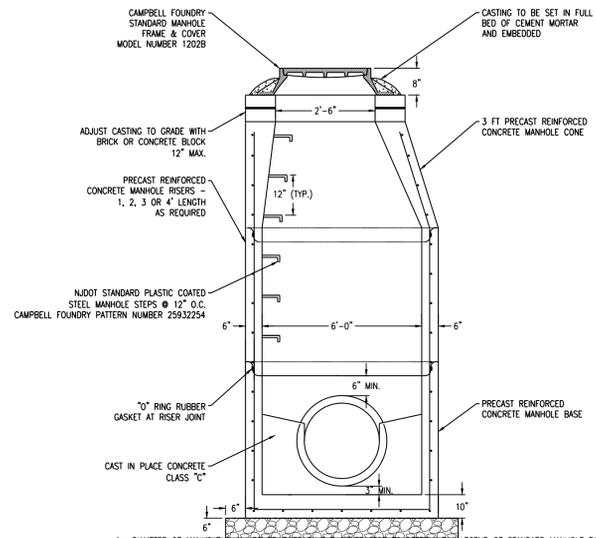
WET TAP TIE-IN DETAIL
N.T.S.



STORM CLEANOUT
N.T.S.

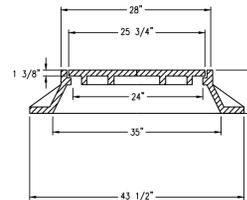
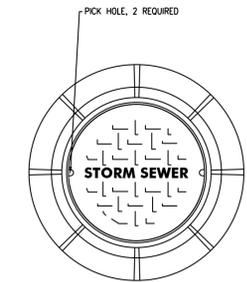


SANITARY CLEANOUT
N.T.S.



- DIAMETER OF MANHOLE SHALL BE REVIEWED BY THE CONTRACTOR TO DETERMINE A LEGEND OF STANDARD MANHOLE DIMENSIONS WITH RESPECT TO PROPOSED PIPE SIZES, NUMBER AND GEOMETRY. OVER SIZE MANHOLES SHALL BE PROVIDED IF MINIMUM 6" WALL DIMENSION BETWEEN PIPES IS NOT MANUFACTURED. CLEAN 3/4" STONE ONE FOOT ON ALL SIDES.
- MANHOLES SHALL BE STANDARD PRECAST CONCRETE UNITS AND SHALL BE DESIGNED AND CONSTRUCTED BY THE MANUFACTURER TO SUPPORT TRUCK HS20 LOADING.

STORM MANHOLE
N.T.S.



MANHOLE FRAME AND COVER
N.T.S.

Jarmel Kizel
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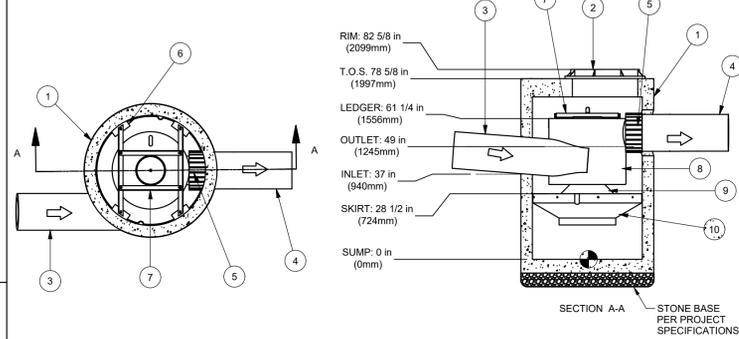
PRINCIPALS	
MATTHEW R. JARMEL, AIA, MBA	NJ LIC: A0112787 NY LIC: 44654 CO LIC: ARC-401483 CT LIC: AR-0011416 DC LIC: AR-101849 DE LIC: SS-0007556 FL LIC: AR-44034 GA LIC: AR-11484 IA LIC: 00037 IL LIC: 001-000069 IN LIC: AR-0209 MD LIC: 12062 MI LIC: 0102189 NJ LIC: 08022 NY LIC: 37491 OH LIC: 07482 PA LIC: 0002339 RI LIC: 08104 TX LIC: 88498
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N.J. State Board of Architects, Registration No. 181
N.Y. State Board of Examiners in Architecture, Registration No. GA-278177

Project: THE LEARNING EXPERIENCE 530 NORTH STATE ROAD TOWN OF OSSING BRIARCLIFF MANOR, NY SECTION 90.15, BLOCK 2, LOT 18	
Project No: TNY-S-17-155	Scale: AS NOTED
Drawn By: LB	Approved By: RAJ

Drawing Name:	
DETAIL SHEET	
Drawing Number:	C-902
Sheet No. of:	11 12
Initial Date:	APRIL 27, 2018
 RICHARD A. JARMEL PROFESSIONAL ENGINEER N.Y. LIC. #073898-1	

NOT FOR CONSTRUCTION - CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC DRAWINGS



CAPACITIES:

- 1. Peak treatment flow: 3.0 cfs (85 l/s)
- 2. Sediment storage capacity: 0.70 Cu. yd. (0.54 cu. m.)
- 3. Oil storage capacity: 70 Gal. (265 liters)

ADDITIONAL DESIGN INFORMATION:

- 1. The outlet pipe stub (not shown) is a roto-molded product with an I.D. of 12 in. that cannot be modified. To avoid the use of a reducer or expander on the outlet a 12 in. outlet pipe should be used if possible. The orientation of the outlet pipe can be adjusted to suit site conditions.
- 2. Maximum pipe size is 12 in. The inlet pipe invert should be placed one inlet pipe diameter below the outlet pipe invert. The I.D. of the inlet pipe should be placed tangent to the I.D. of the manhole. The orientation of the inlet pipe can be adjusted to suit site conditions. Headloss at 3.0 cfs with a 12 in. inlet: 8 in. (203 mm). Headloss will increase with smaller inlet pipes.
- 3. Sediment shall be stored in a zone that is isolated from the main flow path and protected from re-entrainment by the benching skirt.
- 4. Dimensions are general and intended for guidance only.

ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VIA PRECASTER)	48 in
2	FRAME AND COVER	30 in
3	INLET PIPE (BY OTHERS) †	12 in
4	OUTLET PIPE (BY OTHERS) †	12 in
5	PIPE COUPLING (BY OTHERS)	
6	LEDGER ANGLE	
7	SUPPORT FRAME	
8	DIP PLATE	
9	CENTER SHAFT AND CONE	
10	BENCHING SKIRT	

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Notes
 1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
 2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING DOWNSTREAM DEFENDER MANHOLE.
 3. TYPICALLY DOWNSTREAM DEFENDERS WILL BE DELIVERED TO THE PROJECT SITE WITH A TOP SLAB ELEVATION 12" BELOW FINISHED GRADE. PURCHASER SHALL BE RESPONSIBLE FOR GRADE RINGS OR BLOCK AND MORTAR NECESSARY TO MEET FINAL GRADE.

REVISION HISTORY

REV	BY	DATE	DESCRIPTION
A	JLL	8/8/12	Added Note 3

Date: 9/14/2011 Scale: 5/16" = 1'-0"

Drawn: EMH Checked: MRJ Approved: MRJ
 Title: 4-FT (1.22m) DIAMETER DOWNSTREAM DEFENDER

GENERAL ARRANGEMENT

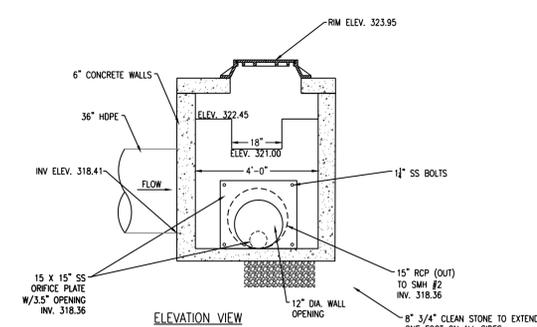
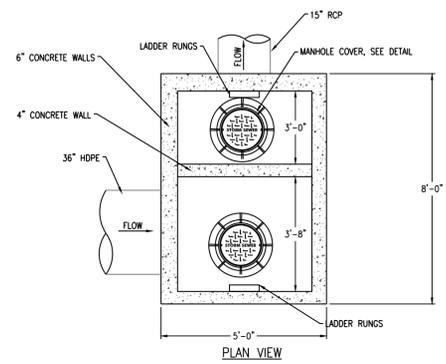


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CAD Ref: D4GA-SI
 Project No:
 Drawing No: D4GA-SI Rev. A

FIRST DEFENSE WATER QUALITY STRUCTURE

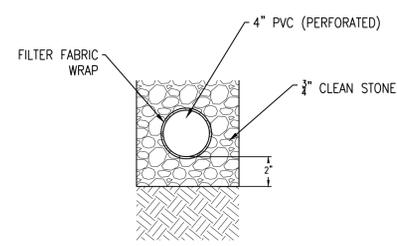
N.T.S.



- NOTES:**
- OUTLET CONTROL STRUCTURE SHALL BE MADE OF CONCRETE BLOCK WITH MORTAR PARING, OR REINFORCED PRECAST CONCRETE. CONTRACTOR SHALL PROVIDE SUBMITTAL OF SAME PRIOR TO CONSTRUCTION.

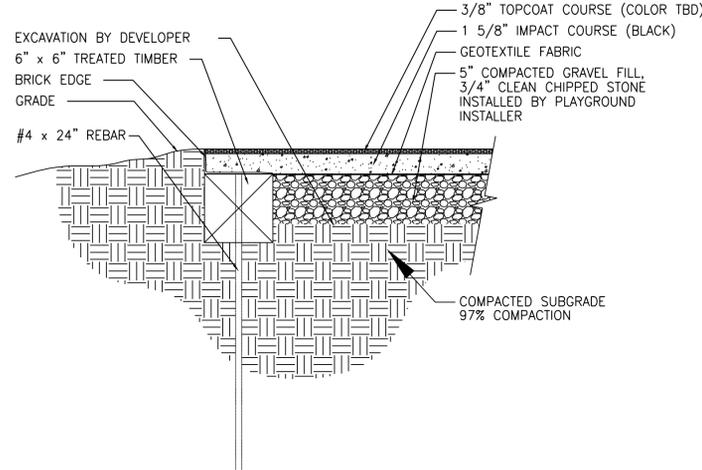
BELOW GRADE OUTLET CONTROL STRUCTURE

N.T.S.



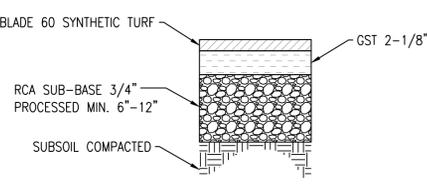
PERFORATED PIPE DETAIL

N.T.S.



POUR IN PLACE RUBBER PLAYGROUND SURFACING DETAIL

N.T.S.



SYNTHETIC TURF

N.T.S.

NOTE: INFILL SHALL BE GREEN SUPERFILL 12/20 SILICA SAND



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ISSUE

NO.	DATE	DESCRIPTION	INT.
1.	5.23.18	INITIAL SUBMISSION	GPG
2.	6.28.18	REVISED PLAY AREA 20' BUFFER	GPG
3.	8.20.18	PLANNING BOARD SUBMISSION	GPG
4.	9.20.18	PLANNING BOARD SUBMISSION	GPG
5.	10.26.18	PLANNING BOARD SUBMISSION	GPG

REVISION

NO.	DATE	DESCRIPTION	INT.

PRINCIPALS

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N.J. State Board of Architects, Authorization No. 161
 N.J. State Board of Engineers & Land Surveyors, Authorization No. GA-278177

Project: **THE LEARNING EXPERIENCE**
 530 NORTH STATE ROAD
 TOWN OF OSSINING
 BRIARCLIFF MANOR, NY
 SECTION 90.15, BLOCK 2, LOT 18

Project No: TLENY-S-17-155	Scale: AS NOTED
Drawn By: LB	Approved By: RAJ

Drawing Name:

DETAIL SHEET

Drawing Number: C-903	Sheet No. of: 12 12	 RICHARD A. JARMEI PROFESSIONAL ENGINEER N.Y. LIC. #073898-1
Initial Date: SEPTEMBER 20, 2018		